

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0961	Issue Date: SEP - 3 2002	CBL: 91 B035001
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Location of Construction: 55 Willow Ln	Owner Name: Shaw Dean A & Jessica L Jts	Owner Address: 57 Willow	Phone: 780-780-1978
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Business Name: n/a	Contractor Name: n/a	Contractor Address: n/a Portland	Phone: 2078927812
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Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R-5
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Past Use: Single Family	Proposed Use: Single Family / Build 24' x 24' attached garage.	Permit Fee: \$93.00	Cost of Work: \$10,000.00	CEO District: 3	PR40
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FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3/4 Type: SB BOA 99
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Proposed Project Description: Build 24' x 24' attached garage	Signature:	Signature:
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: gg	Date Applied For: 08/27/2002	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> Date: 08/29/02	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8632~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

**Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete

N/A **Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

       If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

       **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

  
\_\_\_\_\_  
Signature of applicant/designee

\_\_\_\_\_  
Date 2/3/02

  
\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

CBL: 191-B-35 Building Permit #: 02-0961

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

## PERMIT

Permit Number: 020961

This is to certify that Shaw Dean A & Jessica L Jts  
has permission to Build 24' x 24' attached gara  
AT 55 Willow Ln 191 B035001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is entered or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

**PERMIT ISSUED**

SEP - 3 2002

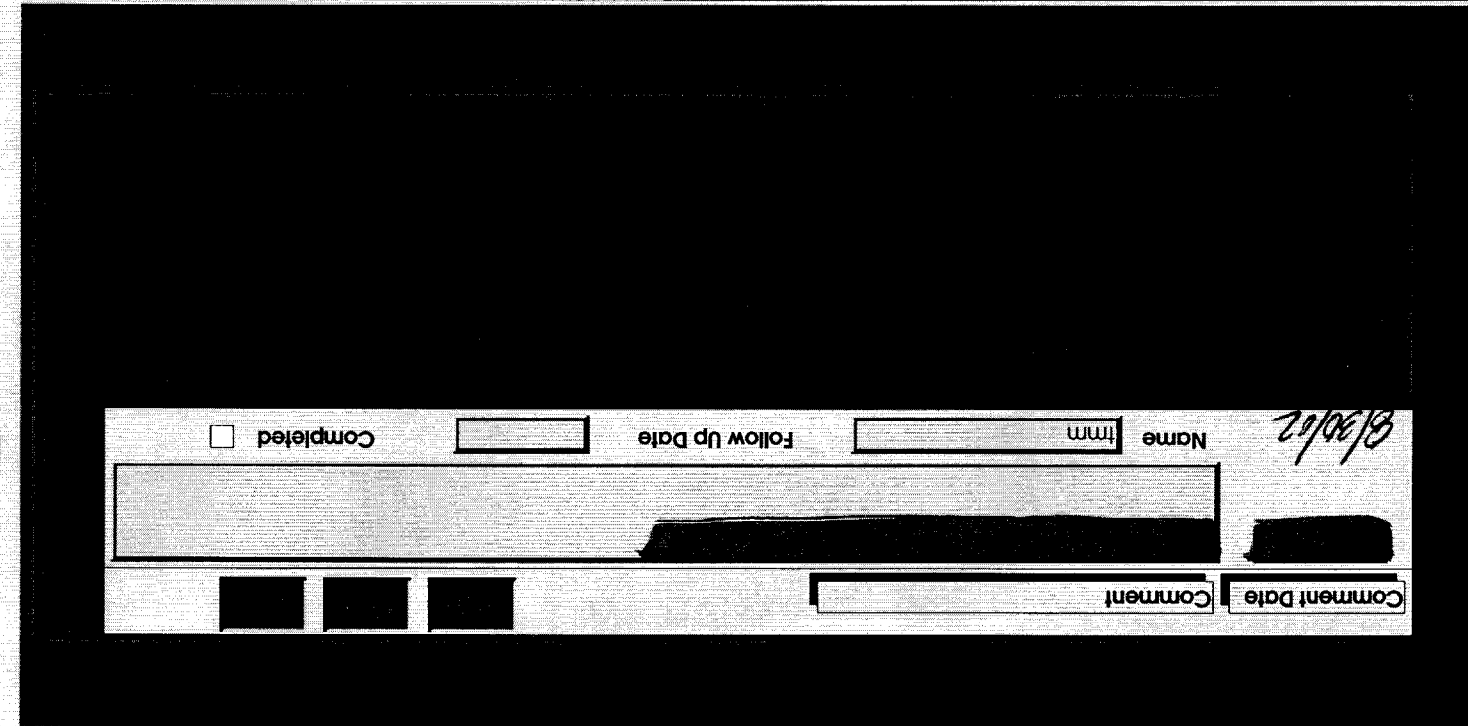
**CITY OF PORTLAND**

*[Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

Created By	gg	Created Date	08/27/2002	Modified By	tmm	Modified Date	08/30/2002
Permit Nbr	02-0961	Location of Construction	55 Willow Ln	Appl. Date	08/27/2002	Status	Hold
Permit	Tex193	27906	Const Type	New	Num1	20961	
Permit Nbr	02-0961	Location of Construction	55 Willow Ln	Appl. Date	08/27/2002	Status	Hold
CBL	191 B035001	Territory Nbr	3	Estimated Cost	\$10,000.00	Date Closed	
Comment Date		Comment		Follow Up Date		Completed	<input type="checkbox"/>
Name	tmm	<div style="border: 1px solid black; height: 20px; width: 100%;"></div>					

*8/30/02*



02 0961

974-3703


# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

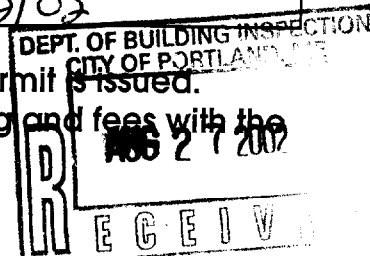
Location/Address of Construction: <u>57 Willow Lane</u>		
Total Square Footage of Proposed Structure <u>24' X 24' GARAGE 576 SQFT</u>	Square Footage of Lot <u>8,500 SQFT</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>191</u> Block# <u>B</u> Lot# <u>035</u>	Owner: <u>DEAN &amp; JESSICA SHAW</u>	Telephone: <u>780-1978</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & DEAN telephone: <u>SHAW</u> <u>57 WILLOW L.N. PORTLAND</u> <u>ME. 04102 (207) 780-1978</u>	Cost Of Work: \$ <u>10,000.00</u> <del>\$93.00</del> Fee: \$ <u>120.00</u>
Current use: <u>Doesn't exist yet</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>GARAGE (TO STORE CARS)</u>		
Project description: <u>24x24 <del>detached</del> attached</u>		
Contractor's name, address & telephone: <u>DEAN SHAW, 57 WILLOW L.N., PORTLAND ME. 04102 (207) 780-1978</u>		
Who should we contact when the permit is ready: <u>DEAN SHAW 780-1978</u>		
Mailing address: <u>57 WILLOW L.N PORTLAND ME 04102</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>780-1978</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>7/22/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall



shall be permitted including all enclosed, habitable heated living space completely above grade. Two car garages shall be the maximum allowed and shall not exceed a footprint of 24' x 24'.

B. Height: In general the height limitation shall conform to the standards established by the City of Portland as amended and no single wall of any structure shall be taller than 20' except if the wall is broken by a design detail or element including but not limited to bays, bows, balconies, bumps, bands, recesses, roofs, overhangs whether angular, arched or curved.

C. Setbacks: The setback standards for all structures except landscaping shall be not less than the following:

Internal setbacks (within the P.R.U.D.).....16' between buildings  
External setbacks(to Project boundaries).....25'

D. Paving and Driveways: The street entrance to garage(s) shall be oriented in such a way that hard surfaces are minimized. Driveways shall be paved. The use of stonedust, loose stones (1-1/2" max) and/or chipseal are encouraged, but not required. Black top areas shall not extend from the garage door to the street uninterrupted. Black top walks are prohibited except as a base for brick or some other cover surface.

E. Recreational Items: Recreational items including without limitation, boats, pools, outside games, swing sets, permitted trailers, etc., shall not be visually prominent from the road or from the interior of adjacent homes. Mature plant screening may be required to minimize visual impact.

F. Foundation Walls: Foundation walls should be covered if more than 18" above finish grade.

G. Siding: Exterior siding shall be wood, brick or stone or a combination thereof. Painting and staining of siding shall be limited to white, light shades of off white, gray, gray-blue, or gray-green or as may be approved by the Design Review Board. Exterior doors, windows, and trim shall be solid colors only, in harmony with the siding and only as may be approved by the Design Review Board.

H. Roofs: Roofs shall be predominantly sloped. Main roofs shall be at least 8:12 pitch, minor roofs and porches shall be at least 4:12 or flat pitch. Roofing materials shall be darker in color than the siding unless natural slate, cedar or copper is used.

I. Fenestration Ratio: Building openings shall be in scale with the wall in which such opening is located or slightly larger than scale and well proportioned with the building. The dwelling unit, including all attached unheated areas shall have an



Prmt  Text93  27906  Constr Type  New  Num1  20961

Permit Nbr  02-0961  Location of Construction  55  Willow Ln  Appl. Date  08/27/2002  
Status  Open  Permit Type  Additions - Dwellings  Issue Date  09/03/2002  
CBL  191 B035001  Territory Nbr  3  Estimated Cost  \$10,000.00  Date Closed

Comment Date	Comment	Name	Follow Up Date	Completed
<input type="text"/> 08/30/2002	<input type="text"/> Left message w/owner - need more framing details.	<input type="text"/> tmm	<input type="text"/>	<input type="checkbox"/>
<input type="text"/> 09/03/2002	<input type="text"/> owner submitted new plans - ok to issue.	<input type="text"/> tmm	<input type="text"/>	<input type="checkbox"/>

CreatedBy  gg  CreateDate  08/27/2002  ModBy  tmm  ModDate  09/03/2002

Application ID Number: 2-0961



Department: Building

Status: Approved with Conditions

Reviewer: Tammy Munson

Comments:

[Empty comment box]

Approval Date: 09/03/2002

Given On Date: 08/29/2002

<input checked="" type="checkbox"/> OK to Issue Permit	Name	Tammy Munson	Date	09/03/2002	Date 2	
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Conditions Section:



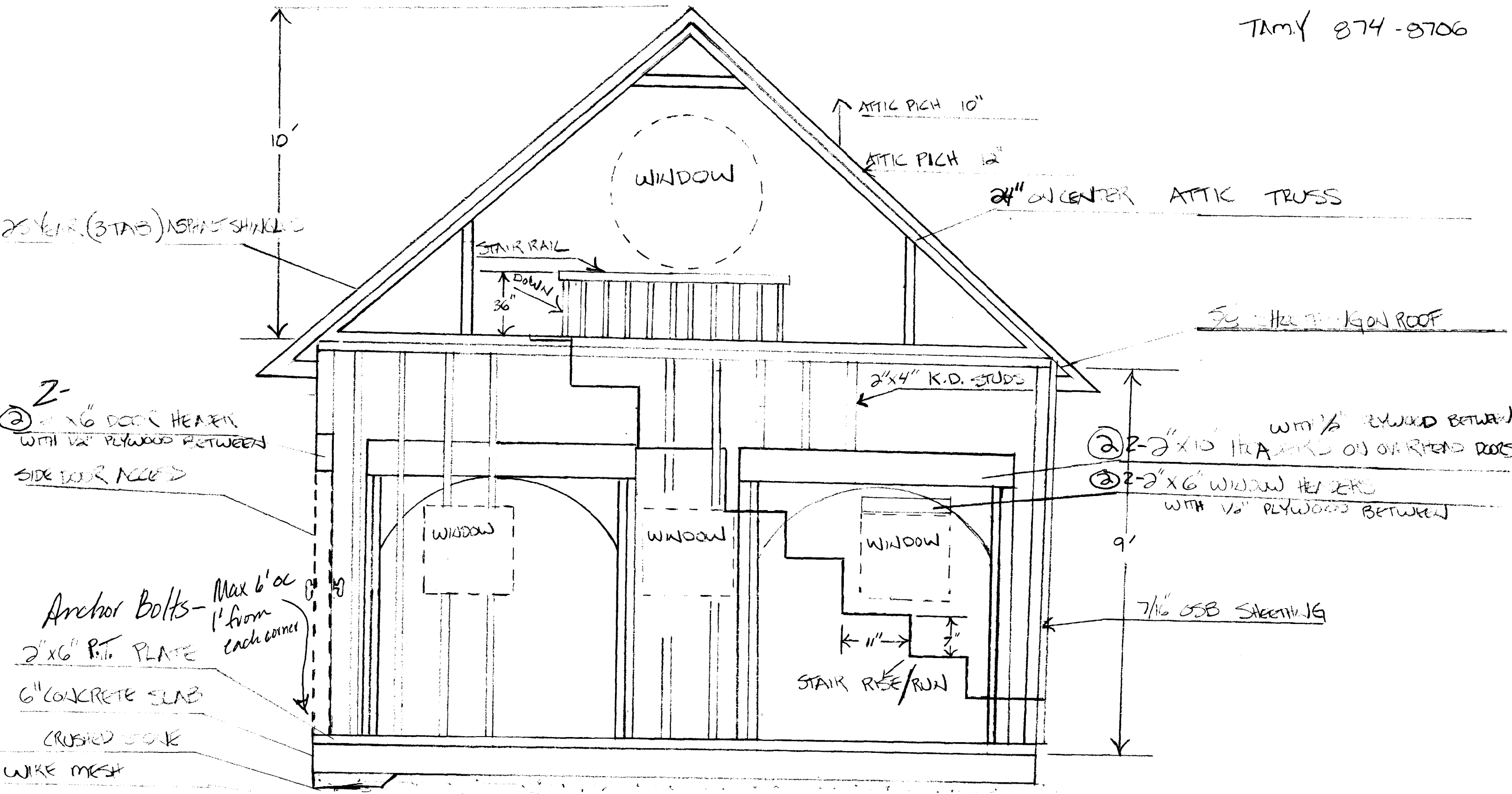
Separate permits are required for any electrical or plumbing work.

Create Date: 08/27/2002 By gg

Update Date: 09/03/2002 By imm



TAM.Y 874-8706



25 YEAR (3 TAB) ASPHALT SHINGLES

ATTIC PITCH 10"

ATTIC PITCH 12"

24" ON CENTER ATTIC TRUSS

STAIR RAIL

36" DOWN

5/8" SHEATHING ON ROOF

2"x4" K.D. STUDS

2- 2"x6" DOOR HEADERS WITH 1/2" PLYWOOD BETWEEN SIDE DOOR NEEDS

2- 2"x10" HEADERS ON OVERHEAD DOORS WITH 1/2" PLYWOOD BETWEEN

2- 2"x6" WINDOW HEADERS WITH 1/2" PLYWOOD BETWEEN

9'

7/16" OSB SHEATHING

Anchor Bolts - Max 6' oc 1" from each corner  
2"x6" P.T. PLATE  
6" CONCRETE SLAB

CRUSHED SOLE  
WIRE MESH

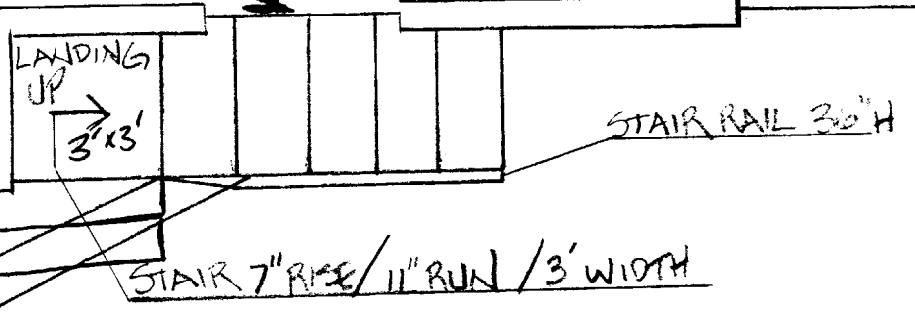
11" 7" STAIR RISE/RUN

Frost Protection

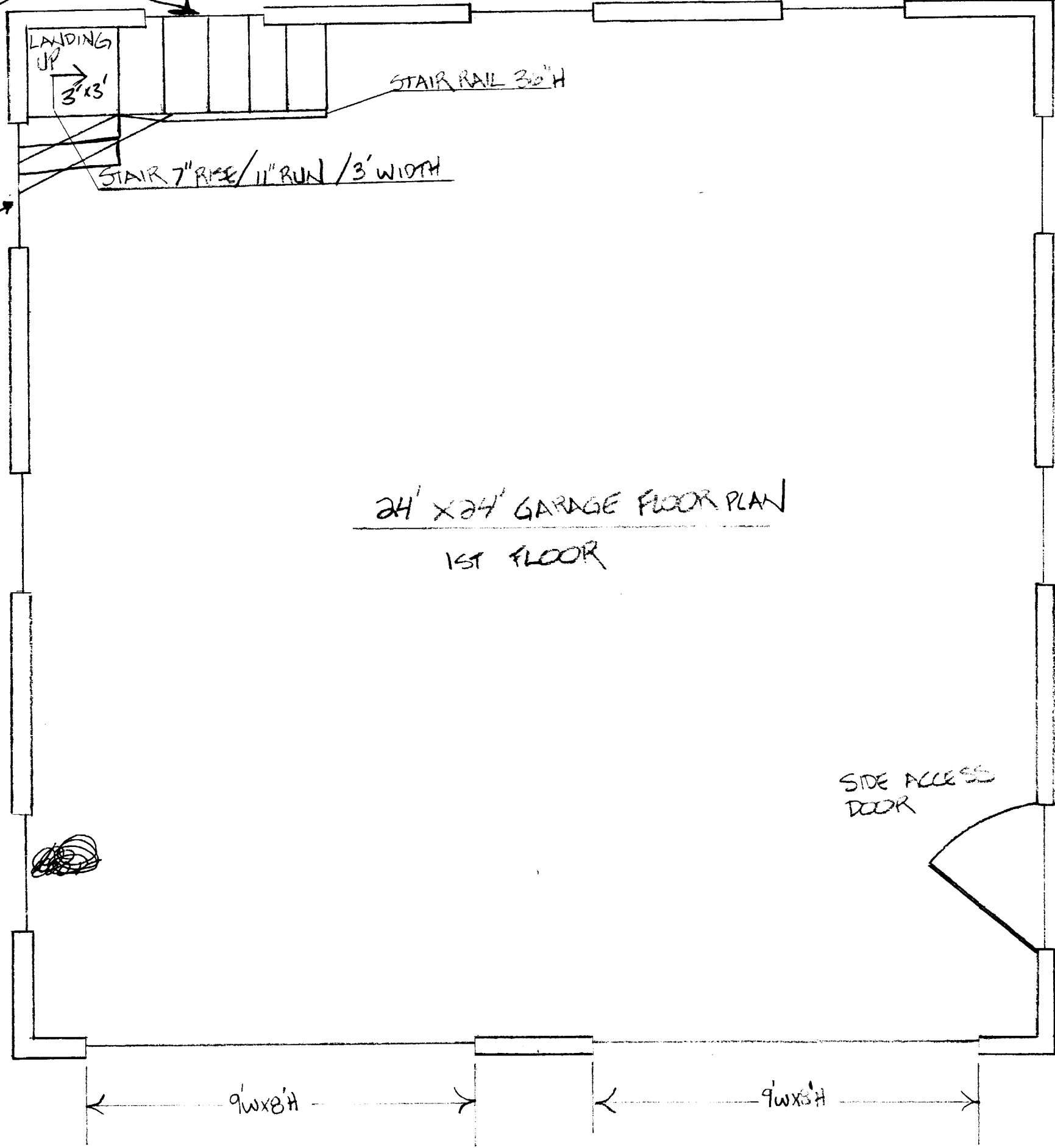
REAR ELEVATION



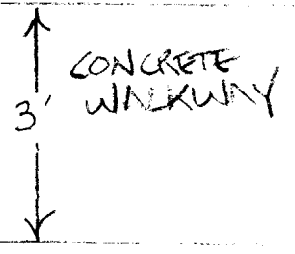
Safety glazing 2'



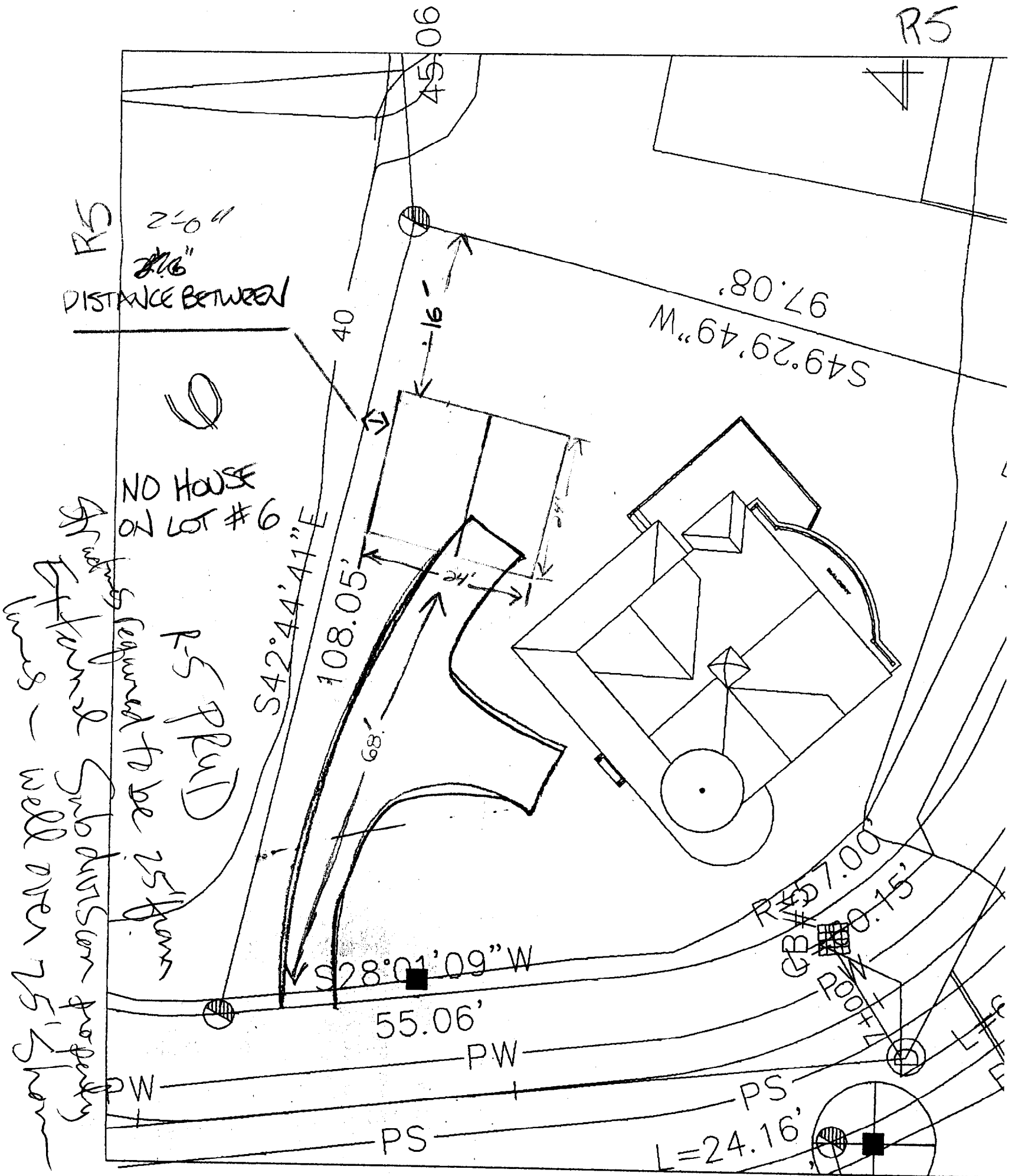
24' X 24' GARAGE FLOOR PLAN  
1ST FLOOR



SIDE ACCESS DOOR



HOUSE



R5  
2'-0" #16"  
DISTANCE BETWEEN

NO HOUSE ON LOT #6

R5 PUD

RS required to be 25' from

At the time of subdivision property  
 boundaries - well over 75' from

R5

S49°29'49"W  
97.08'

S42°44'41"E  
108.05'

S28°01'09"W  
55.06'

R#57.00'  
GB# 0.15'

PS  
L=24.16'

PW

PW

PS

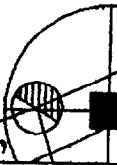
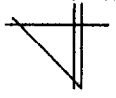
PS

45.06

40

16'

68'



*[Handwritten signature]*

