

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 050146

Please Read Application And Notes, If Any, Attached

This is to certify that Cottage Park Inc/Granite Construction

has permission to Build a 1900 sq ft single family home

at 52 Willow Ln

City of Portland 191 B039001

PERMIT ISSUED
JUN - 6 2005

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Deanne Bourke 7/5/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0146	Issue Date: PERMIT ISSUED	CEB: B039001
-----------------------	-------------------------------------	-----------------

Location of Construction: 52 Willow Ln (lot #9)	Owner Name: Cottage Park Inc	Owner Address: 33 Island Ave	Phone: JUN - 6 2005
Business Name:	Contractor Name: Granite Construction	Contractor Address: P.O. 8790 Portland	Phone: 2076321124
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: R-5 PRUB
Past Use: Vacant Land	Proposed Use: Single Family Home Build a 1900 sq ft single family home	Permit Fee: \$1,536.00	Cost of Work: \$160,000.00
Proposed Project Description: Build a 1900sq ft single family home		CEO District: 3	INSPECTION: Use Group: R3 Type: SB FRL-2003 Signature: JMB 7/5/05
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	
		Signature: _____	
		EDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 02/07/2005	Zoning Approval
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>PANEL 13 Zone C</i> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2005-0018</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>6/20/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>3</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmar <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
---	--	--	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

		Permit No: 05-0146	Date Applied For: 0210712005	CBL: 191 B039001
Location of Construction: 52 Willow Ln	Owner Name: Cottage Park Inc	Owner Address: 33 Island Ave		Phone:
Business Name:	Contractor Name: Granite Construction	Contractor Address: P.O. 8790 Portland		Phone (207) 632-1 124
Lessee/Buyer's Name	Phone:	Permit Type: Single Family		
Proposed Use: Single Family Home Build a 1900 sq ft single family home		Proposed Project Description: Build a 1900sq ft single family home		

2/24/05 I have heard nothing from Jim - see letter of denial
6/13/05 received revised plans



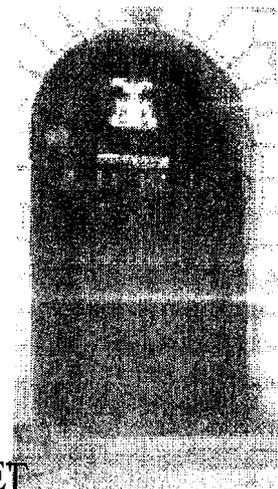
5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a

Location of Construction: 52 Willow Ln	Owner Name: Cottage Park Inc	Owner Address: 33 Island Ave	Phone:
Business Name:	Contractor Name: Granite Construction	Contractor Address: P.O. 8790 Portland	Phone (207) 632-1124
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

City of Portland INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Telephone: 207-874-8703 or 207-874-8693
Facsimile: 207-874-8716



FACSIMILE TRANSMISSION COVER SHEET

TO: <u>Jim Messer</u>	<u>ie</u>	
		H COVER: <u>4</u>
		<u>checklist</u>
<u>6/21/05</u>		

Comments: Let's Review on
Phone



20/05

52 Willow Ln Lot #9 191-B-39
PRUD # 05-0146

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)	Inspection/Date/Findings	
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1))	16" x 10"	Footing for bearing garage wall - OK 7/1/05 Footing @ chimney for post OK " drain, 4" pipe stone 1/8" aluminum 2 fabric
Foundation Drainage Damp proofing (Section R405 & R406)	N/A	7/1/05 OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	N/A	
Anchor Bolts/Straps (Section R403.1.6)	?	✓ 7/1/05 Revision OK
Lally Column Type (Section R407)	Lally / bearing wall →	
Girder & Header Spans (Table R 502.5(2))	8' span - one floor	10'2" OK
Built-Up Wood Center Girder Dimension/Type	4-2x12 1FL = 10'2" 2nd FL = 3-2x10 @ 9' on PL	7'7 max OK 7/1/05
Sill/Band Joist Type & Dimensions	1 3/4" x 9 1/2" I Joists	OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" O.C.	I Joists OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	Cantilever 2' bumpout needs 3:1 = 6' backspan	OK 7/1/05

Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6 collar tie 48" o.c. 2x6 Ceiling joist 16" o.c. 2x6 collar tie 48" o.c.	OK
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x8 16" o.c. max span 12'4" 10:12 Dormer 4:12 2x6 16" o.c.	7/1/05 2x10 OK OK
Private Garage (Section R309) Living Space? (Above or beside)	5/8 type X ALL walls/ceiling	OK
Fire separation (Section R309.2)	7	20min or 1 3/8 steel / wood
Opening Protection (Section R309.1)	?	OK 7/1/05
Emergency Escape and Rescue Openings (Section R310)	# 225 A3 Phadt	OK
Roof Covering (Chapter 9)	1st PL span ?	7/1/05 OK
Safety Glazing (Section R308)	?	22x30 OK 7/1/05
Attic Access (Section R807)	?	spec OK 7/1/05
Chimney Clearances/Fire blocking (Chapter 10)	? prefab flue	spec OK 7/1/05 installation
Header Schedule (Section 502.5(1) & (2))	LVL carrying 2nd fl point load Garage ?	3-2x12 OK 7/1/05

? U Factor = .28 OK 7/1/05

Energy Efficiency (N1101.2.1)	R-40 Batt's cap R-20 walls Foundation/First Fl. Boiler	Floor OK"	14
Type of Heating System		OK	
Means of Egress (Sec R311 & R312)	7 Unfinished	OK Not Habitable	
Basement	3		
Number of Stairways	2		
Interior	1		
Exterior	?	7 7/16 x 10' 7/11/05	16
Treads and Risers (Section R311.5.3)			
Width (Section R311.5.1)		OK	
Headroom (Section R311.5.2)	6'8"		
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	?	36" OK 7/1/05	17
Smoke Detectors (Section R313) Location and type/Interconnected	?	OK 7/1/05	18
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	OK N/A	
Deck Construction (Section R502.2.1)	Spans 13'5" 7 2	2x6 joists 16 o.c. 3-2x10 beam LVLs for Roof per Jim M. 7/5/05	19

See Chimney Summary Checklist



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Lot 9 Willows Lane

Total Square Footage of Proposed Structure: 1900 sq ft Square Footage of Lot: 8760

Tax Assessor's Chart, Block & Lot: Chart# 191 - Block# B Lot# 39 Owner: ERIN + ASS. Telephone: 632 1124

Lessee/Buyer's Name (If Applicable): _____ Applicant name, address & telephone: GRANITE CONST
PO BOX 8790
PORTLAND, ME 04104 Cost Of Work: \$ 160,000
Fee: \$ 1461.00

Current Specific use: VACANT LOT

Proposed Specific use: RES. HOME

Project description: SINGLE FAMILY

Contractor's name, address & telephone: GRANITE CONSTRUCTION INC. PO BOX 8790 PORT ME 04104

Who should we contact when the permit is ready: JIM MESSER

Mailing address: PO BOX 8790
PORTLAND ME 04104 Phone: 632 1124

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

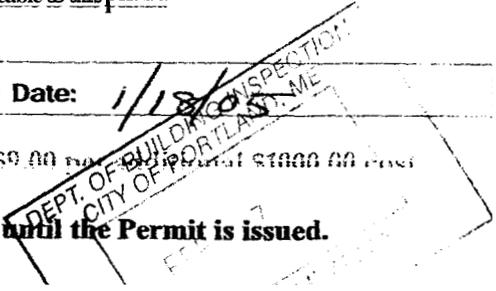
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 1/18/05

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per \$1000.00 thereafter

This is not a Permit; you may not commence any work until the Permit is issued.



Wade

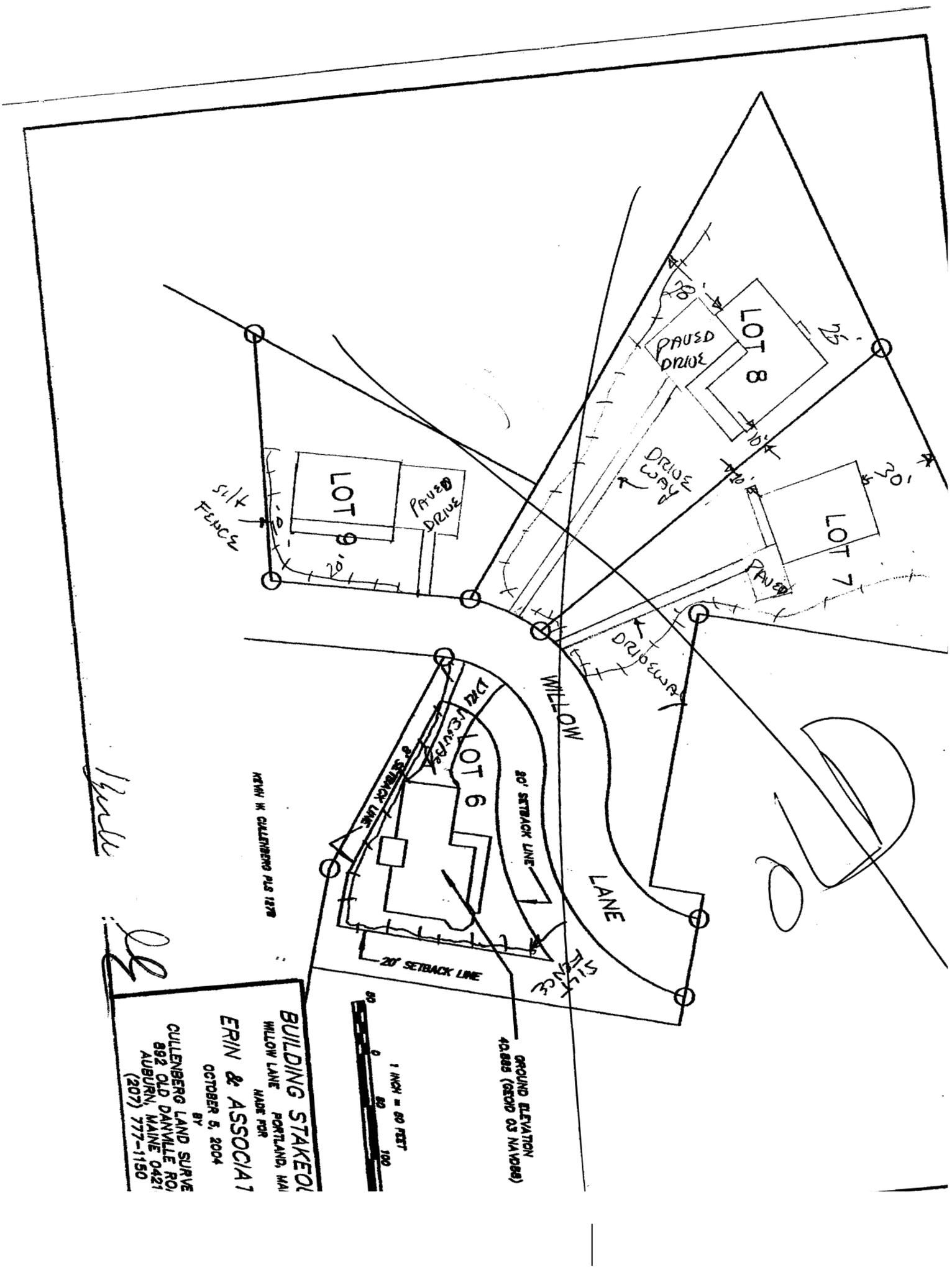
ES

BUILDING STAKEOUT
 WILLOW LANE PORTLAND, MAI
 MADE FOR
ERIN & ASSOCIAT
 BY
 OCTOBER 5, 2004
 CULLENBERG LAND SURVE
 892 OLD DANVILLE RD,
 AUBURN, MAINE 0421
 (207) 777-1150

MEAN W. CULLENBERG PLS 1278



GROUND ELEVATION
40.885 (GRID 03 NAVD83)





Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Applicant/Owner: Jim Messer Granite Construction Date: 2/2/05
Address: 52 Willow Lane (lot #9) C-B-L: 191-B-039

CHECK-LIST FOR ZONING COMPLIANCE - PRUDS

Permit Application Number: # 05-0146

New or Existing Development: - Vacant Land

Zone Location: R-5 PRUD

Proposed Work/Use to construct a New Single Family with a ^{34x41'} ~~one~~ car garage

Interior or corner lot:

Sewage Disposal: Private system pumped into City

Street Frontage: 50' - ~79' shown

Max. Height: 35' max - 28' skated 60' for garages - 41' skated

Max. Length of Bldg - with/without attached garage(s): ^{140'} 25' min - 25' exactly shown

check in field → Min. Setbacks from External Subdivision Property Lines: ^{140'} 25' min - 25' exactly shown
i.e. No side yard setbacks

Min. Distance Between Detached PRUD Buildings: R-5 PRUD has no min dist between structures

Required Recreation Open Space: N/A - Approved prior to this reg

Lot Area Required: 6,000 sq ft min - 8760 sq ft per approved site plan

Net Land Area Per Dwelling Unit: 3,000 sq ft

Off-street Parking: 2 req - ^{4/13/05 plans show a} ~~one~~ car garage part of D.U. one parked in driveway

Site Plan: # 2005-0018

Shoreland/Stream Protection: N/A

Flood Plain: panel 13 of 17 - Zone C

6/13/05 → current plans do NOT show a 20' drainage easement on the ~~right~~ side of this lot
→ now it is shown

Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Planning & Development
Lee Urban, Director



CITY OF PORTLAND

February 24, 2005

Jim Messer
Granite Construction
PO Box 8790
Portland, ME 04104

6/13/05 -
New plans received

RE: 52 Willow Lane (lot #9) - 191-B-0-39 - R-5 PRUD Development - application #05-0146

Dear Mr. Messer,

I am in receipt of your permit application to construct a single family house at the above location. This permit is denied due to the lack of all required documentation. It is also denied because; the submitted documentation is not consistent.

Your current site/plot plan is not stamped by a registered land surveyor. The scale is not accurate. The building footprint is not consistent with the submitted building plans. All building projections are not shown on your site plan. There is no first floor sill elevation given. The 20' drainage easement on the originally approved site plan is not documented on this lot. No utilities are shown. Existing and proposed grade contours are not shown. You are not showing the location of the two required trees. You have not submitted a copy of the deed and/or purchase and sales agreement. This is not a complete list of what you need to submit.

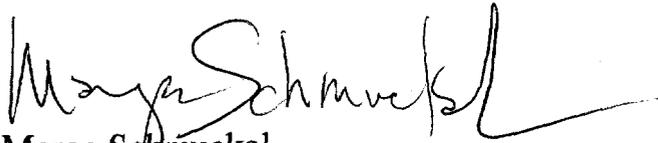
I am attaching a sheet from our permit application that outlines required documentation for a single family home application. ALL outlined information shall be submitted.

Please note that this development was approved as an R-5 Planned Residential Unit Development (PRUD) which is significantly different than a single R-5 lot. Please familiarize yourself with the R-5 PRUD requirements and use those to design your site. Currently you are showing that you can not meet the required 25 foot minimum setback from the external subdivision property lines.

This zoning review is only for zoning criteria. Your permit has not and will not be reviewed for building code issues until the application can pass all zoning requirement thresholds.

If you have any questions, please do not hesitate to contact this office.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Marge Schmuckal
Zoning Administrator

Cc: Jay Reynolds/Sarah Hopkins, Planning
Mike Nugent, Code Enforcement
File

NEW SINGLE FAMILY HOMES

Your submissions must include the following to be accepted as a complete application:

- 1 Copy of the deed and purchase and sales agreement
- 4 Copies of the site/plot plan to scale, this must be prepared and sealed by a registered land surveyor
- 1 Copy of the building/construction plan
- 1 Copy of the site/plot plan and construction/building plan on 11" x 17" paper, we cannot accept the application without the reduced submissions. Electronic plans in .PDF format may be submitted in place of the 11" x 17" copies

PLOT PLAN INCLUDES THE FOLLOWING:

- • The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown and to scale. A photocopy of the plat with hand drawn footprints of buildings **if it is not to scale, it will not be accepted** *must be prepared & sealed by a registered land surveyor*
- • Boundary survey to scale showing north arrow; zoning district & setbacks
- • First Floor sill elevation (based on mean sea level datum);
- • Location and dimensions of parking areas and driveways;
- • Location and size of both existing utilities in the street and the proposed utilities serving the building;
- • Location of areas on the site that will be used to dispose of surface water.
- • Existing and proposed grade contours
- • Silt fence locations
- • Location of two proposed trees by Ordinance
- **THE SURVEYORS MONUMENTS MUST BE IN PLACE AND THE LOT STAKED FOR A SETBACK INSPECTION PRIOR TO ISSUANCE OF A BUILDING PERMIT.**

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING

- COMPLETE STRUCTURAL DETAILS OF ALL ELEMENTS OF CONSTRUCTION.
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be Included.



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: Lot 9 Willow Lane

Total Square Footage of Proposed Structure: 1900 sq ft

Square Footage of Lot: 8760

Tax Assessor's Chart, Block & Lot: Chart# 191 - B

Block# B Lot# 39

Owner: Erin + Jess

Telephone: 632 1124

Lessee/Buyer's Name (If Applicable): _____

Applicant name, address & telephone: GRANITE CONSTRUCTION INC. PO BOX 8790 PORTLAND, ORE

Cost Of Work: \$146,000

Fee: \$146,000

Current Specific use: VACANT LOT

Proposed Specific use: RES. HOME

Project description: SINGLE FAMILY

Contractor's name, address & telephone: GRANITE CONSTRUCTION INC. PO BOX 8790 PORTLAND, ORE

Who should we contact when the permit is ready: JIM MESSER

Mailing address: PO BOX 8790 PORTLAND, ORE 97208

Phone: 632 1124

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

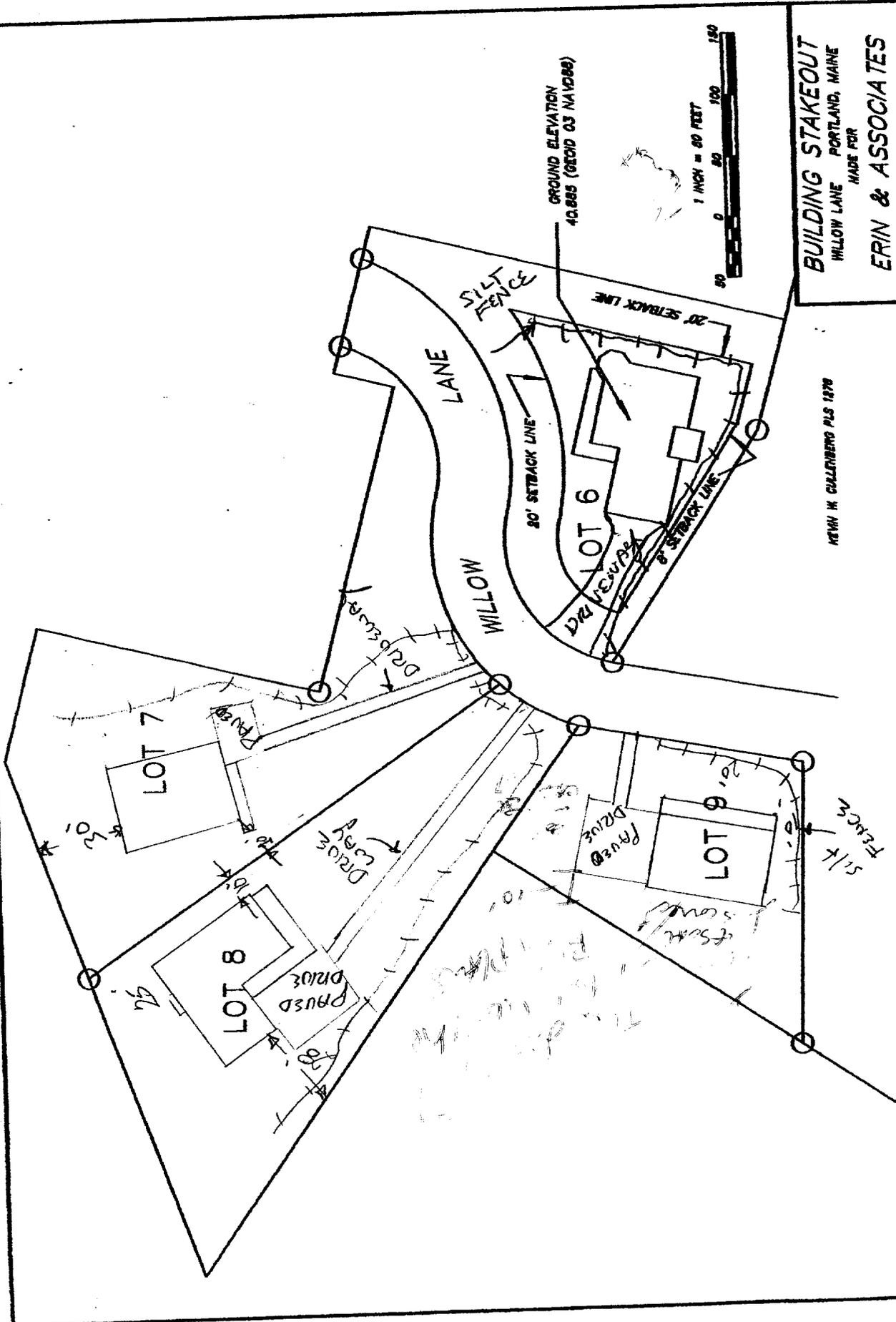
Signature of applicant: [Signature]

Date: 1/18/05

Permit Fee: \$30.00 for the first \$100.00 Construction Cost, \$9.00 for each additional \$100.00

RECEIVED
FEB 7 2005
DEPT. OF BUILDING INSPECTIONS
CITY OF PORTLAND, ORE

This is not a Permit; you may not commence any work until the Permit is issued.



BUILDING STAKEOUT

WILLOW LANE PORTLAND, MAINE
MADE FOR

ERIN & ASSOCIATES

OCTOBER 5, 2004
BY

CULLENBERG LAND SURVEYING
892 OLD DANVILLE ROAD
AUBURN, MAINE 04210
(207) 777-1150

HEATH H. CULLENBERG PLS 1879

Heath H. Cullenberg

Kevin Cullenberg

From: opus@ngs.noaa.gov
Sent: Monday, September 27, 2004 7:19 AM
To: cs@megalink.net
Subject: OPUS solution : portland_meser 000213909

=====
NGS OPUS SOLUTION REPORT

USER: cs@megalink.net
RINEX FILE: port268r.04o
DATE: September 27, 2004
TIME: 11:19:16 UTC

SOFTWARE: pages 0407.16 master16.pl
EPOCHS: 1995.eph [rapid]
NAV FILE: brdc2680.04n
ANT NAME: TRM41249.00
ARP HEIGHT: 1.457
OBS USED: 4124 / 4219 : 98%
FIXED ANTS: 25 / 25 : 100%
OVERALL RMS: 0.016(m)

REF FRAME: NAD83(CORS96) (EPOCH:2002.0000) ITRF00 (EPOCH:2004.7316)

X: 1558376.533(m) 0.030(m) 1558375.846(m) 0.030(m)
Y: -4351227.859(m) 0.039(m) -4351226.433(m) 0.039(m)
Z: 4380571.637(m) 0.020(m) 4380571.574(m) 0.019(m)
LMT: 43 39 24.43305 0.021(m) 43 39 24.46678 0.021(m)
E LON: 289 42 17.28548 0.021(m) 289 42 17.27807 0.021(m)
W LON: 70 17 42.71452 0.021(m) 70 17 42.72193 0.021(m)
EL HGT: -13.734(m) 0.045(m) -14.916(m) 0.044(m)
ORTHO HGT: 12.462(m) 0.051(m) [Geoid03 NAVD88]

UTM(zone 19) : 4834569.047(m) 395561.459(m) -0.89420393 0.99973416
SPC(1802 ME W) : 91488.629(m) 889632.057(m) -0.08873034 0.99996799
US NATIONAL GRID DESIGNATOR: 19TCTJ

BASE STATIONS USED

STATION NAME: JID830 BARN BARTLETT
CORSSORS ARP: N430855.684 W0700234.290 89293.3
CORSSORS ARP: AF9487 BRUI BRUNSWICK 1 CORSS ARP
N435323.306 W0695647.665 38185.3

CC1149 POR 23 N433925. W0701755. 275.4

This position was computed without any knowledge by the National Geodetic Survey regarding the equipment or field operating procedures used.

12.462 X 3.2808 = 40.8853 ft

Residential Building Permit Application Checklist



All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches, a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow, zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- Location of areas on the site that will be used to dispose of surface water
- Existing and proposed grade contours
- Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

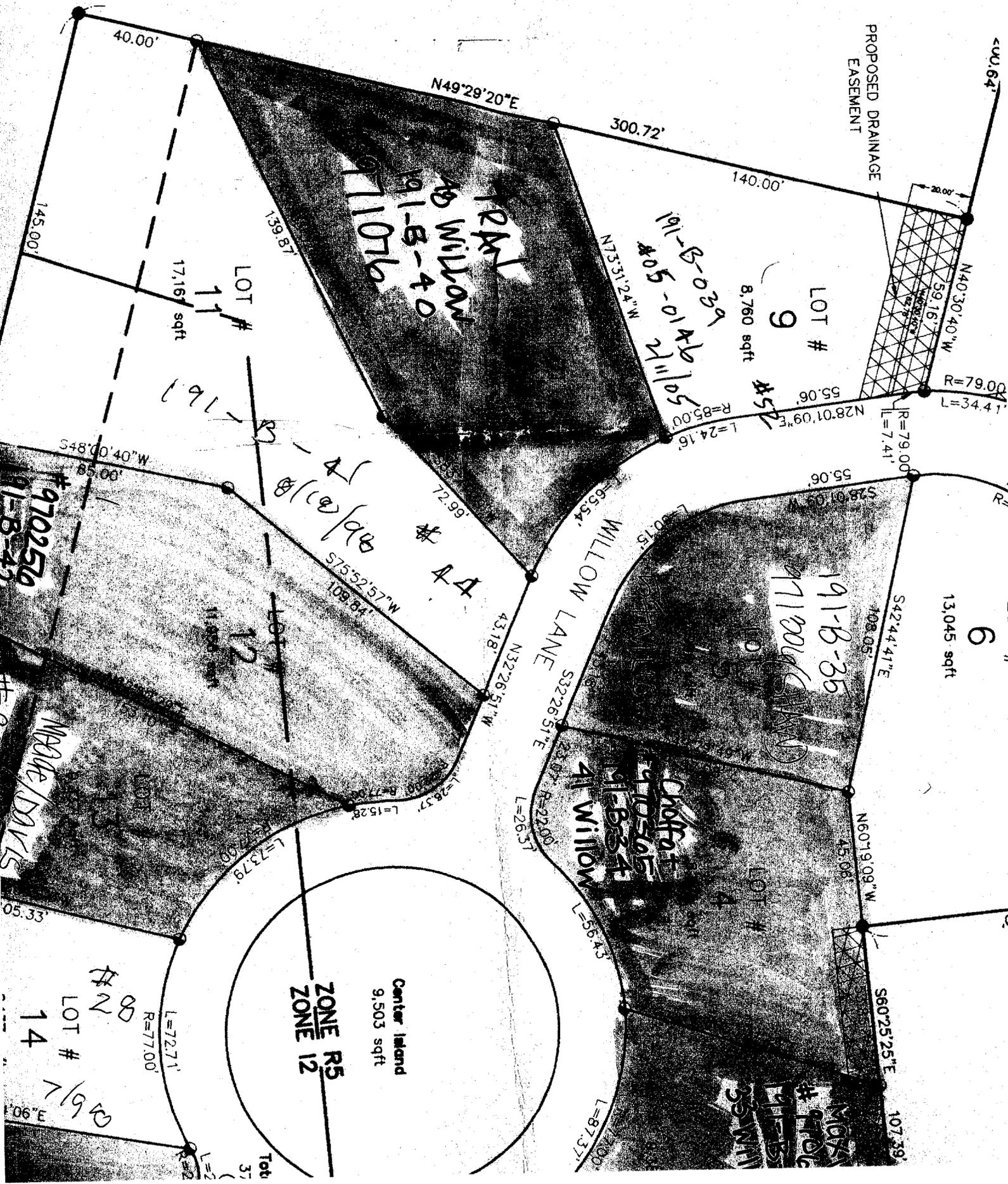
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

RICAN
INTER
3

PROPOSED DRAINAGE
EASEMENT



12 AC 1/2
WILLOW
191-B-40
911076

LOT #
9

13,045 sqft
6

44

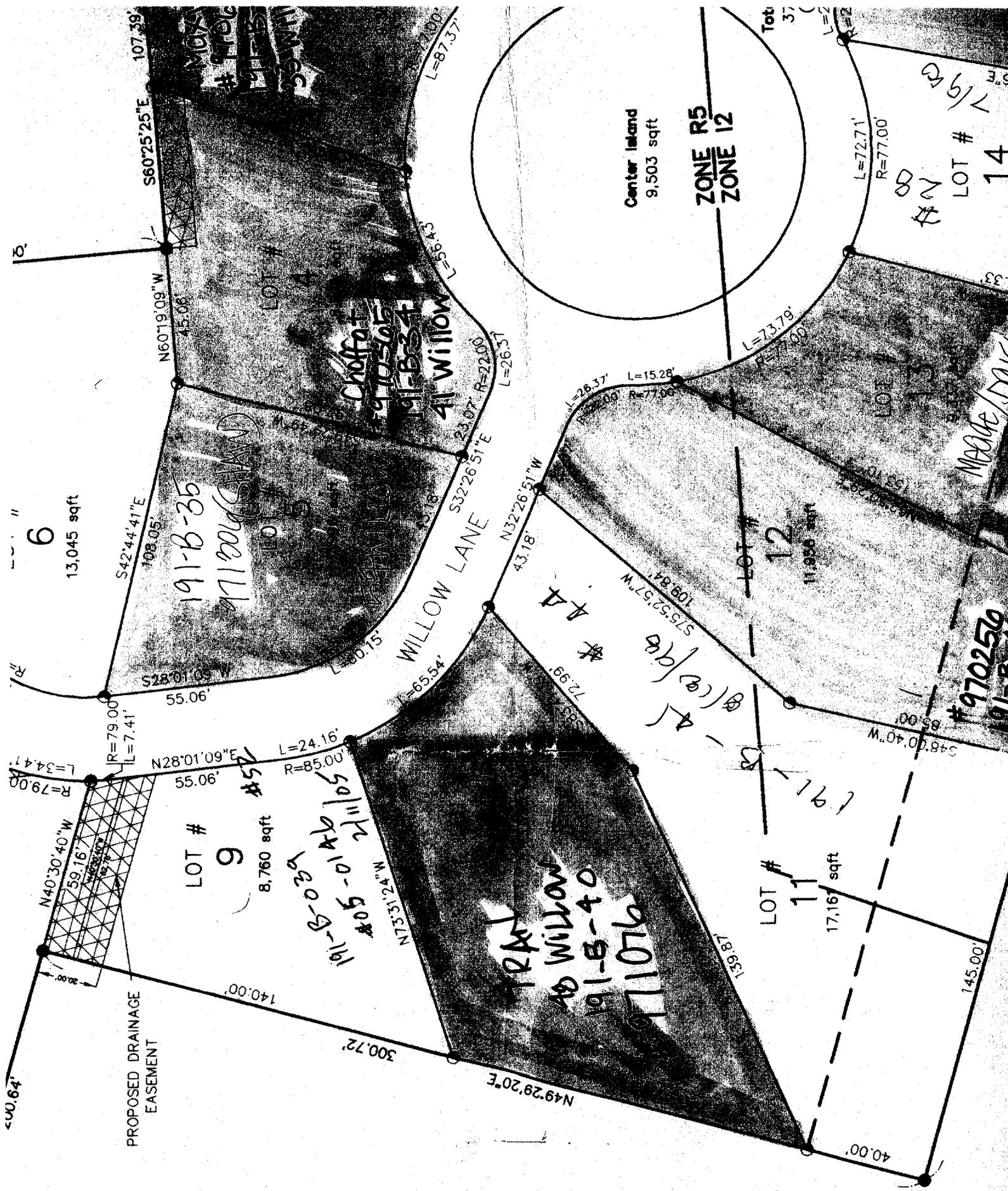
LOT #
12

Center Island
9,503 sqft
ZONE R5
ZONE 12

LOT #
14

LOT #
28

Tot
37



6

13,045 sqft

191-B-35

971006

Choffo #970250 191-B-35

41 Willow

WILLOW LANE

A4

A1

12

11,956 sqft

#970250 191-B-40

MAGE/DAVIS

PROPOSED DRAINAGE EASEMENT

LOT # 9

8,760 sqft

191-B-35 #57

TRAIL AB Willow 191-B-40 171076

LOT # 11

17,167 sqft

Center Island 9,503 sqft

ZONE R5 ZONE I2

#W 00

LOT # 14

7/9/10

RICAN ENTER 9



Max
#9706
191-B-
33 Will

191B-36
41 Willow (Handwritten)

Choffat
#970305
191-B-34
41 Willow

57 Willow

TRM
40 Willow
191-B-40
#971076

#970250
191B-46

Matt/Darc

#28

7/9/14

PROPOSED DRAINAGE LEASEMENT



