

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

116 Mill St #34 SPRINGVALE, ME 04083

Location of Construction:	Owner: <b>SHAW, DEAN &amp; JESSICA</b>	Phone:	Permit No: <b>971306</b>
Owner Address:	Lessee/Buyer's Name:	Phone:	Business Name:
Contractor Name:	Address:	Phone:	<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  Permit Issued:  <b>DEC 16 1997</b>  <b>CITY OF PORTLAND</b> </div>
Past Use:	Proposed Use:	<b>COST OF WORK:</b> \$ <b>PERMIT FEE:</b> \$ <b>FIRE DEPT.</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied <b>INSPECTION:</b> Use Group: Type: Signature: Signature:	
Proposed Project Description:	<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b> Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: Date:		Zone: CBL: Zoning Approval: <b>Special Zone or Reviews:</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Permit Taken By:	Date Applied For:		<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <b>Action:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: _____

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED WITH REQUIREMENTS**

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**CERTIFICATION**

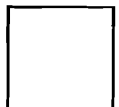
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ PHONE: \_\_\_\_\_

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT



**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 57 Willow Ln Lot #5		Owner: Ric Weinschenk Builders		Phone:		Permit No: <b>971306</b>	
Owner Address:		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Ric Weinschenk Builders		Address: 91 Summer Place Ptd, ME 04103		Phone: 828-3900		Permit Issued: <b>DEC 16 1997</b>	
Past Use: Vacant Land		Proposed Use: 1-fam		COST OF WORK: \$ 89,600.00		PERMIT FEE: \$ 470.00	
Proposed Project Description: Construct Single Family Dwelling w/front porch & rear deck		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group <b>R3</b> Type: <b>5B</b>		Zone: <b>R-5 PRUB</b> CBL: 191-B-035	
		Signature: <i>Date Rec'd 15 Dec 97</i>		Signature: <i>BOGA 96</i>		Zoning Approval: <i>ok with conditions</i>	
Permit Taken By: <b>Mary Gresik</b>		Date Applied For: <b>01 December 1997</b>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Special Zone or Reviews: <input type="checkbox"/> Shoreland <b>4A</b> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Zone Panel B</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> Imm <b>13</b>	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature:		Date:		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

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*Paul Neihoff*

08 December 1997 - Permit Routed  
01 December 1997

SIGNATURE OF APPLICANT Paul Neihoff ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

**A**

*A. Powers*

Action:

- Approved  
 Approved with Conditions  
 Denied

Date: 12/8/97

*MT*

Historic Preservation  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

COMMENTS

12/17/97 Pre-pour foundation inspection

#1 Blue Rock concrete (supplied)

12/22/97 Foundation finished - see drawing - attached to wall. See drawing for details.

1/1/98 (11) 11/11/97

Control Slab Rebar for 1'

Work performed by contractor

2nd Row Rebar Safety rails. Spacing 1000, 5" 11

5/25/98 All of above corrected

Send document signed

Entire

Design, drawing, framing, etc. See drawing. Rebar on lot & done.

Summit, Inc. Construction

Installation of replacement wall requires separate permit (a)

Inspection Record

Foundation:	HLR	Type		Date	12/17/97
Framing:	(OK)	See Framing Report	corrections made		
Plumbing:					
Final:					
Other:					



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION *1111 1/2 Commercial Street, Portland, ME 04101*

Issued to *Portland Building Dept*

Date of Issue *10/10/1978*

**This is to certify** that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. *07-300*, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

*Entire*

APPROVED OCCUPANCY

*Single Family Dwelling*

*No Garage*

*Decks on 1st and 2nd stories*

**Limiting Conditions:**

*Installation of fireplace(s) will require separate permit(s).*

This certificate supersedes  
certificate issued

Approved:

*6/2/79*  
\_\_\_\_\_  
(Date)

*[Signature]*  
\_\_\_\_\_  
Inspector

*[Signature]*  
\_\_\_\_\_  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

BOCA®

## PLAN REVIEW RECORD

Valuation: \_\_\_\_\_

Plan Review # \_\_\_\_\_

Fee: \_\_\_\_\_

Date: 16 Dec 97CABO  
ONE AND TWO FAMILY DWELLING CODE

JURISDICTION

Portland Me.

(City, County, Township, etc.)

BUILDING LOCATION

57 Willow Ln.

(Street address)

BUILDING DESCRIPTION

Single Family Dwelling

REVIEWED BY

JS

Numerals indicated in parenthesis are applicable code sections of the 1992 Edition of the CABO One and Two Family Dwelling Code. The plan review accomplished as indicated in this record is limited to those code sections specifically identified herein. This record references commonly applicable code sections. It does not reference all code provisions which may be applicable to specific buildings. This record is designed to be used only by those who are knowledgeable and capable of exercising competent judgement in evaluating construction documents for code compliance.

## CORRECTION LIST

No.	DESCRIPTION	Code Section
	See Building permit	
	Report.	



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BUILDING OFFICIALS AND CODE ADMINISTRATORS INTERNATIONAL, INC.  
4051 W. FLOSSMOOR ROAD COUNTRY CLUB HILLS, ILLINOIS 60478-5795

## BUILDING PLANNING (Chapter 2)

### LOCAL DESIGN CRITERIA (R-201, Table No. R-201.2 and Appendix A)

Roof live load 42 psf Frost line depth min. 4' below  
 Roof snow load 45 psf Termite area N/A  
 Wind pressure 8.5 psf Decay area N/A  
 Seismic zone 2 Winter design temp. N/A  
 Weathering area Severe

### ROOM PLANNING REQUIREMENTS (R-203 through R-205)

Use	Area (ft <sup>2</sup> )	Width	Average ceiling	Minimum ceiling	Natural* light	Natural or mechanical ventilation
Living	150	7'	7'6"	5'0"	8% floor area	4% floor area or 2 AC/H**
Dining	70	7'	7'6"	5'0"	8% floor area	4% floor area or 2 AC/H
Kitchen	50	N.A.	7'0"	5'0"	8% floor area	4% floor area or 2 AC/H
Bedroom	70	7'	7'6"	5'0"	8% floor area	4% floor area or 2 AC/H
Bathroom	N.A.	N.A.	7'0"	5'0"	3 square feet	1 1/2 square feet or 5 AC/H

\* Artificial light — 6 footcandles at 30" above the floor

\*\* AC/H = air changes per hour

N/A Required heating (R-203.5)

### LOCATION ON LOT (R-202)

OK 1-hour rating for exterior walls located less than 3 feet from property line

OK Exterior wall openings

### SANITATION (R-206 & R-207)

OK Water closet in compartment with privacy; minimum 30" wide with 21" clear in front of water closet

OK Lavatory

OK Tub or shower in compartment with privacy

OK Kitchen area with sink

### GLAZING (R-208)

OK Labeling

OK Louvered windows or jalousies

OK Human impact loads/hazardous locations

OK Wind loads

OK Skylights and sloped glazing

### PRIVATE GARAGES (R-209)

OK No opening between garage and sleeping room

OK Other openings (garage to residence); 1 3/8" solid wood doors, 20-minute fire-rated doors or equivalent

### PRIVATE GARAGES (cont'd.)

OK Garage-dwelling separation; 1/2" gypsum board or equivalent on garage side

OK Floor surface noncombustible

### EGRESS (R-210 through R-214)

OK One exit from each dwelling unit (R-210.1)

OK Sleeping room window for emergency escape: opening 5.7 square feet (grade floor, 5 square feet), 24" net clear height, 20" net clear width; maximum sill height = 44" (R-210.2)

OK Under stair protection (R-210.3)

OK Exit door ≥ (3'0" × 6'8") (R-211)

OK Exit access or hallway ≥ 3' (R-211)

OK Landings; minimum 3' × 3' (R-212)

OK Stairways; minimum width = 3'0"; maximum stair rise = 8 1/4"; minimum tread = 9"; minimum headroom = 6'8" (Figure No. R-213.1)

OK Winders (R-213.2)

N/A Spiral stairways (R-213.3)

OK Handrails; required on one side of stair if three or more risers; handrail height = 30" to 38" (R-214.1)

OK Guardrails; required for porches, balconies, open sides of stairs, or raised floor surfaces > 30" above floor  
Minimum guardrail height = 36" (R-214.2)

OK Opening limitations; < 6" for intermediate rails or ornamental closures, ≤ 4" for vertical members (R-214.2)

## BUILDING PLANNING (cont'd.)

### SMOKE DETECTORS (R-215)

Y Required  
     Power source

### FOAM PLASTIC (R-216)

N/A Approved  
N/A Requirements  
N/A Location

### FLAME-SPREAD AND SMOKE DENSITY (R-217)

N/A Wall/ceiling finishes  
N/A Insulation flame-spread rating (25 maximum)  
N/A Smoke density (450 maximum)

### MOISTURE VAPOR RETARDERS (R-220 & R-503.6.1)

N/A Provided

### DWELLING UNIT SEPARATION (R-218)

     Construction (1-hour minimum)  
N/A Floor/ceiling and wall continuity  
N/A Sound transmission  
     Townhouse exception (2 hours)\*  
     Townhouse parapet\*  
     Townhouse structural independence\*

\*Not applicable to structures classified in accordance with the BOCA National Building Code/1993 as Use Group R-4.

### RAMPS (R-219)

     Ramp slope (1:8 maximum)  
N/A Handrails; one required if slope > 1:12  
N/A Landing, minimum 3' x 3'

## FOUNDATIONS (Chapter 3)

### WOOD FOUNDATIONS (R-302.1)

N/A Design  
N/A Installation

### FOOTINGS (R-303 & Figure No. R-303)

OK Depth below (outside) grade = 12" minimum, but below frost line

2500 Soil bearing value

OK Footing edge thickness = 6" minimum, footing stem thickness = 6" minimum

OK Footing extension above grade = 8" minimum

2x6 Sill size = 2" x (stud width)" minimum

OK Bolting in concrete = 1/2" diameter bolts at 6' o.c. and within 12" from corner, 7" embedment

✓ Bolting in masonry = 1/2" diameter bolts at 6' o.c. and within 12" from corner, 15" embedment

### FOOTINGS (cont'd.)

OK Footing width = 12" minimum (1-story); 15" minimum (2-story); 18" minimum (3-story)

### FOUNDATION WALLS (R-304 through R-306)

yes Footing required under foundation wall (R-303)

8" Minimum wall thickness/maximum depth of unbalanced fill (see page 6)

OK Drains required if habitable or usable spaces are below grade\* (R-305)

OK Dampproofing if basements are below grade\* (R-306)

OK Waterproofing membrane if habitable spaces below grade\* (R-306.1)

### FOUNDATION INSULATION (R-307)

     Protective covering (minimum 6" below grade)

\* If uninhabitable, see crawl space (R-311)

## FOUNDATIONS (cont'd.)

Table No. R-304.3a  
**MINIMUM THICKNESS AND ALLOWABLE DEPTH OF UNBALANCED FILL FOR UNREINFORCED MASONRY AND  
 CONCRETE FOUNDATION WALLS<sup>1,4</sup> WHERE UNSTABLE SOIL OR GROUND WATER CONDITIONS DO NOT  
 EXIST IN SEISMIC ZONES NO. 0, 1 OR 2**

FOUNDATION WALL CONSTRUCTION	NOMINAL THICKNESS, <sup>3</sup> INCHES	MAXIMUM DEPTH OF UNBALANCED FILL, <sup>1</sup> FEET
Masonry of Hollow Units, UngROUTED	8 10 12	4 5 6
Masonry of Solid Units	6 8 10 12	3 5 6 7
Masonry of Hollow or Solid Units, Fully Grouted	8 10 12	7 8 8
Plain Concrete	6 <sup>2</sup> 8 10 12	6 7 8 8
Rubble Stone	Foundation wall of rubble stone shall be at least 16 inches thick. Rough or random rubble shall not be used as foundations for walls exceeding 35 feet in height.	
Masonry of hollow units reinforced vertically with #4 bars and grout at 24 inches on center. Bars located not less than 4 1/2 inches from pressure side of wall.	8	7

<sup>1</sup> Maximum depths of unbalanced fill may be increased with the approval of the building official when soil conditions warrant such increase. Unbalanced fill is the height of outside finish grade above the basement floor or inside grade.

<sup>2</sup> 6-inch plain concrete walls shall be formed on both sides.

<sup>3</sup> The actual thickness shall not be more than 1/2-inch less than the required nominal thickness specified in the table.

<sup>4</sup> The height between lateral supports shall not exceed 8 feet.

Table No. R-304.3b  
**REQUIREMENTS FOR MASONRY OR CONCRETE FOUNDATION WALLS SUBJECTED TO NO MORE PRESSURE  
 THAN WOULD BE EXERTED BY BACKFILL HAVING AN EQUIVALENT FLUID WEIGHT OF 30 POUNDS PER  
 CUBIC FOOT LOCATED IN SEISMIC ZONE NO. 3 OR 4 OR SUBJECTED TO UNSTABLE SOIL CONDITIONS**

MATERIAL TYPE	HEIGHT OF UNBALANCED FILL IN FEET <sup>3</sup>	LENGTH OF WALL BETWEEN SUPPORTING MASONRY OR CONCRETE WALLS IN FEET	REQUIRED REINFORCING		
			MINIMUM <sup>1</sup> WALL THICKNESS IN INCHES <sup>4</sup>	HORIZONTAL BAR IN UPPER 12 INCHES OF WALL	SIZE AND SPACING OF VERTICAL BARS
Hollow Masonry	4 or less	unlimited	8	not required	not required
	more than 4	design required	design required	design required	design required
Concrete or Solid Masonry <sup>2</sup>	4 or less	unlimited	8	not required	not required
	more than 4	less than 8	8	2-No. 3	No. 3 @ 18" O.C.
	8 or less	8 to 10	8	2-No. 4	No. 3 @ 18" O.C.
	8 or less	10 to 12	8	2-No. 5	No. 3 @ 18" O.C.
	more than 8	design required	design required	design required	design required

<sup>1</sup> Thickness of concrete walls may be 6 inches, provided reinforcing is placed not less than 1 inch nor more than 2 inches from the face of the wall not against the earth.

<sup>2</sup> Solid masonry shall include solid brick or concrete units and hollow masonry units with all cells grouted.

<sup>3</sup> Backfilling shall not be commenced until after the wall is anchored to the floor.

<sup>4</sup> The actual thickness shall not be more than 1/2 inch less than the required thickness specified in the table.



## FOUNDATIONS (cont'd.)

### COLUMNS (R-308)

Protection from decay or corrosion  
 Structural requirements  
 Anchorage  
 Wood columns (minimum 4" square)  
 Steel columns (minimum 3" diameter, standard weight)

### DECAY AND TERMITE AREAS (cont'd.)

Adequate protection

### CRAWL SPACE (R-311)

Ventilation  
 Access (18" x 24")  
 Removal of debris  
 Finished grade

### DECAY AND TERMITE AREAS (R-309 & R-310)

Location required (Table No. R-201.2)

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## WALL CONSTRUCTION (Chapter 4)

### GENERAL (R-401)

Design  
 Load requirements (R-201)

### WOOD CONSTRUCTION (R-402)

Grade; E = \_\_\_\_\_ F<sub>b</sub> = \_\_\_\_\_  
 Construction (Figure Nos. R-402.3a & R-402.3b)  
 Stud grade \_\_\_\_\_ spacing (Table No. R-402.3d)  
 Exterior and interior bearing walls  
 Interior nonbearing partitions: 2" x 3" at 24" o.c. or 2" x 4" flat at 16" o.c.  
 Drilling and notching — studs  
 Top plate reinforcing  
 Headers (Table Nos. R-402.6a through R-402.6f)

### WOOD CONSTRUCTION (cont'd.)

Firestopping  
 Draftstopping  
 Cripple walls  
 Wall bracing (Table No. R-402.10)

### METAL CONSTRUCTION (R-403)

Materials  
 Design

### MASONRY CONSTRUCTION (R-404 through R-410)

General design  
 Types of masonry  
 Construction requirements

Table No. R-402.3d  
MAXIMUM STUD SPACING (INCHES)

STUD SIZE	SUPPORTING ROOF AND CEILING ONLY	SUPPORTING ONE FLOOR ROOF AND CEILING	SUPPORTING TWO FLOORS ROOF AND CEILING	SUPPORTING ONE FLOOR ONLY
2 x 4	24 <sup>1</sup>	16	—	24 <sup>1</sup>
3 x 4	24 <sup>1</sup>	24	16	24
2 x 5	24	24	—	24
2 x 6	24	24	16	24

<sup>1</sup> Shall be reduced to 16 inches if Utility grade studs are used.

## WALL COVERING (Chapter 5)

### INTERIOR WALL COVERING (R-502)

- Wood stripping for furred lath or wallboard (R-502.2)
- Interior lath (R-502.3); Support (Table No. R-502.3a)
- Interior plaster (R-502.4); Thickness (Table No. R-503.3a)
- Gypsum wallboard (R-502.5); Application (Table No. R-502.5)
- Shower and bath compartments: Smooth, hard, nonabsorbent surface to minimum 6 feet above floor
- Other finishes

### EXTERIOR WALL COVERING (R-503)

- Exterior lath (Table Nos. R-502.3a & R-502.3b)
- Exterior plaster (Table Nos. R-503.3a, R-503.3b & R-503.3c)
- Masonry veneer (Table No. R-503.6 & Figure No. R-503.4)  
Maximum height (35' in Seismic Zones 0, 1 or 2; 25' in Seismic Zones 3 or 4); Steel angle lintels (Table No. R-503.4.1) (4" minimum bearing each end)

### EXTERIOR WALL COVERING (cont'd.)

- Veneer ties: #9 wire or #22 corrugated metal; 24" o.c. horizontal spacing; 3/4 square feet maximum area supported (wind > 30 psf and Seismic Zones 3 or 4 maximum area = 2 square feet) (R-503.4.2)

### WEATHER PROTECTION (R-503.5 through R-503.10)

- Weather-resistant siding (Table No. R-503.6)
- Nonweather-resistant siding backed by a weather-resistant membrane (Table No. R-503.6)
- Flashing
- Plywood application
- Attachment (Table No. R-503.6)

## FLOORS (Chapter 6)

### WOOD JOISTS AND GIRDERS (R-602)

- Joists — Nonsleeping areas (LL = 40 psf) Table No. 6-A, Appendix B
- Joists — Sleeping areas (LL = 30 psf) Table No. 6-B, Appendix B
- Grade; E = \_\_\_\_\_ F<sub>b</sub> = \_\_\_\_\_
- Girder supporting one floor only (Table No. R-602.2.1a)
- Girder supporting more than one floor (Table No. R-602.2.1b)
- Column supporting girder (Table No. R-602.2.1b)
- Footing supporting column (Table No. R-602.2.1b)
- Bearing (1 1/2" minimum on wood or steel; 3" on masonry)

### WOOD JOISTS AND GIRDERS (cont'd.)

- Lateral support and bridging
- Cutting and notching
- Bored holes
- Floor framing
- Headers
- Floor trusses

### CONCRETE FLOORS (R-603)

- Thickness — 3 1/2" minimum (2,500 psi minimum) (Figure No. R-303)
- Control joints (depth at least 1/4 of slab thickness; maximum interval = 30 feet; offsets exceeding 10' to have control joint at point of offset), or; reinforcement (6 x 6 welded wire fabric or equivalent)

## FLOORS (cont'd.)

### CONCRETE FLOORS (cont'd.)

- \_\_\_\_\_ Support: (prepared subgrade: maximum earth fill = 8"; maximum sand or gravel fill = 24")
- \_\_\_\_\_ Base course: (4" graded [2" to 1/4"] aggregate)
- \_\_\_\_\_ Vapor barrier

### TREATED-WOOD FLOORS (ON GROUND) (R-604)

- \_\_\_\_\_ Base course: (4" thick with maximum 3/4" gravel or 1/2" crushed stone)
- \_\_\_\_\_ Moisture barrier: (over base course)

### METAL (R-605)

- \_\_\_\_\_ Materials
- \_\_\_\_\_ Design

### PLYWOOD (R-606)

- \_\_\_\_\_ Grade
- \_\_\_\_\_ Thickness
- \_\_\_\_\_ Allowable spans (Table Nos. R-606.1a & R-606.1b)
- \_\_\_\_\_ Installation (Table No. R-606.1a)

### PARTICLEBOARD (R-607)

- \_\_\_\_\_ Grade
- \_\_\_\_\_ Thickness
- \_\_\_\_\_ Allowable spans (Table No. R-607.1.2)
- \_\_\_\_\_ Installation (Table No. R-402.3a)

## ROOF-CEILING CONSTRUCTION (Chapter 7)

### RAFTERS AND CEILING JOISTS (R-702)

- \_\_\_\_\_ Rafter tie where joists are  $\perp$  to rafters (4' o.c.) (R-702.2)
- OK* \_\_\_\_\_ Rafter brace to bearing walls (2" x 4" at 4' o.c. minimum) (Figure No. R-702.3)
- \_\_\_\_\_ Purlin rafter support (2" x construction minimum) (Figure No. R-702.3 & Table No. R-702.3)
- \_\_\_\_\_ Connection of roof-ceiling system to masonry walls (Figure Nos. R-404.9, R-404.10a & R-404.10b)

- \_\_\_\_\_ Bearing
- \_\_\_\_\_ Cutting and notching
- \_\_\_\_\_ Bored holes
- \_\_\_\_\_ Lateral support and bridging
- \_\_\_\_\_ Headers
- \_\_\_\_\_ Trusses
- \_\_\_\_\_ Roof tie-down

### RAFTERS

\_\_\_\_\_ Grade;  $E =$  \_\_\_\_\_  $F_b =$  \_\_\_\_\_ (R-702.1) \_\_\_\_\_ FRTW allowable stresses/grading

Rafters supporting a gypsum or plastered ceiling (cathedral type)\*

\_\_\_\_\_ Gypsum ceiling ( $\Delta = L/240$ ) (R-201.6)

LL = 20: Use Table 7-E

LL = 30: Use Table 7-F

LL = 40: Use Table 7-G

\_\_\_\_\_ Plastered ceiling ( $\Delta = L/360$ ) (R-201.6)

LL = 20: Use Table 7-H

LL = 30: Use Table 7-I

LL = 40: Use Table 7-J

Rafters not supporting a finished ceiling (attic type)\*

*NA* \_\_\_\_\_ Low-slope (slope  $\leq 3:12$ )  
(Light roofing: DL = 10 psf)

LL = 20: Use Table 7-K

LL = 30: Use Table 7-L

LL = 40: Use Table 7-M

\_\_\_\_\_ High slope (slope  $> 3:12$ )  
(Heavy roofing: DL = 15 psf)

LL = 20: Use Table 7-N

LL = 30: Use Table 7-O

LL = 40: Use Table 7-P

\_\_\_\_\_ High slope (slope  $> 3:12$ )  
(Light roofing: DL = 7 psf)

LL = 20: Use Table 7-Q

LL = 30: Use Table 7-R

LL = 40: Use Table 7-S

\* Tables contained in Appendix B; L = span length

## ROOF-CEILING CONSTRUCTION (cont'd.)

### JOISTS (CEILINGS)

\_\_\_\_\_ Grade; E = \_\_\_\_\_ F<sub>b</sub> = \_\_\_\_\_ (R-702.1) \_\_\_\_\_ FRTW allowable stresses/grading

Joists with limited attic storage (roof slope > 3:12) (LL = 20 psf; DL = 10 psf) (Table No. R-201.4)\*

\_\_\_\_\_ Plaster ceiling ( $\Delta = L/360$ ) (R-201.6)  
Use Table 7-A

\_\_\_\_\_ Gypsum ceiling ( $\Delta = L/240$ ) (R-201.6)  
Use Table 7-B

Joists with no attic storage (roof slope  $\leq$  3:12) (LL = 10 psf; DL = 5 psf) (Table No. R-201.4)\*

\_\_\_\_\_ Plaster ceiling ( $\Delta = L/360$ ) (R-201.6)  
Use Table 7-C

\_\_\_\_\_ Gypsum ceiling ( $\Delta = L/240$ ) (R-201.6)  
Use Table 7-D

\* Tables contained in Appendix B; L = span length

### PLYWOOD (R-703)

\_\_\_\_\_ Grade

\_\_\_\_\_ Thickness

\_\_\_\_\_ FRTW allowable stresses/grading

\_\_\_\_\_ Allowable spans (Table No. R-606.1a)

\_\_\_\_\_ Installation (Table No. R-606.1a)

### PARTICLEBOARD (R-704)

\_\_\_\_\_ Grade

### PARTICLEBOARD (cont'd.)

1/2 Thickness

\_\_\_\_\_ Allowable spans (Table No. R-704.2)

\_\_\_\_\_ Installation (Table No. R-704.2)

### ATTICS

Ventilation requirements (R-707)

Access requirements (R-708)

## ROOF COVERINGS (Chapter 8)

### GENERAL (R-801)

OK Load/weather resistance

OK Approved materials

\_\_\_\_\_ Underlayment

\_\_\_\_\_ Valley flashing

### DECK PREPARATION (R-802)

OK Underlayment application

OK Underlayment attachment

OK Application

OK Roof slope

OK Underlayment

### ASPHALT SHINGLES (R-803)

OK Steep-slope application (slope  $\geq$  4:12)

OK Low-slope application (2:12  $\leq$  slope < 4:12)

\_\_\_\_\_ Attachment (Table No. R-803.4)

\_\_\_\_\_ Flashing

### TILE, CLAY OR CONCRETE SHINGLES (R-806)

\_\_\_\_\_ Application

\_\_\_\_\_ Attachment

\_\_\_\_\_ Roof slope

\_\_\_\_\_ Underlayment

\_\_\_\_\_ Valley flashing

### SLATE SHINGLES (R-804)

OK Application

## ROOF COVERINGS (cont'd.)

### BUILT-UP ROOFING (R-807)

- Underlayment
- Installation requirements

### WOOD SHINGLES (R-808)

- Sheathing requirements
- Installation requirements
- Attachment & exposure (Table Nos. R-808.2a and R-808.2b)

Valley flashing

### WOOD SHAKES (R-809)

- Sheathing requirements
- Installation requirements
- Attachment & exposure (Table Nos. R-808.2a and R-808.2b)
- Valley flashing

## CHIMNEYS AND FIREPLACES (Chapter 9)

### MASONRY CHIMNEYS (R-901)

- Construction (R-901.1 & Figure No. R-903.1)
- Changes in dimension
- Additional load
- Termination
- Wall thickness;  $\geq 4$ "
- Flue lining - material/installation
- Multiple flues
- Flue area
- Inlet
- Cleanout opening
- Chimney clearance
- Firestopping

### FACTORY-BUILT CHIMNEYS (R-902)

- Approved and listed
- Installation

### MASONRY FIREPLACES (R-903)

- Construction (Figure No. R-903.1 & Table No. R-903.1)
- Steel fireplace units
- Lintel (noncombustible)
- Hearth extension material
- Hearth extension
- Fireplace clearance
- Firestopping
- Combustible materials

### FACTORY-BUILT FIREPLACES (R-904)

- Approved and listed
- Installation

### FACTORY-BUILT FIREPLACE STOVES (R-905)

- Approved and listed
- Installation

### EXTERIOR AIR SUPPLY (R-906)

- Intake size

## MECHANICAL (Part IV)

- General mechanical requirements (Chapter 10)
- Appliance labeling (M-1002)
- Installation clearances (M-1005, Fig. No. M-1005, Table Nos. M-1005a and M-1005b)
- Centrally ducted heating & cooling (Chapter 11)
- Electric resistance heaters (Chapter 12)
- Hydronic heating systems (Chapter 13)

- Vented heaters (Chapter 14)
- Combustion air (Chapter 15)
- Equipment venting (Chapter 16)
- Fuel-gas and/or fuel oil supply systems (Chapters 17 & 18)
- Miscellaneous appliances (Chapter 19)

## PLUMBING (Part V)

- General plumbing requirements (Chapter 20)
  - Materials and joints (Chapters 20 & 21)
  - Drainage, waste and vent systems (Chapter 22)
  - Plumbing fixtures (Chapter 23)
  - Water service and distribution (Chapter 24)
  - Sewage disposal systems (Chapter 25)
- 

## ELECTRICAL (Part VI)

- NFPA 70A
- 

## ENERGY CONSERVATION (Part VII)

- CABO Model Energy Code
- 

## NOTES

## BUILDING PERMIT REPORT

DATE: 16 Dec. 97 ADDRESS: 57 Willow Ln  
 REASON FOR PERMIT: To Construct a Single Family dwelling  
 BUILDING OWNER: Ric Weinschenk Bldg.  
 CONTRACTOR: ↑  
 PERMIT APPLICANT: Paul Weichoff APPROVAL: \*2x3 \*6 \*8 \*9 \*10 \*11 \*12 \*16  
 USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5 B

### CONDITION(S) OF APPROVAL

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- \*3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- \*6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- \*8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".)
- \*9. Headroom in habitable space is a minimum of 7'6".
- \*10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
- \*11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
- \*12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- \*16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms

• In each story within a dwelling unit, including basements  
In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.

The Fire Alarm System shall be maintained to NFPA #72 Standard.

The Sprinkler System shall be maintained to NFPA #13 Standard.

All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)

No construction or demolition work shall begin until you have obtained permits for dumpsters or containers. A work Stop Order shall be issued if this requirement is not met.

Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.

Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.

All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.

All requirements must be met before a final Certificate of Occupancy is issued.

All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).

*Please read and implement all attached site plan requirements.*

*ALL Framing members shall be size in accordance with the building code.*

  
Samuel Hoffs, Code Enforcement

Li. McDougall, PFD  
Marge Schumckal



CITY OF PORTLAND, MAINE  
SITE PLAN REVIEW (ADDENDUM)  
CONDITIONS OF APPROVAL

APPLICANT: RIC WEINSCHEWY BUILDERS  
 ADDRESS: 91 SUMMIT PLACE  
 SITE ADDRESS/LOCATION: 57 WILLOW LAKE  
 DATE: 12/8/97

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

**CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN**

1.  All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
2.  Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
3.  Your new street address is now 57 Willow Lake, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4.  The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5.  Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6.  A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
7.  A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

8. \_\_\_\_\_ As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
9.  The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
10.  The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
11.  A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FEE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
12.  The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
13.  ERODED SOIL SHALL BE CONTAINED  
ON-SITE
- 
- 
- 

cc: Katherine Staples, P.E., City Engineer



CITY OF PORTLAND  
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development  
Alexander Jaegerman, Chief Planner

FROM: James Seymour, Acting Development Review Coordinator

DATE: April 5, 1995

SUBJECT: Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

The City of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accesses (ie. bulkheads, doorways and windows). As long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an areas that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

CITY OF PORTLAND, MAINE  
PUBLIC NOTICE

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.

**TO:** Code Enforcement Officer  
**FROM:** Jim Wendel, Development Review Coordinator  
**DATE:** May 26, 1998  
**SUBJECT:** Request for Certificate of Occupancy  
57 Willow Lane (Lot 5)

On May 22, 1998 I reviewed the site for compliance with the conditions of approval dated 12/8/97; my comments are:

It is my opinion that all of the conditions of site plan approval have been satisfactorily completed and a **permanent Certificate of Occupancy could be issued** assuming Code Enforcement has no outstanding issues.

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

19970108

I. D. Number

**Ric Weinschenk Builders**

Applicant

91 Summer Pl, Portland, ME 04103

Applicant's Mailing Address

Paul Niehoff

Consultant/Agent

828-3900

775-7703

Applicant or Agent Daytime Telephone, Fax

57 Willow Ln

Address of Proposed Site

191-B-035

Assessor's Reference: Chart-Block-Lot

12/1/97

Application Date

Willow Ln Lot #5

Project Name/Description

---

**DRC Conditions of Approval**

Your new street address is now 57 Willow Lane.

The number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.  
Eroded soil shall be contained on-site.

---

**Planning Conditions of Approval**

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**Inspections Conditions of Approval**

1. Separate permits shall be required for future decks, sheds, pool, and/or garage.

---

**Fire Conditions of Approval**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

19970108

I. D. Number

**Ric Weinschenk Builders**

Applicant

91 Summer Pl, Portland, ME 04103

Applicant's Mailing Address

Paul Niehoff

Consultant/Agent

828-3900 775-7703

Applicant or Agent Daytime Telephone, Fax

57 Willow Ln

Address of Proposed Site

191-B-035

Assessor's Reference: Chart-Block-Lot

12/1/97

Application Date

Willow Ln Lot #5

Project Name/Description

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify)

Proposed Building square Feet or # of Units 7,996 Sq Ft Acreeage of Site R-5 PRUD Dev. Zoning

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan \$100.00 Subdivision                      Engineer Review \$50.00 Date: 12/1/97

**Inspections Approval Status:**

Reviewer Marge Schmuckal

Approved  Approved w/Conditions see attached  Denied  
 Approval Date 12/15/97 Approval Expiration                      Extension to                       Additional Sheets Attached  
 Condition Compliance                      signature                      date                     

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	<u>                    </u> date	<u>                    </u> amount	<u>                    </u> expiration date
<input type="checkbox"/> Inspection Fee Paid	<u>                    </u> date	<u>                    </u> amount	
<input type="checkbox"/> Building Permit Issued	<u>                    </u> date		
<input type="checkbox"/> Performance Guarantee Reduced	<u>                    </u> date	<u>                    </u> remaining balance	<u>                    </u> signature
<input type="checkbox"/> Temporary Certificate of Occupancy	<u>                    </u> date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	<u>                    </u> date	<u>                    </u> signature	
<input type="checkbox"/> Certificate Of Occupancy	<u>                    </u> date		
<input type="checkbox"/> Performance Guarantee Released	<u>                    </u> date	<u>                    </u> signature	
<input type="checkbox"/> Defect Guarantee Submitted	<u>                    </u> submitted date	<u>                    </u> amount	<u>                    </u> expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

**19970108**

I. D. Number

**Ric Weinschenk Builders**

Applicant

**91 Summer Pl, Portland, ME 04103**

Applicant's Mailing Address

**Paul Niehoff**

Consultant/Agent

**828-3900 775-7703**

Applicant or Agent Daytime Telephone, Fax

**12/1/97**

Application Date

**Willow Ln Lot #5**

Project Name/Description

**57 Willow Ln**

Address of Proposed Site

**191-B-035**

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

**7,996 Sq Ft**

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Plan **\$100.00** Subdivision \_\_\_\_\_ Engineer Review **\$50.00** Date: **12/1/97**

**DRC Approval Status:**

Reviewer **Jim Wendel**

Approved  Approved w/Conditions see attached  Denied  
 Approval Date **12/8/97** Approval Expiration **12/8/98** Extension to \_\_\_\_\_  Additional Sheets Attached  
 Condition Compliance **Jim Wendel** **12/8/97**  
 signature date

**Performance Guarantee**  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



Amg  
FYI

RIC WEINSCHENK/BUILDERS INC.

91 Summer Place, Portland, ME  
207-828-3900 / fax 207-775-7703

December 23, 1997

Marge Schmuckal, Inspection Services  
City of Portland  
389 Congress Street  
Portland, ME 04101

Re: Lot 5 (57) Willow Lane

Dear Marge,

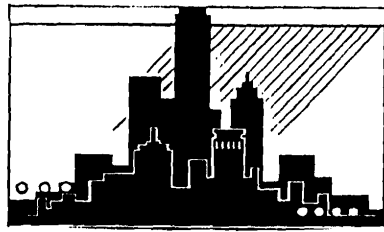
The building permit for lot 5 Willow Lane indicates the property owner as Ric Weinschenk Builders. Ric Weinschenk Builders is not the owner of record and we are requesting the owner of record for lot 5 be revised to Dean and Jessica Shaw of 16 Mill Street #34, Springvale, ME 04083.

The question wasn't raised at the time of application. Subsequent to the application, we were told that the change of ownership could be made at the time of CO request. We want the record to indicate the actual owner. Please send us notification of this change.

Thank you for your attention to this matter.

Sincerely Yours,

  
Paul Niehoff



# CITY OF PORTLAND, MAINE

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT  
389 CONGRESS STREET  
PORTLAND, MAINE 04101  
FAX # (207) 874-8716

DATE: 12/29/97

TIME:

TO: Paul Nehoff

FAX # 775-7703

COMPANY/BUSINESS: Ric Wainschank / Builders Ink

FROM: Marge Schmuckel

PHONE # (207) 874-8300

EXT

DIVISION: zoning

TOTAL # OF PAGES INCLUDING COVER SHEET: 1

MESSAGE: I am in receipt of your request to change the owner on the Bldg permit. This is being referred to Amy Powers your Code Enf. Officer. Please be more specific on ownership on future applications

LOCATION \_\_\_\_\_

DATE PERMIT ISSUED \_\_\_\_\_

DATE OF FINAL INSPECTION \_\_\_\_\_

BUILDING INSPECTION CHECKLIST

First Inspection Foundation

FOUNDATION

- \_\_\_\_\_ 1. Permit weather card posted.
- \_\_\_\_\_ 2. Approved plans on job.
- \_\_\_\_\_ 3. Survey stakes exposed.
- \_\_\_\_\_ 4. Check location against approved plot.
- \_\_\_\_\_ 5. Check bearing soil conditions.
- \_\_\_\_\_ 6. Check forms against approved plans for:
  - \_\_\_\_\_ .width
  - \_\_\_\_\_ .depth
  - \_\_\_\_\_ .number and location of column footings
  - \_\_\_\_\_ .reinforcing steel size and location
  - \_\_\_\_\_ .subsoil drain tiles
  - \_\_\_\_\_ .height
  - \_\_\_\_\_ .thickness
  - \_\_\_\_\_ .brick ledges
  - \_\_\_\_\_ .control joints
  - \_\_\_\_\_ .beam pockets
  - \_\_\_\_\_ .everything else shown on the plans that should be in place prior
  - \_\_\_\_\_ .to placing concrete

191-13-035

LOCATION 57 Willow Lane

DATE PERMIT ISSUED Dec. 16-97

DATE OF FINAL INSPECTION

Second Inspection

FRAMING

- NO 1. Permit weather card posted.
- yes 2. Approved plans on job.
- OK 3. Check room size and arrangement; check window and door sizes and their location against approved plans.  
 Check all framing members against details and notes shown on the plans and code requirements.
- N/A 4. Check all framing members against details and notes shown on the plans and code requirements.
- N/A 5. Check roof trusses against truss diagram
- OK 6. Size and Location of members
- 2 7. Lumber grade
- N/A 8. Truss plates and other connectors
- ? 9. Proper bearing
- ✓ 10. Check roof sheathing, soffit, roofing materials, flashing and ventilation
- ✓ 11. Check wall sheathing and nailing
- ✓ 12. Check nailing of door jambs and window frames
- 3 1st floor 13. Check header and trimmer size, bearing and nailing  
*No Trimmer on stair-wall under joist.*
- ✓ 14. Check sub flooring for proper thickness, grade
- ✓ 15. Check stud spacing, doubling and corner detail
- ✓ 16. Check firestopping
- 2 17. Check ceiling and floor joists for proper size, nailing and/or connections
- N/A 18. Check steel beam size and bearing (only steel)
- N/A 19. Check stanchions in basement and crawl space alignment and bearing
- ✓ 20. Check grouting under sill on foundation wall
- ✓ 21. Check headroom on stairways

OK  
 5/100  
 Concrete  
 Block  
 under  
 column

Joist  
 under  
 Bay window on 5th floor

Approved  
 C. M. Gray

2 fill block

- 18. Check fill and reinforcement for concrete floor slab areas such as garage, basements, and family rooms. Columns on concrete block must be filled. 02/5/2010
- 19. Check HVAC - openings
- 20. Check framing around chimneys for proper clearance: Flue liners, thimbles power vent gas fireplace & furnace.
- 21. Check bearing of partitions on joists and rafters. rafter hangers 02/5/20/98

LOCATION \_\_\_\_\_

DATE PERMIT ISSUED \_\_\_\_\_

DATE OF FINAL INSPECTION

Third Inspection  
Final

- \_\_\_\_\_ 1. Permit weather card posted.
- \_\_\_\_\_ 2. Approved plans on job.
- \_\_\_\_\_ 3. Check room arrangements, windows, door sizes.
- \_\_\_\_\_ 4. Check wallboard nailing for conformity.
- \_\_\_\_\_ 5. Check for water-resistant wallboard in tub and shower areas.
- \_\_\_\_\_ 6. Check all aspects of the building's interior and exterior for compliance.
- \_\_\_\_\_ 7. Check for installation and operability of all fixtures and equipment shown on approved plans.
- \_\_\_\_\_ 8. Check fireplace damper and clean outs.
- \_\_\_\_\_ 9. Check roofing, flashing, gutters and conductors, siding, brick veneer, caulking, weather stripping, painting and concrete flatwork.
- \_\_\_\_\_ 10. Check for final approvals by electrical, mechanical, plumbing, planning, public works and fire department.

Applicant: Paul Niehoff

Date: 12/15/97

Address: 57 Willow Lane (lot #5) C-B-L: 191-B-35

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5 PRUD Development

Interior or corner lot -

Proposed Use/Work - construct single-family dwelling w/ front porch

Sewage Disposal - private <sup>pump</sup> hook-in to city rear deck - NO GARAGE <sub>Should</sub>

Lot Street Frontage - ① minimum setback from external subdivision

Front Yard - property lines → 25' req - 50' shown

Rear Yard - ② Note: There is no min distance from other dwelling units req.

Side Yard -

Projections ③ Recreation areas shall be located at least 25' from dwelling units - none shown that close

Width of Lot -

Height - 32 1/2' to highest spot on ridge - 2 1/2 stories  
32 1/2' halfway up ridge to lowest spot on right elevation

Lot Area -

7,996 # shown

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking - 2 shown in drive - 2 req

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 13 of 17 Zone C

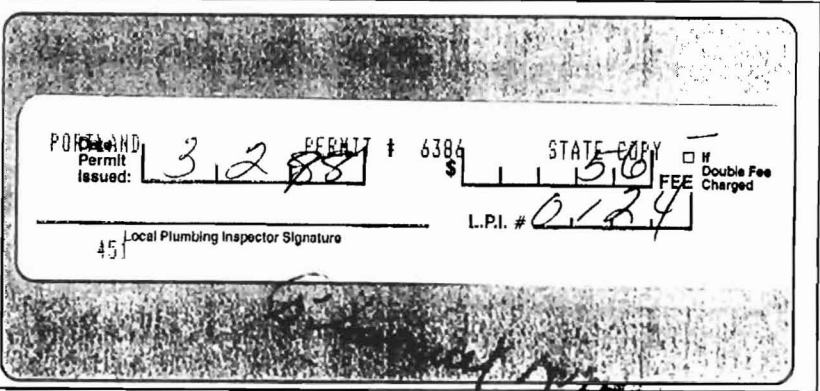
# PLUMBING APPLICATION

## PROPERTY ADDRESS

Town Or Plantation: City of Portland  
Street Subdivision Lot #: 55 Willow Lane / Lot #5

## PROPERTY OWNERS NAME

Last: Wausonick First: Ric.  
Applicant Name: Salevsky & Sons Plg & Htg. Inc.  
Mailing Address of Owner/Applicant (If Different): P.O. Box 242 Cape Cottage Sr., Cape Elizabeth Me. 04109



## Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant: [Signature] Date: 3-22-98

## Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

## PERMIT INFORMATION

This Application is for	Type Of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input checked="" type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER — SPECIFY _____	1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # <u>023019</u>

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.  <b>OR</b>  HOOK-UP: to an existing subsurface wastewater disposal system.	1	Hosebibb / Sillcock <u>[scribble]</u>	1	Bathtub (and Shower) <u>2" min.</u>
		Floor Drain	1	Shower (Separate) <u>2" min.</u>
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.		Urinal	1	Sink <u>1 1/2" min.</u>
		Drinking Fountain	4	Wash Basin <u>1 1/2" min.</u>
<b>OR</b>  TRANSFER FEE [\$6.00]		Indirect Waste	3	Water Closet (Toilet) <u>3" min.</u>
		Water Treatment Softener, Filter, etc.	1	Clothes Washer <u>2" min.</u>
	Grease / Oil Separator	1	Dish Washer <u>2" min.</u>	
	Dental Cuspidor	1	Garbage Disposal <u>1 1/2" min.</u>	
	Bidet		Laundry Tub	
	Other: _____		Water Heater	
	<b>Fixtures (Subtotal) Column 2</b>	13	<b>Fixtures (Subtotal) Column 1</b>	
		1	<b>Fixtures (Subtotal) Column 2</b>	
		14	<b>Total Fixtures</b>	
		\$	<b>Fixture Fee</b>	
		\$	<b>Transfer Fee</b>	
		\$	<b>Hook-Up &amp; Relocation Fee</b>	
		\$56-	<b>Permit Fee (Total)</b>	

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

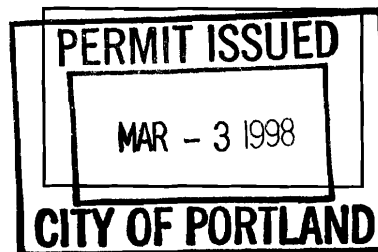




FILL IN AND SIGN WITH INK

980159

# APPLICATION FOR PERMIT HEATING OR POWER EQUIPMENT



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location \_\_\_\_\_ Use of Building \_\_\_\_\_ Date \_\_\_\_\_

Name and address of owner of appliance \_\_\_\_\_

Installer's name and address \_\_\_\_\_

Telephone \_\_\_\_\_

**Location of appliance:**

- Basement       Floor  
 Attic           Roof

**Type of Fuel:**

- Gas       Oil       Solid

**Appliance Name:** \_\_\_\_\_U.L. Approved  Yes  NoWill appliance be installed in accordance with the manufacture's installation instructions?  Yes  No

IF NO Explain: \_\_\_\_\_

**The Type of License of Installer:**

- Master Plumber # \_\_\_\_\_  
 Solid Fuel # \_\_\_\_\_  
 Oil # \_\_\_\_\_  
 Gas # \_\_\_\_\_  
 Other \_\_\_\_\_

**Type of Chimney:**

- Masonry Lined  
Factory built \_\_\_\_\_
- Metal  
Factory Built U.L. Listing # \_\_\_\_\_
- Direct Vent  
Type \_\_\_\_\_ UL# \_\_\_\_\_

**Type of Fuel Tank**

- Oil  
 Gas

Size of Tank \_\_\_\_\_

Number of Tanks \_\_\_\_\_

Distance from Tank to Center of Flame \_\_\_\_\_ feet.

**Approved**

Fire: \_\_\_\_\_

Ele.: \_\_\_\_\_

Bldg.: \_\_\_\_\_

**Approved with Conditions**

- See attached letter or requirement

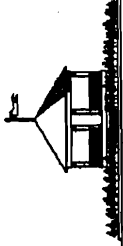
Signature of Installer \_\_\_\_\_

White - Inspection

Yellow - File

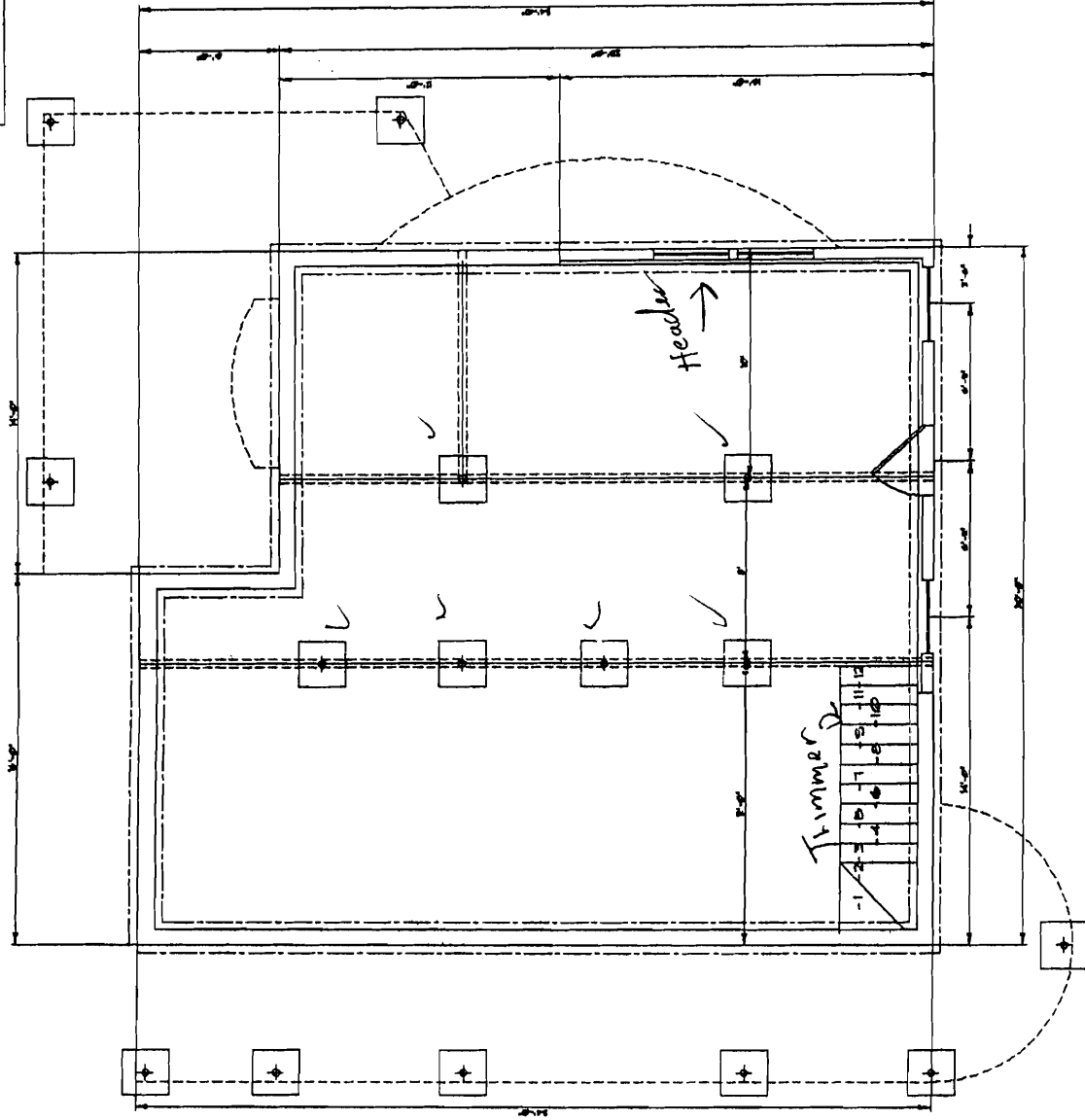
Pink - Applicant's

Gold - Assessor's Copy



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PLAN #w11-5b  
FOUNDATION PLAN

SCALE:  $\frac{1}{8}'' = 1' - 0''$

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SHEET 1 of

Check again over drawings  
Dimensions against floor scale.

Roof Loads = 42 psf / sq'  
Floor Loads = 40 psf / sq', all other  
loads = 50 psf / sq' for 1st floor

plans require changes. Likewise, building code requirements vary with location and change from time to time. Before these plans used, all current requirements in your area. It is also suggested that a local architect, PE, and that you check with your local building department to see if a professional stamp is required on

Scale: 1" = 15'

Shaw Residence

sewer line  
water line  
electric/v phone  
perm. drain



WILLOW

A RIC WEINSCHENK NEIGHBORHOOD

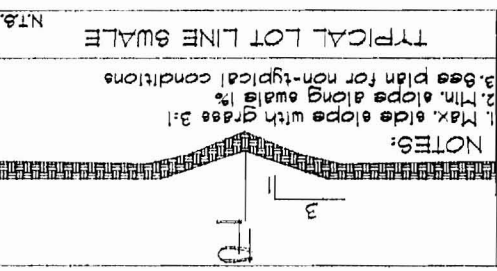
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PORTLAND - MAINE

SITE PLAN

LOT NUMBER

11 Summer Place

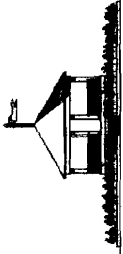


NOTES

1. Finish grade to pitch away from foundation at 2% min.
2. Paved surfaces to grade away at 15% min
3. Arrows indicate general drainage direction
4. Tie perimeter drain into existing 6" underdrain
5. Tie perimeter drain into existing 6" underdrain

ELEVATIONS

44.16	Finish first floor
36.5	top of basement slab
43.5	top of foundation
30.15	perimeter drain outlet

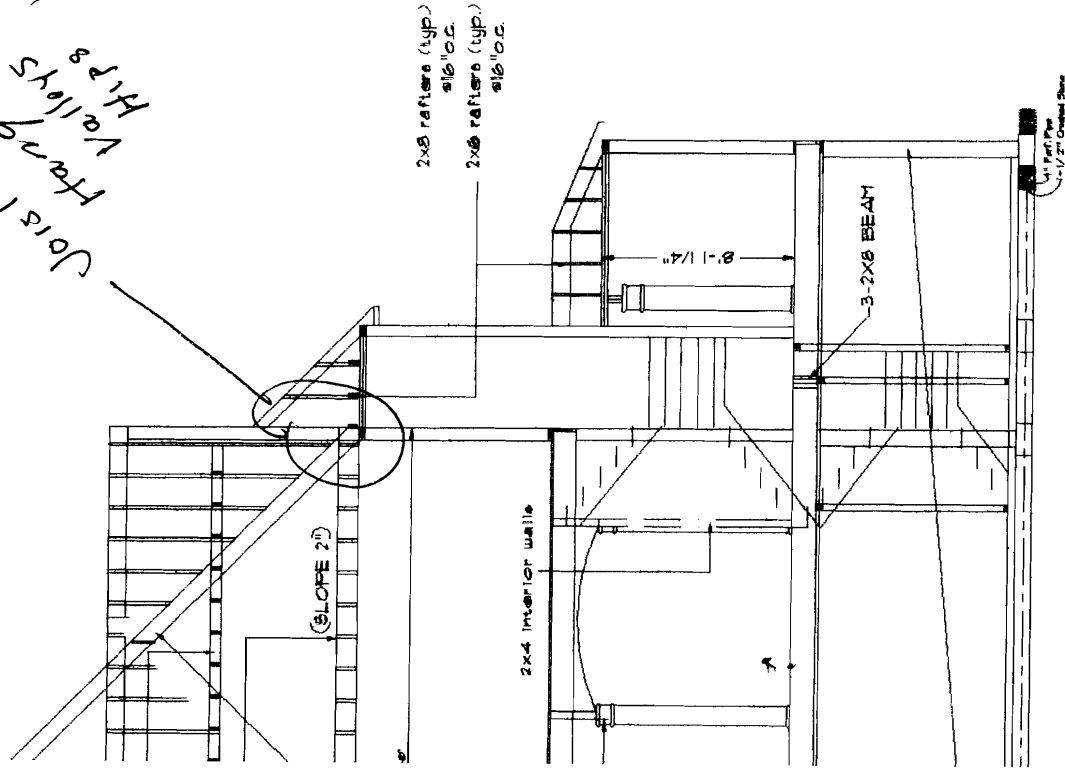


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JOIST  
Hangers  
Valleys  
H.P.S



SHAW RESIDENCE

SCALE: 1/8" = 1'-0"

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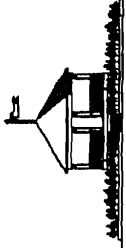
### SECTION

Codes govern over drawings.  
Dimensions govern over scales.

Verify all mechanical requirements, before framing.  
Verify topographic and subsurface conditions, and adjust foundation plans accordingly.

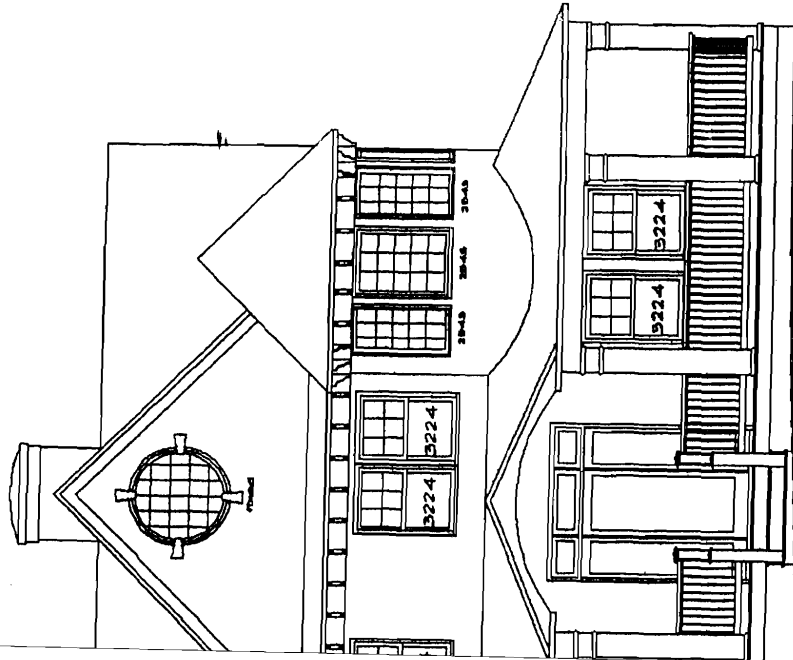
Roof Loads = 40 psf / sfd  
Floor Loads = 40 psf / sfd all other  
= 30 psf / sfd for bedrooms  
All concrete = 3000 PSI

Plans may require changes. Likewise, building code requirements vary with location and change from time to time. Verify that these plans meet all current requirements in your area. It is also suggested that a local architect, engineer, and that you check with your local building department to see if a professional stamp is required in your area. Verify Building Code" or the "BOCA Basic Building Code," or any other local, required code.



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PLAN #W11-56  
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"

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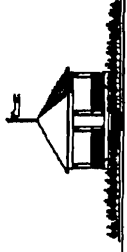
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SHEET 5 of

Codes govern over drawings  
Dimensions govern over scale.  
Verify all mechanical requirements, before framing.

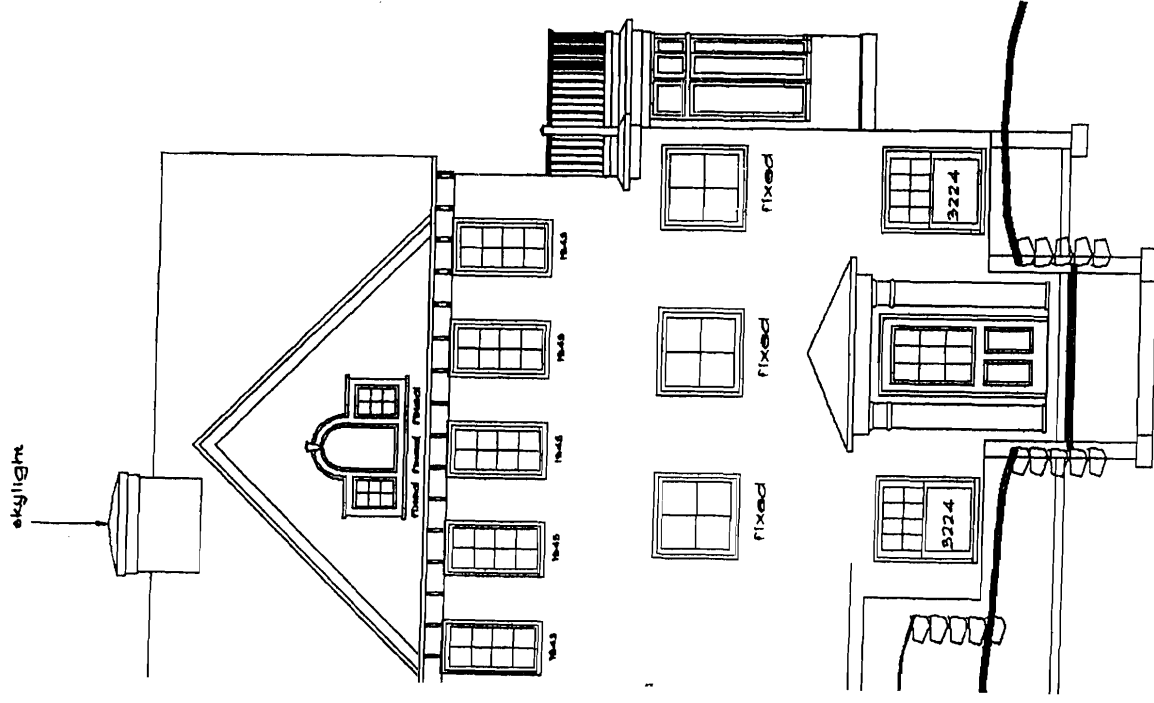
Codes may require changes. Likewise, building code requirements vary with location and change from time to time. Verify that these plans meet all current requirements in your area. It is also suggested that a local architect, engineer, or contractor check with your local building department to see if a professional stamp is required on these drawings.

Roof Length - 42' 7" / 4" / 1"  
Floor Length - 40' 4" / 4" / 1"  
Floor Length - 50' 4" / 4" / 1" for bedrooms



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PLAN #W11-5b

## RIGHT ELEVATION

SCALE:  $\frac{1}{8}'' = 1'-0''$

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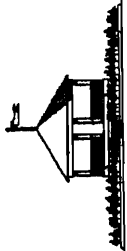
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SHEET 1 OF 12

Codes shown over drawings  
Dimensions shown over scale.  
Verify all mechanical requirements, before framing.

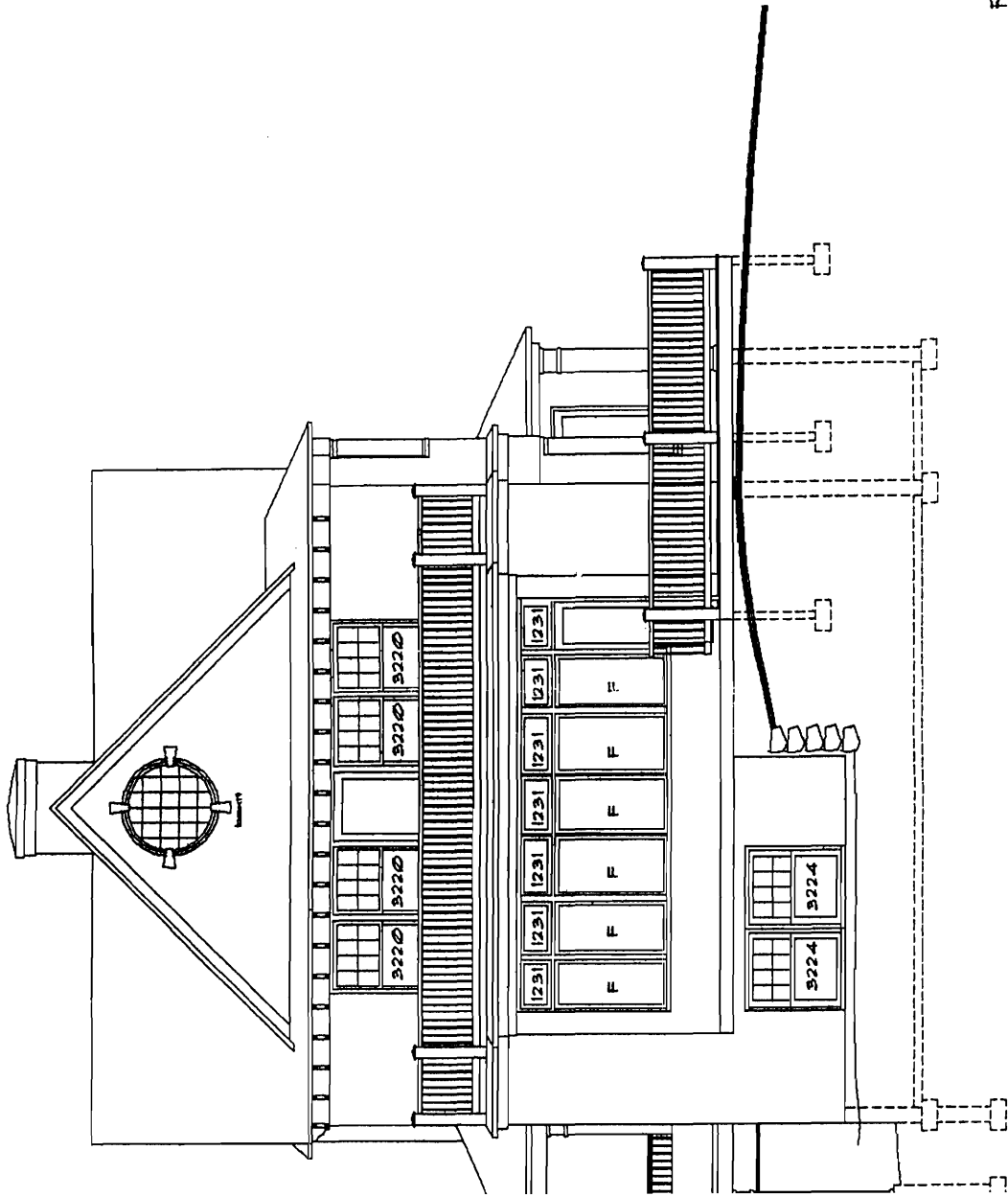
Plans may require changes. Likewise, building code requirements vary with location and change from time to time. Verify that these plans meet all current requirements in your area. It is also suggested that a local architect, engineer, and then you check with your local building department to see if a professional stamp is required on drawings.

Road Loads = 42 psf / sq'  
Floor Loads = 40 psf / sq' all other  
= 50 psf / sq' for bedrooms



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## PLAN #W11-56 REAR ELEVATION

SCALE:  $\frac{1}{8}'' = 1'-0''$

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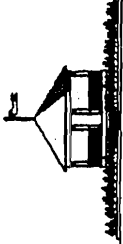
These plans have been prepared to meet top professional standards and practices. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.

SHEET 6 OF

Codes govern over drawings.  
Dimensions govern over scale.  
Verify all mechanical requirements, before framing.

Roof Loads = 42 psf / sq'  
Floor Loads = 40 psf / sq' all other  
= 50 psf / sq' for bedrooms

requires changes. Likewise, building code requirements vary with location and change from time to time. These plans meet all current requirements in your area. It is also suggested that a local architect that you check with your local building department to see if a professional stamp is required on this Code" or the "BOCA Basic Building Code." or any other local, national code.



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PLAN #W11-5b  
LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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SHEET 8 OF

Codes govern over drawings.  
Dimensions govern over scale.  
Verify all mechanical requirements, before framing.

Roof Loads = 42 psf / 24"  
Floor Loads = 40 psf / 24", all other  
= 30 psf / 24", for bedrooms  
All dimensions in feet and inches

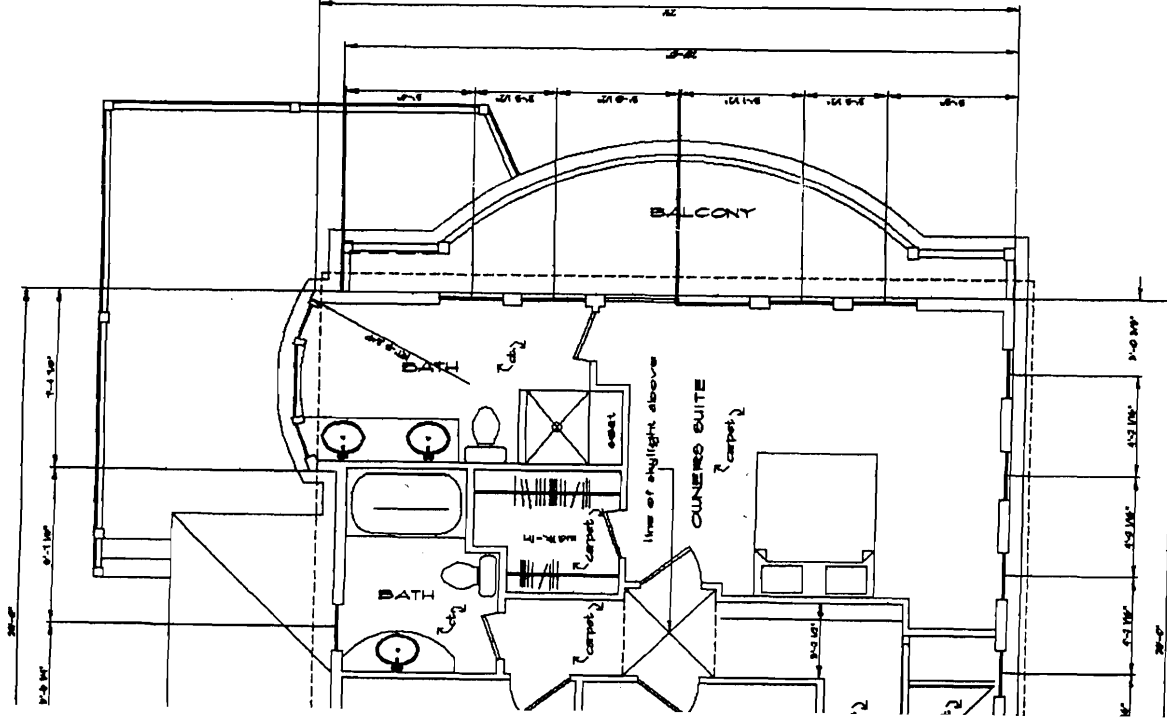
you may require changes. Licenses, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area. Verify all mechanical requirements, before framing.





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PLAN #W11-05  
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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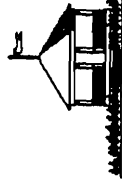
T88#

SHEET 2 of

Copies shown over drawings  
Dimensions shown over scale.

you may require changes. Likewise, building code requirements vary with location and change from time to time. Use that these plans meet all current requirements in your area. It is also suggested that a local architect verify, and that you check with your local building department to see if a professional stamp is required on

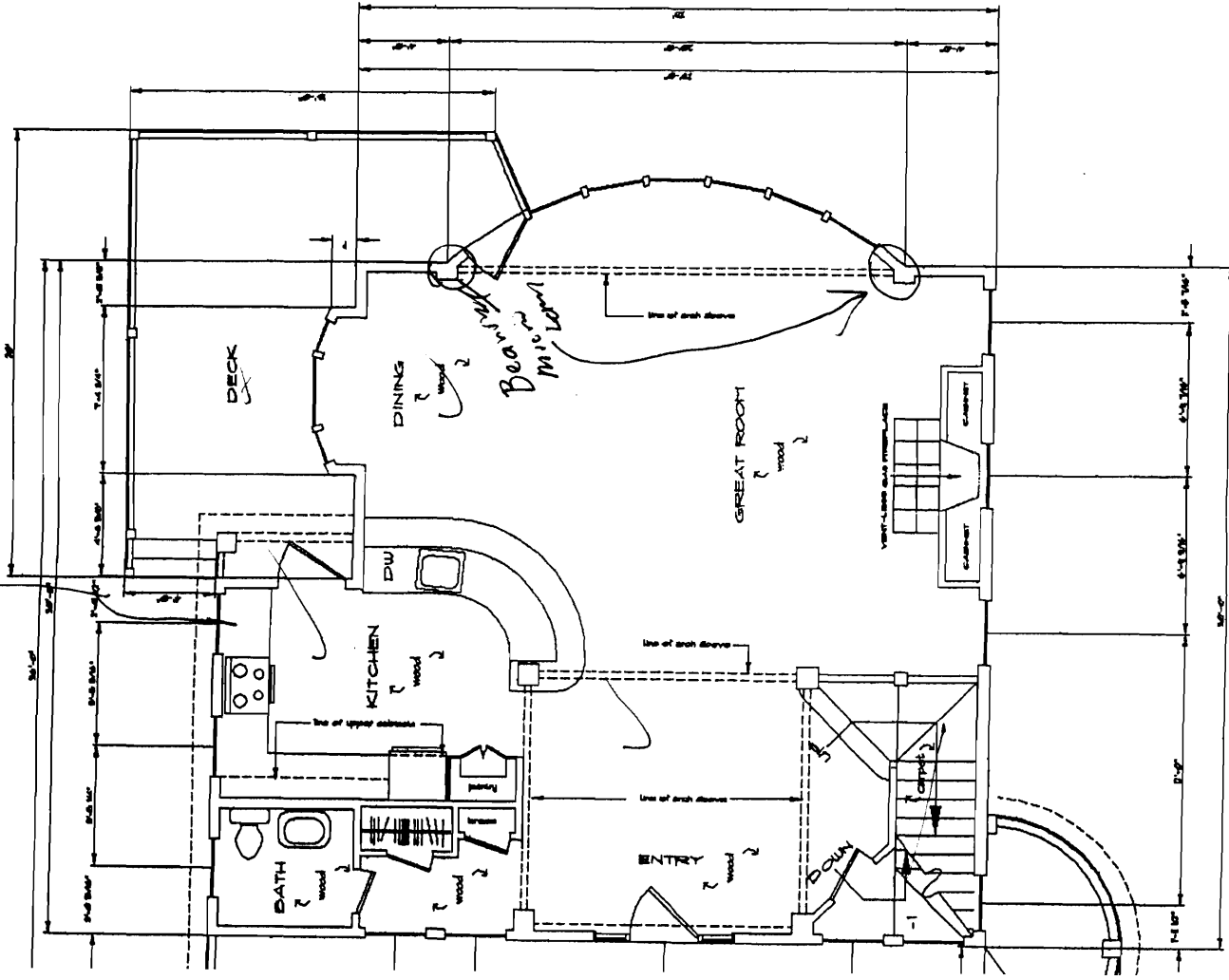
Roof Loads = 42 psf / sq ft  
Floor Loads = 40 psf / sq ft  
all other



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*Window Jacks space,*



*DAVE WATKINS  
COBA - 84077 Wood  
Construction  
Blue Corporation  
Portland*

## PLAN #11-5b FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

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1004#

SHEET 3 OF

Codes govern over drawings  
Dimensions govern over scale.

no may require changes. Likewise, building code requirements vary with location and change from time to time. It is also suggested that a local architect review, and that you check with your local building department to see if a professional stamp is required on

Roof Loads = 42# / sq'  
Floor Loads = 40# / sq'  
all other  
= 50# / sq' for bedrooms