

9/30/96

PAGE 1 OF 3

TO: SARAH HOPKINS

FROM: MIKE SCARYS

RE: FORE RIVER PLACE

IN RESPONSE TO YOUR LETTER DATED 9/27/96 I OFFER THE FOLLOWING RESPONSES (I NUMBERED THE ITEMS ON YOUR LETTER + STEVE BUSHER'S LETTER):

1) LANDSCAPING PLAN HAS BEEN REVISED TO MEET THE 2 TREE/LOT REQUIREMENT AS PER PHONCON BETWEEN YOU AND RIC W.

2) A TYPICAL BETWEEN LOT SWALE DETAIL HAS BEEN ADDED TO THE ~~EXISTING~~ SITE PLANS.

3) WORDING HAS BEEN ADDED TO THE ~~EXISTING~~ GARDING PLAN (NOTE: ALL PLANS IN THIS SET HAS REFERENCED IN THIS SUBDIVISION PLAN WHICH IS THE ONLY RECORDABLE PLAN, THIS WAS A PRIOR REQUEST OF STEVE BUSHER)

4) WORDING HAS BEEN ADDED TO THE LOT GARDING PLAN WHICH IS THE ONLY RECORDABLE PLAN, THIS WAS A PRIOR REQUEST OF STEVE BUSHER)

5) THE WRONG PLAN WAS USED FOR REVIEW, THE PLAN SUBMITTED LAST WEEK CORRELATES TO THE STORMWATER PLAN.

6) THIS IS IN APPROPRIATE AND NON-TYPICAL, IF EVERY PLOT'S WATER FOLLOWED WERE COVERED BY DRAINAGE EASEMENTS, DEVELOPMENT PLANS WOULD BE SO CROWDED THEY WOULD BE ILLEGIBLE. WORDING WAS ADDED TO THE ASSOCIATION DOCUMENTS PREVENTING ASSOCIATION MEMBERS FROM OBSTRUCTING, BLOCKING, OR RE-DIRECTING DRAINAGE ALONG LOT LINES.

7) SPOT GRADES HAVE BEEN ADDED

8) NOTE HAS BEEN ADDED.

9) WE WILL DISCUSS THIS DIRECTLY WITH THE BOARD, WE FEEL WE HAVE BEEN OVER BACKWARDS IN COMPLYING WITH ALL ASPECTS OF THE ORDINANCE.

10) WE WILL NOT AGREE TO ANY EXTENDED PERFORMANCE GUARANTEE

11) SWALE CALCULATIONS AS WELL AS PITCH AND SURFACE TREATMENT HAS BEEN PROVIDED AS PART OF THIS SUBMISSION.

12) THE ASSOCIATION WILL STORE | EXTRA PUMP ALONG WITH ITS ASSOCIATED INSTALLATION, MAINTENANCE, AND OPERATION PROCEDURES. SEE REVISED ASSOCIATION DOCUMENT PROVIDED WITH THIS SUBMISSION.

- 13) SEWER CONNECTION DETAIL HAS BEEN INCLUDED ON THE PLANS.
- 14) WE WILL DISCUSS THIS DIRECTLY WITH THE BOARD. WE REQUEST THE CITY ENGINEER BE PRESENT.
- 15) WINTER FLOW-OFF HAS BEEN RELOCATED TO BE WITHIN THE DRAINAGE EASEMENT.
- 16) PLANS WILL BE STAMPED
- 17) WE OWN THE LAND, WE HAVE PROVIDED THE WORKING OF THE EASEMENT TO CMP. WHAT LEGAL BASIS IS THE CITY ATTORNEY LOOKING FOR BEYOND THAT, PLEASE BE SPECIFIC.

WJH

STEVES DESIGN'S LETTER OF 9/20/16

- 1) CALCULATIONS OF TOTAL VOLUMES OF OF RUNOFF INCREASES WERE PROVIDED AS PART OF THIS SUBMISSION. SEE PREVIOUS ITEM # 9
- 2) INCLUDED IN JIM STEVENS' RESPONSE (ATTACHED)
- 3) THE CATCH BASIN MUST HAVE BEEN MOVED INSIDE THE CURB TO PREVENT ANY POSSIBLE SUBST-CIRCUMVENT OF OVER-FLOW WATER. FOUR-TENTHS OF A FOOT OF FREEBOARD IS ADEQUATE FOR A 38 YEAR STORM RAINFALL OF SAFETY FACTOR FOR THE 25 YEAR EVENT; THIS IS ALSO A POND RATHER THAN A WEIR OR DRAIN WHICH HAS DIFFERENT OVERTOPPING CRITERIA.
- 4) SEE PREVIOUS ITEM # 16
- 5) " " # 14 (SUITABLE BACKFILL SPEC. WAS NOT ATTACHED)
- 6) LOT GRADING PLAN DOES CORRESPOND TO STORMWATER PLAN.
- 7) SEE PREVIOUS ITEM # 15
- 8) DETAILS JUST RECEIVED FROM PUBLIC WORKS HAVE BEEN ADDED TO THE PLAN.
- 9) DETAIL HAS BEEN NOTED.
- 10) SEE PREVIOUS ITEM # 11
- 11) SEE PREVIOUS ITEM # 12

WE BELIEVE WE ARE IN AGREEMENT WITH REQUESTS OF ALL DEPARTMENTS AND REVIEWING AGENCIES AT THIS TIME WITH 2 EXCEPTIONS WHICH WE REQUEST TO PRESENT DIRECTLY TO THE BOARD.

- 1) STORMWATER ISSUES RELATING TO THE RAILROAD + CAMP

2) ROAD PAVING REQUIREMENTS.  
WE HAVE DILIGENTLY WORKED TO ADDRESS ALL COMMENTS, QUESTIONS,  
AND REQUESTS SO AS TO BE ABLE TO GO THROUGH THE PUBLIC  
HEARING WITH THE CLEANEST POSSIBLE SUBMISSION. IF THERE  
IS ANYTHING OUTSIDE OF THESE TWO ISSUES PLEASE ADVISE  
(UNMOUNTED),

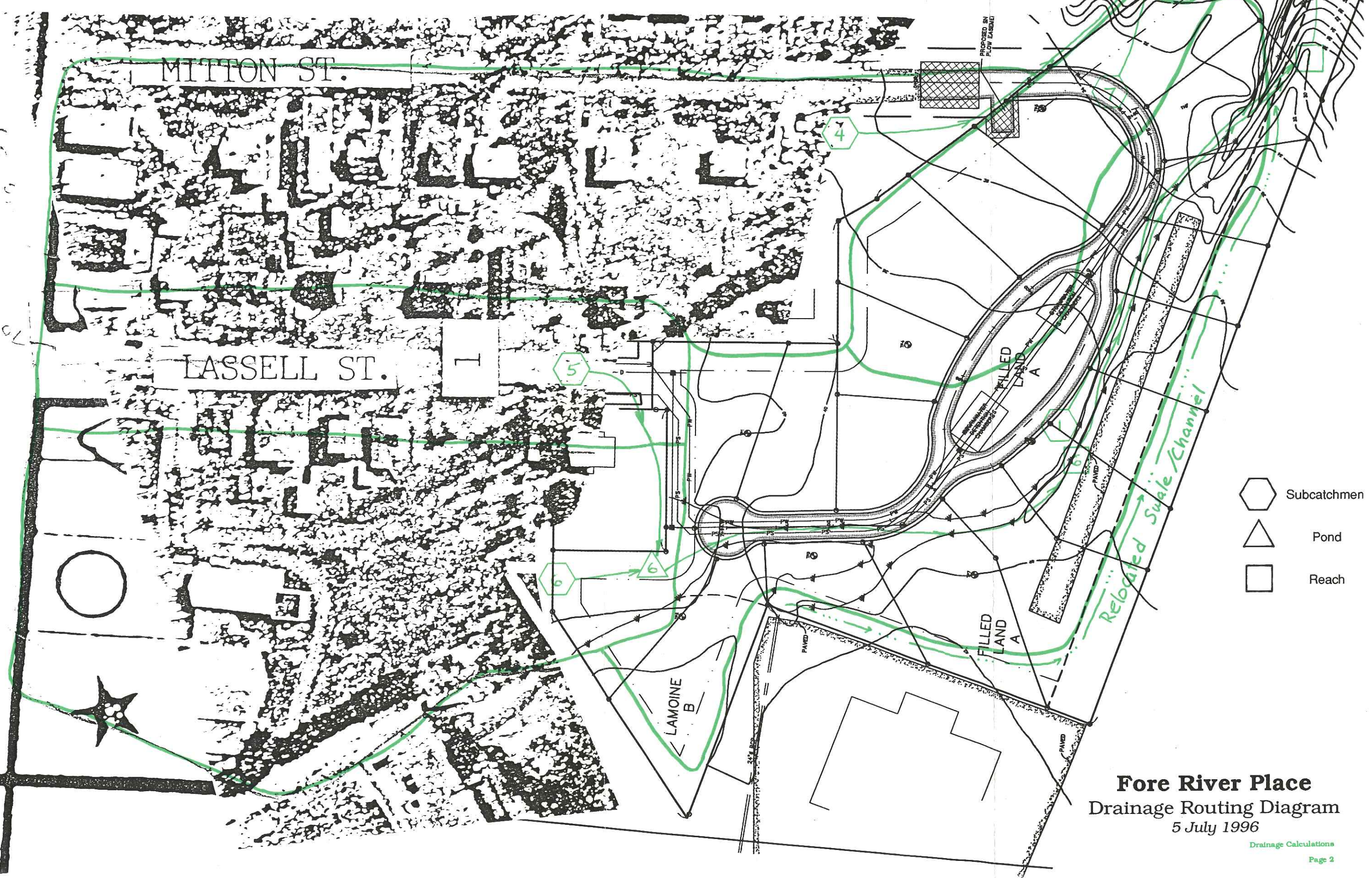
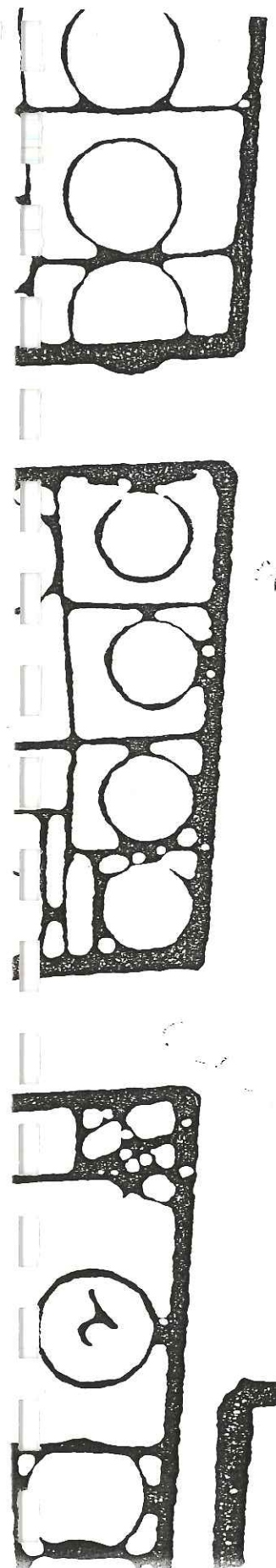
SINCERELY,




MIKE SCARFS

P.S. I REVIEWED YOUR FAX MEMORY FROM TYP LIN CONCERNING  
WITH OUR TRAFFIC STUDY, I'M STILL WAITING FOR SOME  
FLOW ENFORCEMENT LANGUAGE FROM THE CITY ATTORNEY.

PRE DEVELOPMENT

PONDS



-  Subcatchmen
-  Pond
-  Reach

**Fore River Place**  
 Drainage Routing Diagram  
 5 July 1996

POST DEVELOPMENT

PONDS

MITTON ST.

LASSELL ST.

FILLED LAND A

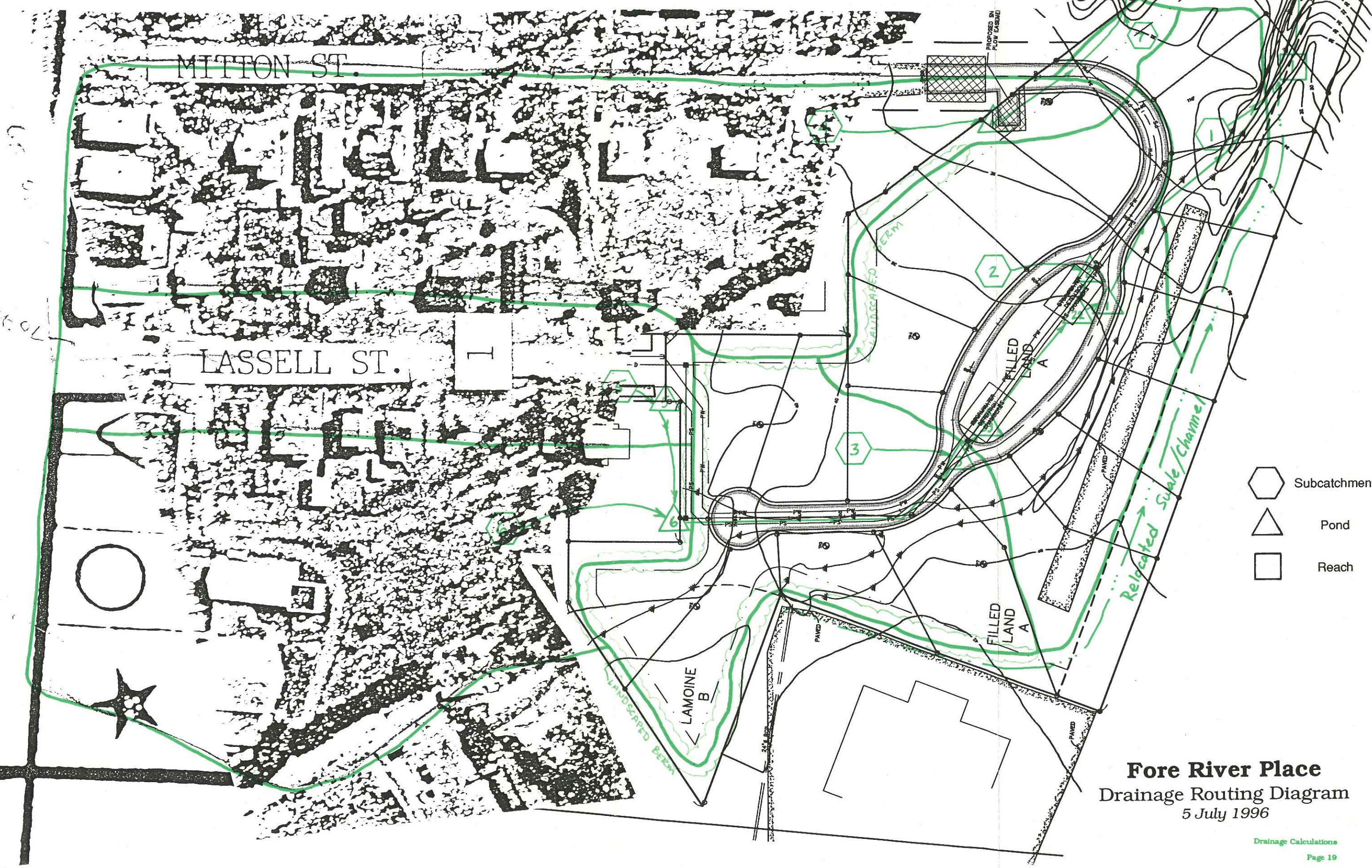
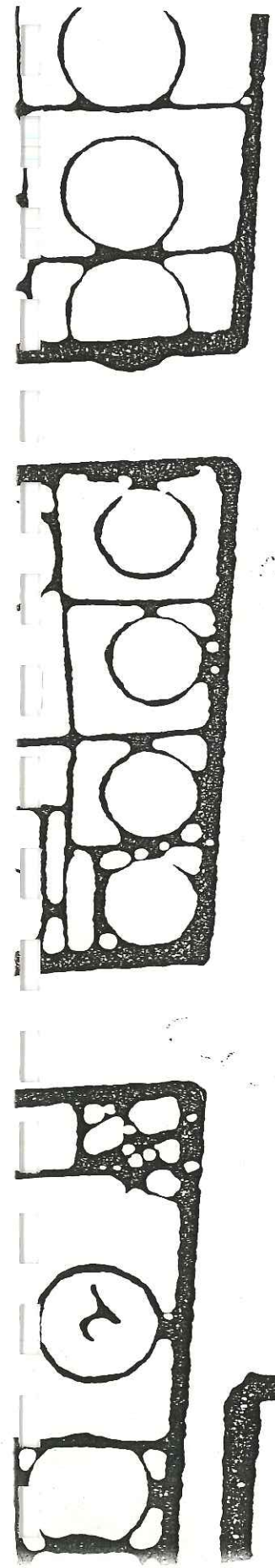
LAMOINE B

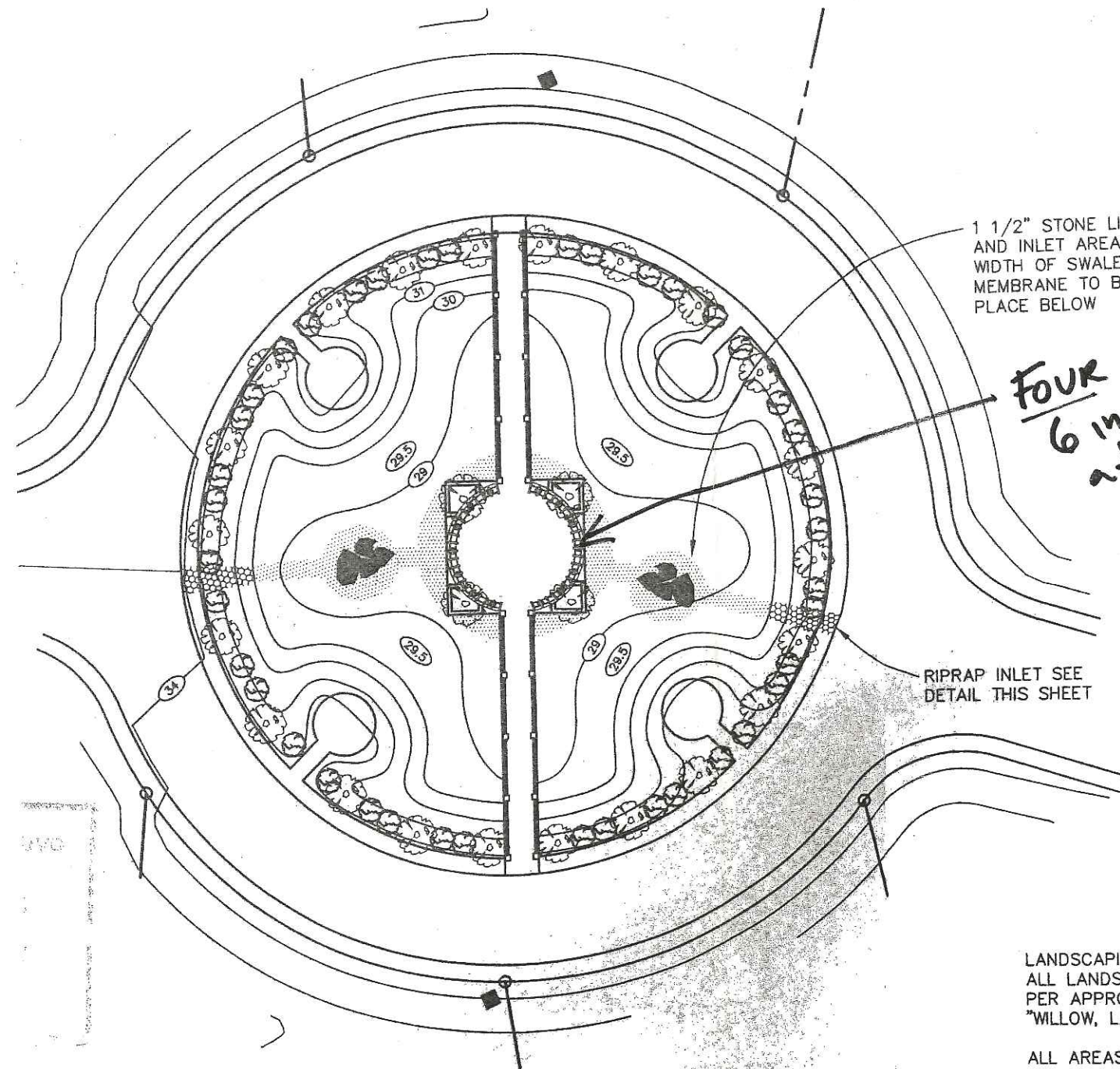
FILLED LAND A

Relocated Sule/Channel

- Subcatchment
- Pond
- Reach

Fore River Place  
Drainage Routing Diagram  
5 July 1996

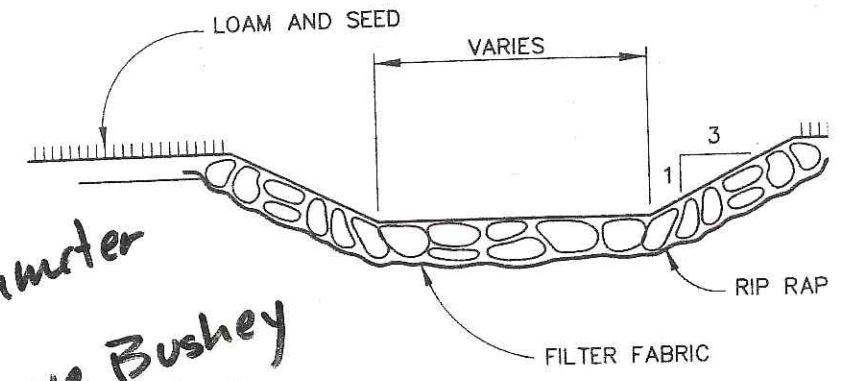




1 1/2" STONE LINED SWALE AND INLET AREAS, MIN. WIDTH OF SWALE 24", RUBBER MEMBRANE TO BE LEFT IN PLACE BELOW

**FOUR INLETS**  
6 inches in diameter  
at grade  
per Steve Bushey  
SH 10/10/00

RIPRAP INLET SEE DETAIL THIS SHEET



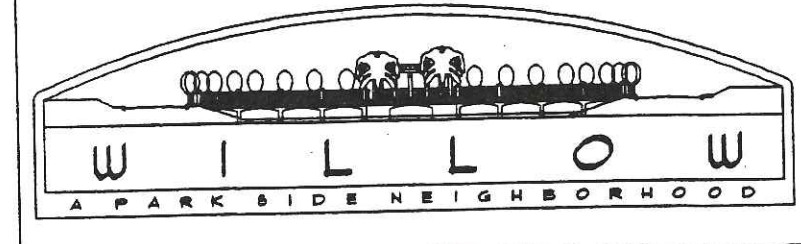
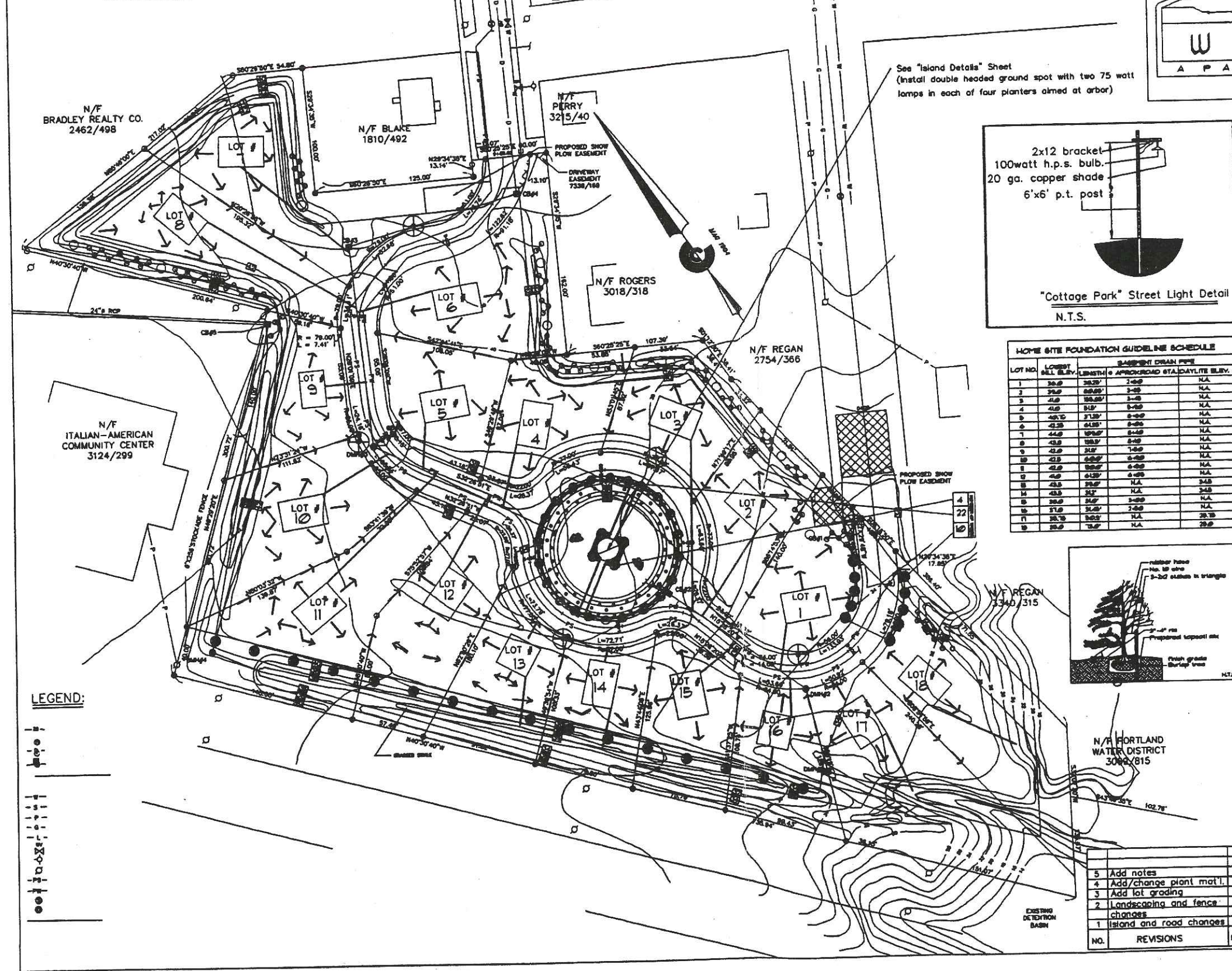
RIP RAP INLET  
NTS

LANDSCAPING:  
ALL LANDSCAPING SHALL BE REPLACED/INSTALLED PER APPROVED CITY OF PORTLAND PLANS OF "WILLOW, LANDSCAPING AND LOT GRADING"

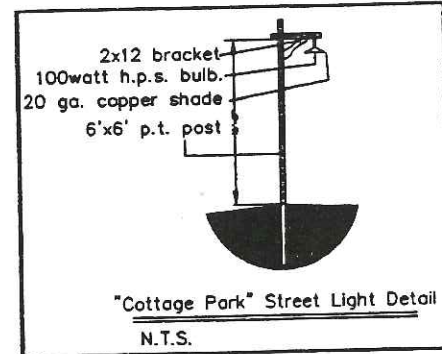
ALL AREAS WITHIN "CENTER AREA" TO BE LOAMED AND SEEDED PER CITY OF PORTLAND SPECS.

GRAPHIC SCALE

**PLAN REFERENCES:**  
 1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON  
 LASSELL STREET, PORTLAND, MAINE FOR TERRY  
 BROWN BY OREN HASKELL, INC. JUNE 19, 1987



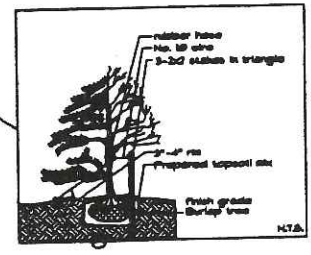
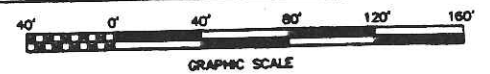
See "Island Details" Sheet  
 (Install double headed ground spot with two 75 watt  
 lamps in each of four planters aimed at arbor)



LOT NO.	LOWEST BILL ELEV.	LENGTH	BASEMENT DRAIN PIPE APPROXIMATE STAY/DAYLITE ELEV.
1	36.0	38.25	3-60
2	36.0	38.25	3-60
3	41.0	38.25	3-60
4	41.0	38.25	3-60
5	46.0	37.25	3-60
6	41.0	38.25	3-60
7	44.0	38.25	3-60
8	41.0	38.25	3-60
9	41.0	38.25	3-60
10	41.0	38.25	3-60
11	41.0	38.25	3-60
12	41.0	38.25	3-60
13	41.0	38.25	3-60
14	41.0	38.25	3-60
15	41.0	38.25	3-60
16	41.0	38.25	3-60
17	41.0	38.25	3-60
18	41.0	38.25	3-60

- LEGEND**
- 2- 1 1/2"x4" TALL WHITE PICKET FENCE WITH 2"-2 1/2" CAL. BABYLON WEeping WILLOW
  - 1 GAL. ROSA RUBROSA 12' O.C. IN TWO ROWS STAGGERED AS SHOWN
  - 1/2 GAL. ROSA RUBROSA 12' O.C. IN TWO ROWS STAGGERED AS SHOWN
  - FRAGRANT CRAB 2-2 1/2" CAL.
  - 3'-4' WHITE PINES
  - 5'-6' HEPLLOCK 20' O.C. IN TWO ROWS STAGGERED AS SHOWN
  - 2"-2 1/2" CAL. BABYLON WEeping WILLOW
  - ⊕ STREET LAMP
  - ← ARROW INDICATING GENERAL DIRECTION OF SURFACE STORM WATER. ACTUAL GRADING TO BE DETERMINED BY BUILDING THEN DESIGNED AND SUBMITTED FOR BUILDING PERMIT.
  - SHAPE TO INDICATE BUILDING ACTUAL SHAPE TO BE DESIGNED AND SUBMITTED FOR BUILDING PERMIT
  - ↑ ARROW INDICATING GENERAL DIRECTION OF SURFACE STORM WATER ALONG PROPERTY COMMON LINE.

**NOTE:** ALL SINGLE FAMILY HOUSE PLANS AND THEIR ASSOCIATED GRADING AND SEDIMENTATION EROSION CONTROL PLANS SHALL BE REVIEWED ADMINISTRATIVELY (MINOR-MINOR) BY THE PLANNING OFFICE.  
 ACTUAL GRADING OF INDIVIDUAL LOTS SHALL COMPLY WITH BILL ELEVATIONS AND FLOW DIRECTIONS AS SHOWN ON THIS PLAN AND SHALL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.



- LEGEND:**
- 24" ROP
  - 20" ROP
  - 18" ROP
  - 16" ROP
  - 14" ROP
  - 12" ROP
  - 10" ROP
  - 8" ROP
  - 6" ROP
  - 4" ROP
  - 2" ROP
  - 1" ROP
  - 0" ROP

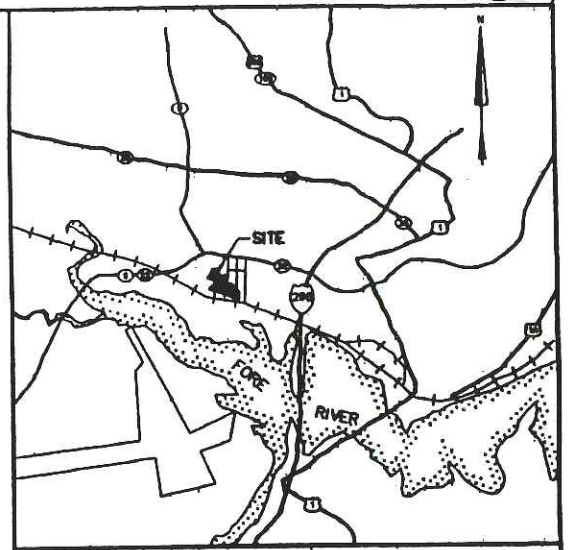
**LANDSCAPING AND LOT GRADING**

Cottage Design Company	
51 Summer Place Portland, ME 04103 507-888-2888	10/1/96 10/1/96 9/16/96 9/16/96 8/30/96
DRAWN: [ ] CALC: [ ] R.L.B. # [ ]	SCALE: 1" = 40' DATE: [ ] APPROVED: [ ] SHEET 6 OF 7

NO.	REVISIONS	INT.	DATE
5	Add notes		10/1/96
4	Add/change plant mat'l.		10/1/96
3	Add lot grading		9/16/96
2	Landscaping and fence changes		9/16/96
1	Island and road changes		8/30/96

**PLAN REFERENCES:**

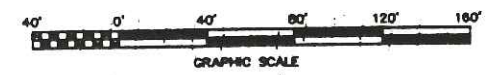
1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSELL STREET, PORTLAND, MAINE FOR TERRY BROWN BY OWEN HASKELL, INC. JUNE 16, 1987



**LOCATION PLAN**  
NOT TO SCALE

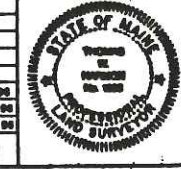
**NOTES:**

1. SUBJECT PROPERTY SHOWN ON THE BOUNDARY OF THE CITY OF PORTLAND TAX MAPS - MAP 190, BLOCK K, LOT 28 AND MAP 191, BLOCK B, LOT 15.
2. PROPERTY IS CURRENTLY ZONED R-3 AND IS WITH A REQUEST TO BE CONSIDERED AS ALL RES. PORTIONS OF THE PROPERTY ARE SUBJECT TO THE SHORELAND OVERLAY DISTRICT.
3. BOUNDARY INFORMATION PROVIDED BY NEPTUNE PROPERTIES, INC., PORTLAND, MAINE. INTERIOR LOT BOUNDARIES CALCULATED BY CIVIL CONSULTANTS.
4. AREA OF PARCEL TO BE DEVELOPED UNDER THIS PROPOSAL IS 6.75 ACRES.
5. RECORD OWNER: NEPTUNE PROPERTIES, INC., 120 EXCHANGE STREET, PORTLAND, MAINE PER DEED RECORDED IN THE CLAMBERLAND COUNTY REGISTRY OF DEEDS BOOK 13385, PAGE 289 (27 FEB 1998).
6. CENTER ISLAND SUBJECT TO PUBLIC ACCESS EASEMENT.
7. THE ROADWAY WITHIN THE PRUD IS PRIVATE AND WILL BE MAINTAINED BY THE "HOMEOWNERS ASSOCIATION", INCLUDING, BUT NOT LIMITED TO, CATCH BASINS AND WALKWAYS WITHIN THE COMMON AREAS.
8. MAINTENANCE OF STORM WATER APPURTENANCES OUTSIDE OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
9. TOPOGRAPHIC INFORMATION, PROPOSED GRADING, HORIZONTAL ROADWAY DATA, AND OTHER CONSTRUCTION DATA IS SHOWN ON SHEETS 2 THROUGH 5 OF 5.



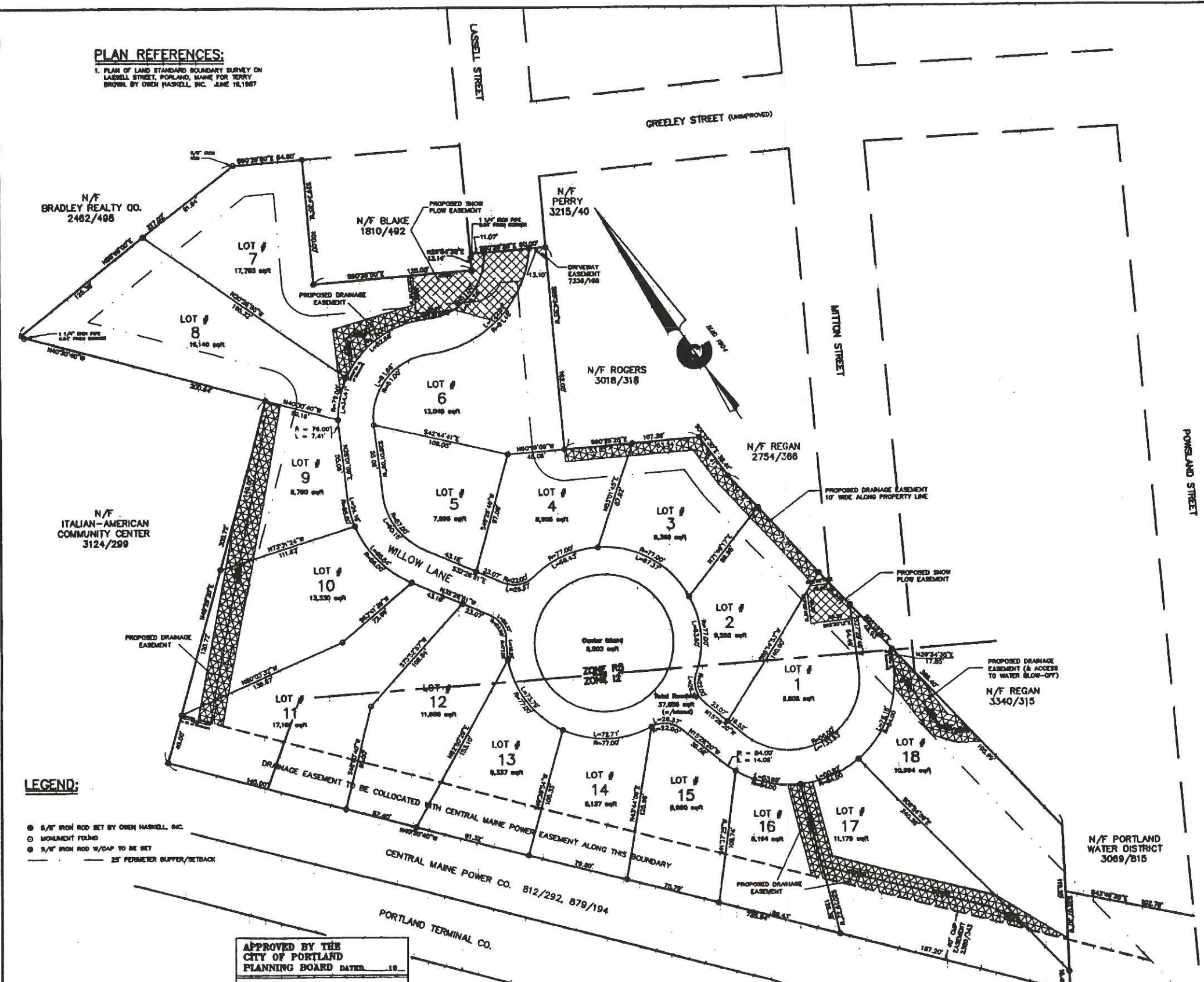
**Lot Configuration Plan  
Fore River Place  
Lassell & Mitton Streets**

Owner/Developer  
NEPTUNE PROPERTIES  
120 Exchange Street  
Portland, Maine 04101



CIVIL CONSULTANTS		P.A. REG. NO. 203 AND REG. NO. 204	
DRAWN: ODC, JES	SCALE: 1"=40'	DATE: 06 Aug 98	
CALC: ODC, JES	APPROVED:	OCT 08 1998	
SHEET 1 OF 5	98-444		

NO.	REVISIONS	INT.	DATE
1	Added more drainage basements		2 OCT 98
2	Added more drainage basements		23 SEP 98
3	Added more drainage basements		23 AUG 98



**LEGEND:**

- 5/8" IRON ROD SET BY OWEN HASKELL, INC.
- MONUMENT FOUND
- 5/8" IRON ROD W/CAP TO BE SET
- 25' PERIMETER BUFFER/SETBACK

APPROVED BY THE  
CITY OF PORTLAND  
PLANNING BOARD DATED 19\_\_

STATE OF MAINE  
CUMBERLAND COUNTY ss. REGISTRY OF DEEDS  
RECEIVED \_\_\_\_\_, 19\_\_  
AT \_\_\_\_\_, m., AND RECORDED IN  
PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTER

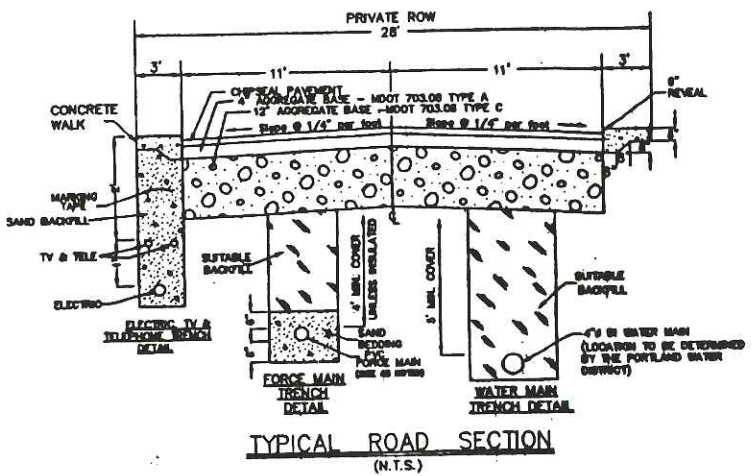
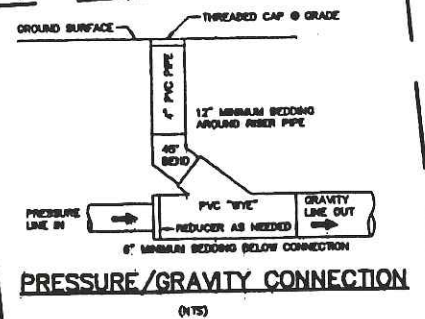
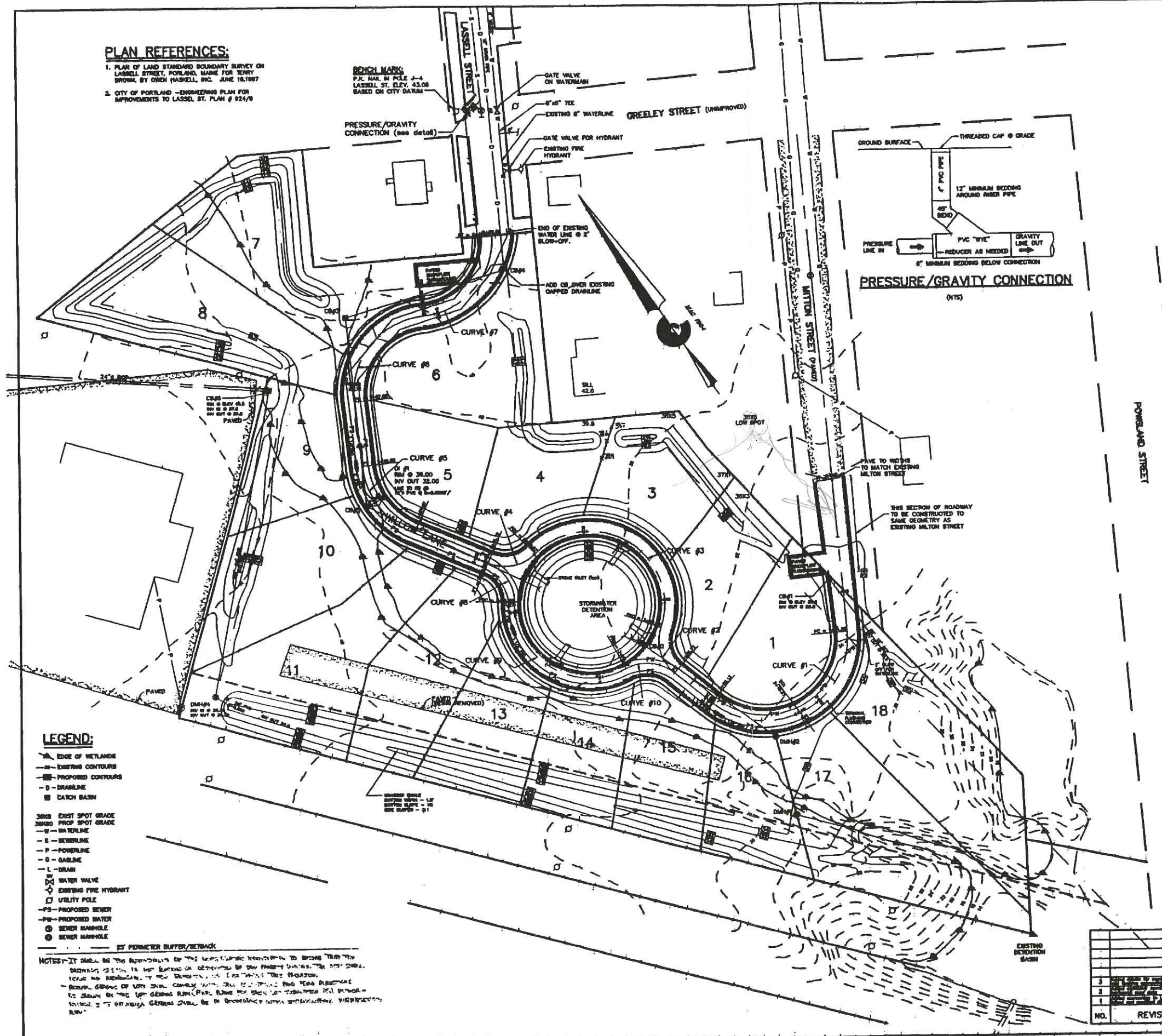
EXTERIOR BOUNDARY LINES AS SHOWN ARE BASED ON A PREVIOUS SURVEY BY OWEN HASKELL, INC. (SEE NOTE 3). USING SAID INFORMATION THE INTERIOR LOT BOUNDARIES WERE PREPARED UNDER THE DIRECTION OF THOMAS HARMON OF CIVIL CONSULTANTS.



**PLAN REFERENCES:**

- 1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSELL STREET, PORTLAND, MAINE FOR TERRY BROWN BY OWEN HASKELL, INC. JUNE 16, 1997
- 2. CITY OF PORTLAND - ENGINEERING PLAN FOR IMPROVEMENTS TO LASSELL ST. PLAN # 924/9

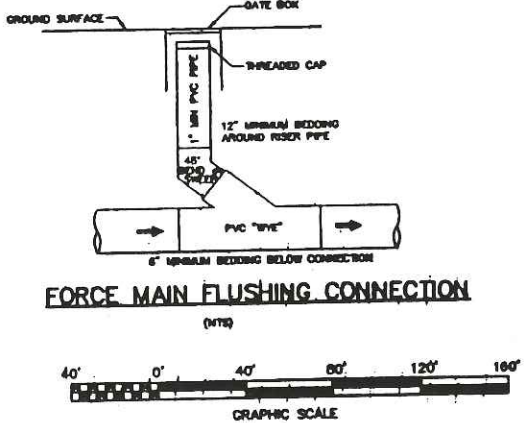
**BENCHMARK**  
P.A.C. MARK IN POLE 2-4  
LASSELL ST. ELEV. 43.08  
BASED ON CITY DATA



- NOTES:**
- 1. INDIVIDUAL SERVICES LINES (WATER & SEWER) SHALL BE EXTENDED ONTO EACH LOT.
  - 2. LOCATION OF EXISTING UTILITIES TAKEN FROM REFERENCE PLANS AND ARE APPROXIMATE. ACTUAL LOCATIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CALL DIG-SAFE @ 1-800-233-8977.
  - 3. TOPOGRAPHIC INFORMATION (INCLUDING BENCHMARK) PROVIDED BY NEPTUNE PROPERTIES, INC. (SEE REF. PLAN 1).
  - 4. ADDITIONAL DETAILS OF STORMWATER STRUCTURES ARE SHOWN ON SHEETS 4 & 5 OF 6.
  - 5. HORIZONTAL & VERTICAL CLEARANCES BETWEEN WATER & SEWER LINES, AS WELL AS CONSTRUCTION METHODS SHALL MEET ALL STATE AND LOCAL REQUIREMENTS.

**HORIZONTAL CURVE DATA**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
CURVE #1	70.00	161.87	168.79	129.32	N82°59'32" W	134°07'08"
CURVE #2	38.00	43.15	24.59	40.81	S18°51'58" W	88°40'35"
CURVE #3	63.00	169.69	278.40	122.85	N23°57'35" W	154°10'41"
CURVE #4	38.00	43.15	24.59	40.81	N88°34'08" W	88°40'35"
CURVE #5	71.00	74.93	41.38	71.50	N62°12'41" E	60°17'51"
CURVE #6	65.00	102.44	63.34	94.10	N74°10'04" E	60°17'51"
CURVE #7	65.00	98.42	61.42	89.29	N74°10'18" E	60°18'24"
CURVE #8	38.00	43.15	24.59	40.81	N81°53'28" E	88°40'35"
CURVE #9	63.00	132.38	168.95	109.33	S23°37'36" E	120°24'38"
CURVE #10	38.00	43.15	24.59	40.81	S48°48'37" E	66°40'35"



**LEGEND:**

- EDGE OF WETLANDS
- - - EXISTING CONTOURS
- PROPOSED CONTOURS
- - - DRAINAGE
- - - DRAINAGE
- DITCH BASIN
- 3000 EXIST SPOT GRADE
- 3000 PROP SPOT GRADE
- W - WATERLINE
- S - SEWERLINE
- P - POWERLINE
- G - GASLINE
- L - DRAIN
- WATER VALVE
- EXISTING FIRE HYDRANT
- UTILITY POLE
- PS - PROPOSED SEWER
- PW - PROPOSED WATER
- SEWER MANHOLE
- SEWER MANHOLE
- 5' FORMER BUFFER/SETBACK

**NOTES:** IT SHALL BE THE RESPONSIBILITY OF THE USER OF THIS PLAN TO VERIFY THE ACCURACY OF THE INFORMATION SHOWN ON THIS PLAN. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

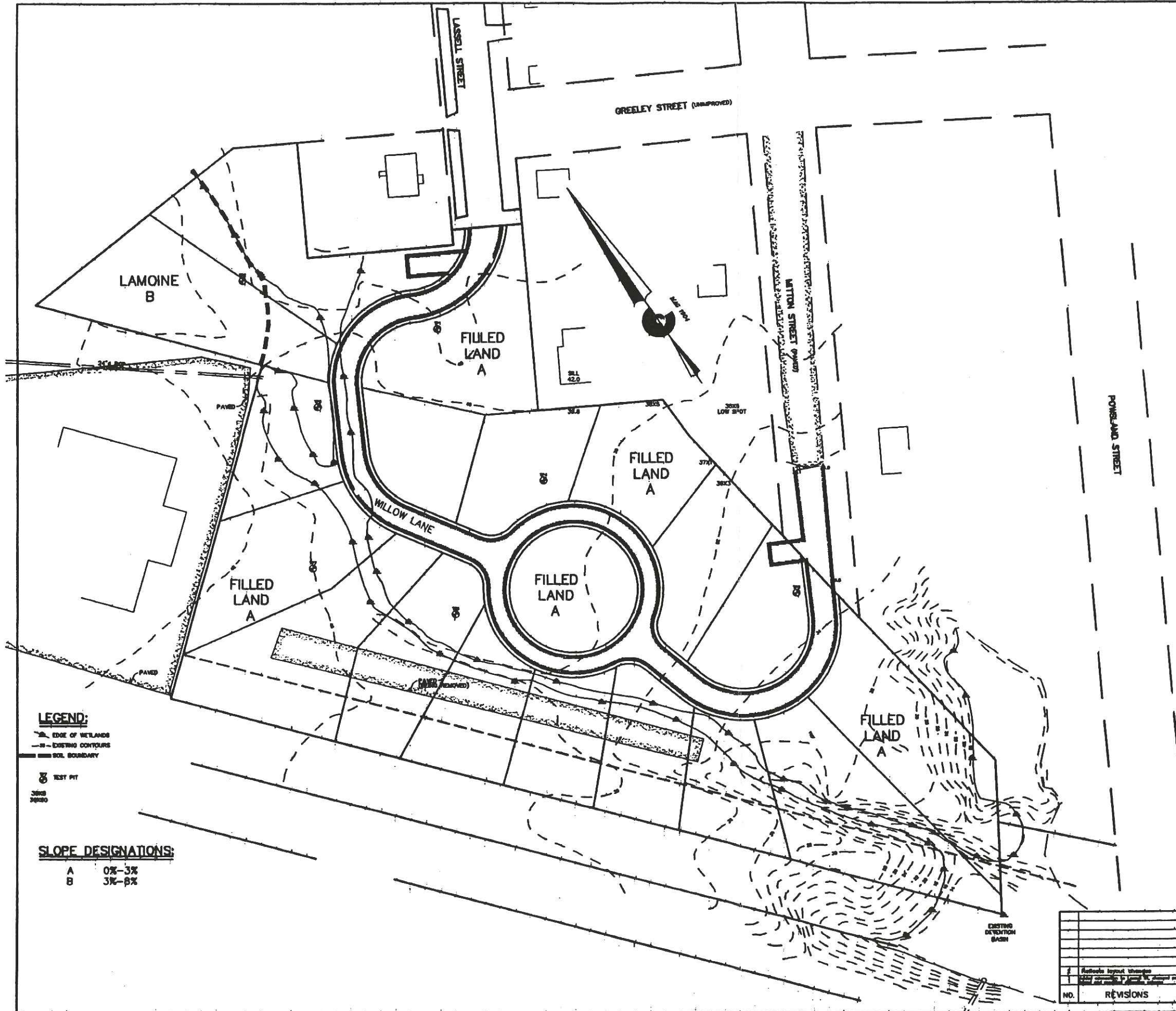
**Site Development Plan**  
**Fore River Place**  
Lassell & Milton Streets

Owner/Developer  
**NEPTUNE PROPERTIES**  
120 Exchange Street  
Portland, Maine, 04101

**CIVIL CONSULTANTS**

NO. REVISIONS INT. DATE

DATE 06 Aug 98  
APPROVED OCT 03 1998



**NOTES:**  
 1. TEST PITS, SOILS & WETLANDS DELINEATIONS PERFORMED BY ALBERT FRICK ASSOCIATES, INC., DORHAM, MAINE AND WERE PROVIDED BY NEPTUNE PROPERTIES.

**LEGEND:**  
 - - - EDGE OF WETLANDS  
 - - - EXISTING CONTOURS  
 --- SOIL BOUNDARY  
 ⊗ TEST PIT  
 38.00  
 39.00

**SLOPE DESIGNATIONS:**  
 A 0%-3%  
 B 3%-8%



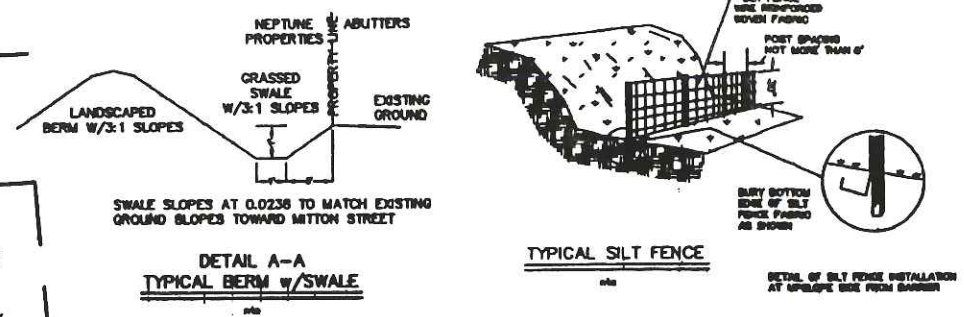
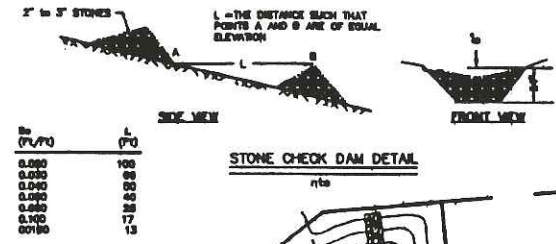
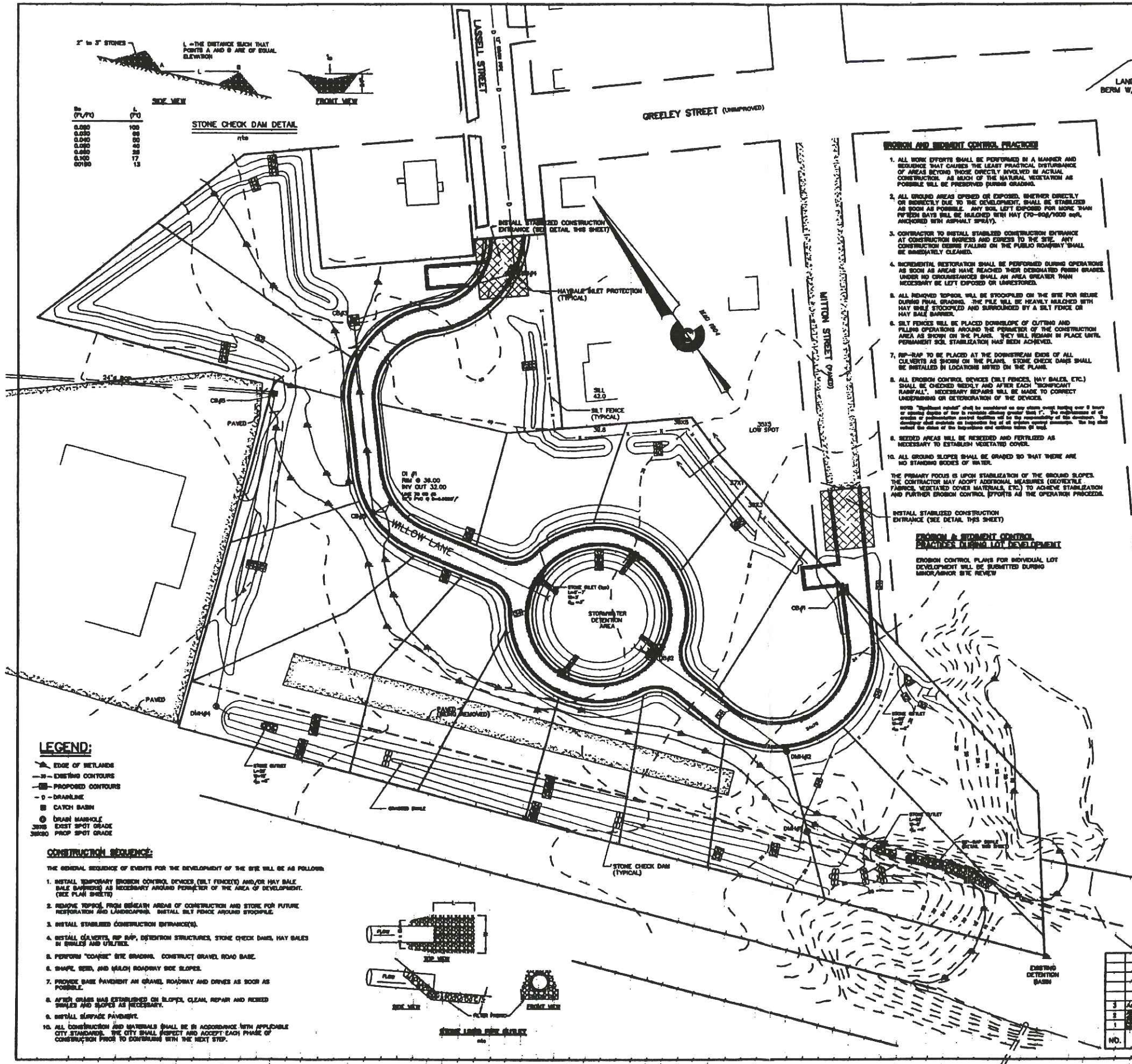
Soils & Test Pits  
**Fore River Place**  
 Lassell & Mitten Streets  
 Owner/Developer  
 NEPTUNE PROPERTIES  
 120 Exchange Street  
 Portland, Maine 04101

NO.	REVISIONS	INT.	DATE
1	Revised layout drawings		23 SEP 98
2	Added notes to drawings		22 AUG 98

**CIVIL CONSULTANTS**  
 P.O. BOX 100  
 200 WEST STREET  
 PORTLAND, MAINE 04101  
 TEL: 603-850-8800

DRAWN	GDC, JES	SCALE	1"=40'	DATE	08 Aug 98
CHECK	GDC, JES	APPROVED			OCT 09 1998
N.B. #		SHEET	3 OF 5		98-444

Bd

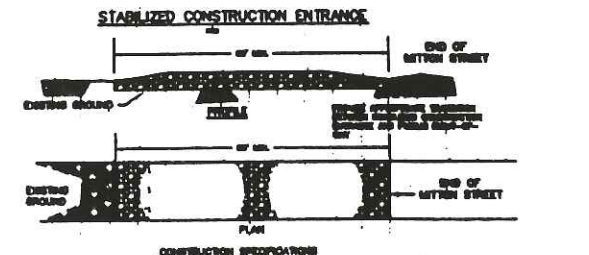


- EROSION AND SEDIMENT CONTROL PRACTICES**
1. ALL WORK EFFORTS SHALL BE PERFORMED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF AREAS BEYOND THOSE DIRECTLY INVOLVED IN ACTUAL CONSTRUCTION. AS MUCH OF THE NATURAL VEGETATION AS POSSIBLE WILL BE PRESERVED DURING GRADING.
  2. ALL GROUND AREAS OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE STABILIZED AS SOON AS POSSIBLE. ANY SOIL LEFT EXPOSED FOR MORE THAN FIFTEEN DAYS WILL BE MULCHED WITH MAY (70-90%/1000 SPEC. ANCHORED WITH ASPHALT STRIPS).
  3. CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCES AND EXITS TO THE SITE. ANY CONSTRUCTION DEBRIS FALLING ON THE PUBLIC ROADWAY SHALL BE IMMEDIATELY CLEANED.
  4. INCREMENTAL RESTORATION SHALL BE PERFORMED DURING OPERATIONS AS SOON AS AREAS HAVE REACHED THEIR DESIGNATED FRESH GRADING. UNDER NO CIRCUMSTANCES SHALL AN AREA GREATER THAN NECESSARY BE LEFT EXPOSED OR UNRESTORED.
  5. ALL REMOVED TOPSOIL WILL BE STOCKPILED ON THE SITE FOR REUSE DURING FINAL GRADING. THE PILE WILL BE HEAVILY MULCHED WITH MAY BALE MULCH AND SURROUNDED BY A SILT FENCE OR HAY BALE BARRIER.
  6. SILT FENCES WILL BE PLACED DOWNSLOPE OF CUTTING AND FILLING OPERATIONS AROUND THE PERIMETER OF THE CONSTRUCTION AREA AS SHOWN ON THE PLANS. THEY WILL REMAIN IN PLACE UNTIL PERMANENT SOIL STABILIZATION HAS BEEN ACHIEVED.
  7. RP-RAP TO BE PLACED AT THE DOWNSTREAM END OF ALL CULVERTS AS SHOWN ON THE PLANS. STONE CHECK DAMS SHALL BE INSTALLED IN LOCATIONS SHOWN ON THE PLANS.
  8. ALL EROSION CONTROL DEVICES (SILT FENCES, HAY BALES, ETC.) SHALL BE CHECKED REGULARLY AND AFTER EACH SIGNIFICANT RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETRIORATION OF THE DEVICES.
  9. AREAS "disturbed" shall be mulched as soon as possible, but not later than 14 days after the completion of the disturbance. The mulch shall be applied in a manner that will prevent erosion and retain the soil on the site.
  10. SEEDS AREAS WILL BE RESEED AND FERTILIZED AS NECESSARY TO ESTABLISH VEGETATED COVER.
  11. ALL GROUND SLOPES SHALL BE GRADDED SO THAT THERE ARE NO STANDING BODIES OF WATER.
- THE PRIMARY FOCUS IS UPON STABILIZATION OF THE GROUND SLOPES. THE CONTRACTOR MAY ADOPT ADDITIONAL MEASURES (GEOTEXTILE FABRICS, VEGETATED COVER MATERIALS, ETC.) TO ACHIEVE STABILIZATION AND FURTHER EROSION CONTROL EFFORTS AS THE OPERATION PROCEEDS.

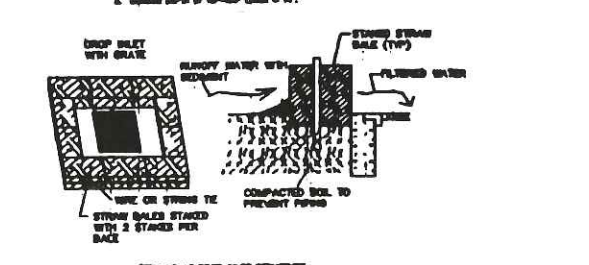
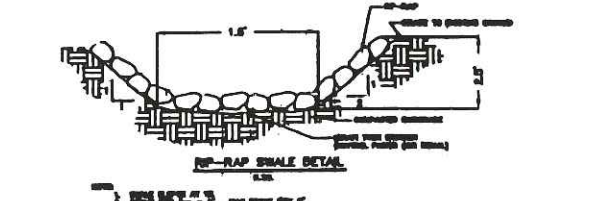
INSTALL STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL THIS SHEET)

**EROSION & SEDIMENT CONTROL PRACTICES DURING LOT DEVELOPMENT**

EROSION CONTROL PLANS FOR INDIVIDUAL LOT DEVELOPMENT WILL BE SUBMITTED DURING SUBSEQUENT SITE REVIEW



- CONSTRUCTION SPECIFICATIONS**
1. Stone size - ASTM #20 mesh, size 1/2" (12-14") to 1-1/2". The smallest stone shall be 1/2" in diameter, but not less than 1/4" thick.
  2. Maximum - not less than 10' long.
  3. Width - not less than 12" width of all points of layout or spread.
  4. Spacing - this spacing shall be spaced to prevent erosion after 10' spacing into the ground. The spacing shall be 10' on center. The spacing shall be 10' on center. The spacing shall be 10' on center. The spacing shall be 10' on center.
  5. Installation - the entrance shall be installed in a location that will prevent erosion and sediment from entering the site. The entrance shall be installed in a location that will prevent erosion and sediment from entering the site.

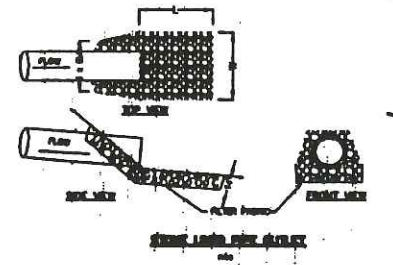


- NOTES:**
1. SILT FENCES SHALL BE SPACED 100' APART OR THEREABOUTS WITH THE EXISTING EXPOSED AREAS.
  2. SILT FENCES SHALL BE PLACED DOWNSLOPE OF A GRADE LINE PERMANENTLY THE DATE, WITH THE TOP OF EXISTING GROUND PROTRUDING THROUGH.
  3. THE SILT FENCE SHALL BE STABILIZED AND MULCHED. A SILT FENCE SHALL BE INSTALLED AT THE END OF A GRADE TO A MINIMUM OF 10' BEYOND THE END OF THE GRADE. THE EXISTING GROUND SHALL BE STABILIZED AND MULCHED ABOUT THE SILT FENCE.
  4. SILT BALES SHALL BE SPACED 100' APART OR THEREABOUTS WITH THE EXISTING EXPOSED AREAS.
  5. LOGS SHALL BE SPACED 100' APART OR THEREABOUTS WITH THE EXISTING EXPOSED AREAS.



- LEGEND:**
- EDGE OF BETAISLAND
  - - - EXISTING CONTOURS
  - - - PROPOSED CONTOURS
  - - - DRAINAGE
  - CATCH BASIN
  - DRAIN MANHOLE
  - DEST SPOT GRADE
  - PROP SPOT GRADE

- CONSTRUCTION SEQUENCE:**
- THE SEQUENTIAL SEQUENCE OF EVENTS FOR THE DEVELOPMENT OF THE SITE WILL BE AS FOLLOWS:
1. INSTALL TEMPORARY EROSION CONTROL DEVICES (SILT FENCES) AND/OR HAY BALE BALE BARRIERS AS NECESSARY AROUND PERIMETER OF THE AREA OF DEVELOPMENT. (SEE PLAN SHEETS)
  2. REMOVE TOPSOIL FROM BENEATH AREAS OF CONSTRUCTION AND STORE FOR FUTURE RESTORATION AND LANDSCAPING. INSTALL SILT FENCE AROUND STOCKPILE.
  3. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
  4. INSTALL CULVERTS, RP-RAP, DETENTION STRUCTURES, STONE CHECK DAMS, HAY BALES IN SWALES AND UTILITIES.
  5. PERFORM "COARSE" SITE GRADING. CONSTRUCT GRAVEL ROAD BASE.
  6. SHAPE, SEED, AND MULCH ROADWAY SIDE SLOPES.
  7. PROVIDE BASE PAVEMENT ON GRAVEL ROADWAY AND DRIVES AS SOON AS POSSIBLE.
  8. AFTER GRASS HAS ESTABLISHED ON SLOPES, CLEAN, REPAIR AND RESEED SWALES AND SLOPES AS NECESSARY.
  9. INSTALL SURFACE PAVEMENT.
  10. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE CITY STANDARDS. THE CITY SHALL INSPECT AND ACCEPT EACH PHASE OF CONSTRUCTION PRIOR TO COMMENCING WITH THE NEXT STEP.

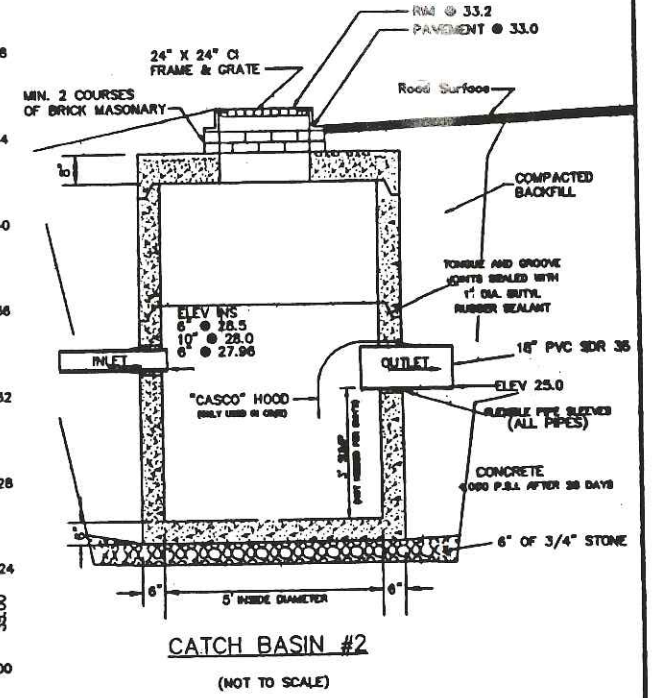
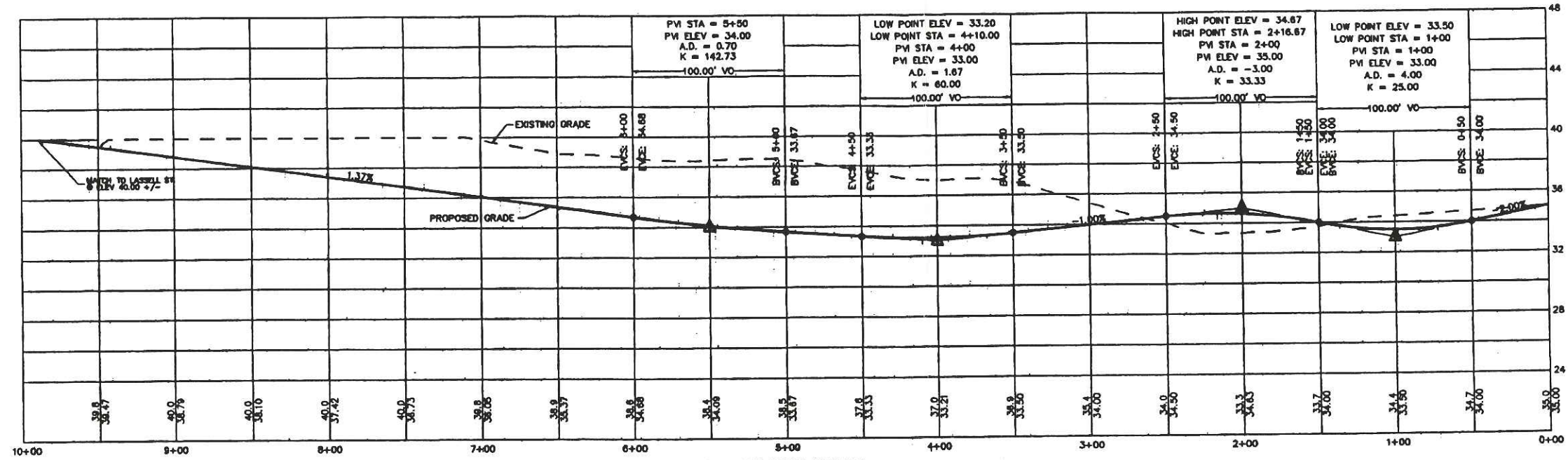


NO.	REVISIONS	INT.	DATE
3	Added berm/haile detail A-A		2 OCT 98
2	Added stone size, spacing, and rap		23 SEP 98
1	Initial design & plan		22 AUG 98

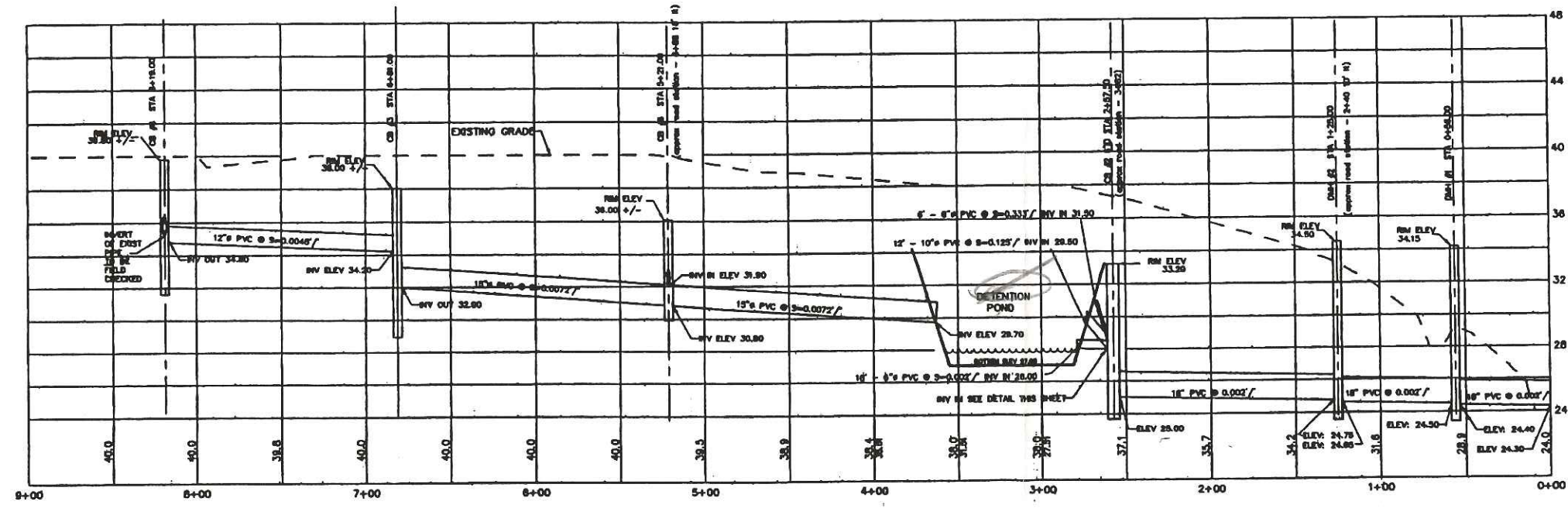
**Drainage & Erosion Control**  
**Fore River Place**  
Lassell & Mitton Streets

Owner/Developer  
**NEPTUNE PROPERTIES**  
120 Exchange Street  
Portland, Maine 04101

		DATE 06 Aug 98	
		SCALE 1"=40'	
DRAWN GDC, JES		CHECKED GDC, JES	
DATE 06 Aug 98		APPROVED OCT 03 1998	
SHEET 4 of 5		98-444	



NOTE:  
PROFILE STATIONING FOR DRAINAGE PROFILE IS NOT THE SAME AS STATIONING FOR ROAD PROFILE.



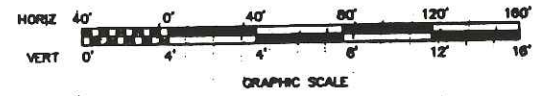
- CONSTRUCTION NOTES:**
- CATCHBASINS AND DRAIN MANHOLES SHALL BE 4' ID UNLESS NOTED OTHERWISE.
  - CATCHBASINS #2 & #3 & DRAIN MANHOLE #4 SHALL BE 5' ID.
  - ALL STRUCTURES SHALL BE PRECAST UNLESS NOTED OTHERWISE.
  - ALL CATCHBASINS SHALL HAVE 3' SLUMPS.
  - BASIC CONSTRUCTION OF ALL CATCHBASINS AND DRAIN MANHOLES TO BE AS SHOWN ON DETAIL FOR CB#2 (THIS SHEET).

NOTE:  
PROFILE STATIONING FOR DRAINAGE PROFILE IS NOT THE SAME AS STATIONING FOR ROAD PROFILE.

**RESTORATION PLAN**

- EQUALLY IMPORTANT WITH EROSION AND SEDIMENTATION CONTROL IS GROUND COVER RESTORATION. AS SOON AS AN AREA HAS BEEN BROUGHT TO FINAL GRADE, RESTORATION EFFORTS WILL BEGIN. ALL DISTURBED AREAS WILL BE PERMANENTLY STABILIZED IMMEDIATELY AFTER CONSTRUCTION. RESTORATION EFFORTS WILL EMPLOY ALL METHODS AVAILABLE. DETAIL RESTORATION WILL CONSIST OF THE FOLLOWING:
- THE AREA SHALL BE GRADED TO FINISH SHAPE (NOT > 3:1 EXCEPT WHERE LEDES IS ENCOUNTERED 2:1 WILL BE ALLOWED).
  - TOPSOIL FROM THE STOCKPILE SHALL BE SPREAD UNIFORMLY (4" DEPTH) AND TREATED WITH LIME AND FERTILIZER PRIOR TO SEEDING.  
LIME - 3 tons/acre  
FERTILIZER (10-20-20) - 600 lbs/acre
  - SEED TO BE ONE OF THE FOLLOWING MIXTURES. SEED MIXTURE WILL BE APPLIED AT THE RATES AND COMPOSITION SHOWN.  

A) CREEPING RED PERSIC	20#/acre
REDTOP	24/acre
TALL FESCUE	24/acre
TOTAL	42#/acre
B) REED CANARY GRASS	20#/acre
REDTOP	24/acre
TOTAL	24#/acre
C) REED CANARY GRASS	15#/acre
REDTOP	24/acre
BROODPOD TRIFOLIUM	10#/acre
TOTAL	20#/acre
  - MULCH MAY BE INSTALLED AT A RATE OF 1-2 tons/acre ANCHORED WITH 700 LB WOOD PINE/acre OR 40 LB TORNAK 8/acre OR 20 LB AREOSPRAY 10/acre. A STRAW-MANURE MIXTURE APPLIED AT A RATE OF 20 tons/acre MAY BE USED AND REQUIRES NO ANCHORING.
  - THE ABOVE PROCEDURE WILL BE APPLICABLE IF FINAL GRADING IS ACHIEVED DURING THE GROWING SEASON (LOSS OF SNOW TO 6/15 AND 8/30 TO 10/15). IF FINAL GRADING IS ACHIEVED BETWEEN 10/15 AND 1/15, SEEDING WILL BE DELAYED UNTIL 11/1. AFTER 11/1 AND BEFORE A SNOW COVER FORMS, THE ABOVE PROCEDURE WILL BE FOLLOWED EXCEPT THAT THE SEEDING RATE WILL BE DOUBLED. AFTER SNOW COVER FORMS, SEEDING WILL BE DELAYED UNTIL LOSS OF SNOW. MAY MULCH WILL BE APPLIED AND ANCHORED TO PROVIDE PROTECTION UNTIL SPRING.
  - INSPECTIONS WILL BE CONDUCTED AS OUTLINED IN THE EROSION AND SEDIMENT CONTROL PRACTICES.
- THE GOAL OF RESTORATION IS TO STABILIZE GROUND SLOPES. IN AREAS OTHER THAN LAWNS, ALTERNATIVE PLANT COVERS, SUCH AS THOSE RECOMMENDED BY THE ARMY CORPS OF ENGINEERS THROUGH THE COLD REGIONS LABORATORY, ARE ENCOURAGED.



**Profiles & Construction Details**  
**Fore River Place**  
Lassell & Milton Streets

Owner/Developer  
NEPTUNE PROPERTIES  
120 Exchange Street  
Portland, Maine 04101

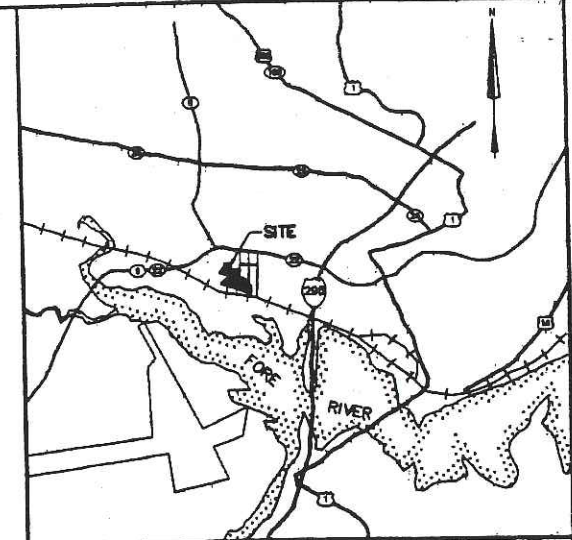
**CIVIL CONSULTANTS**  
100 Main Street  
Portland, Maine 04101  
TEL: 857-1111

NO.	REVISIONS	INT.	DATE
3	Added info to Catch Basin #2 detail		2 OCT 98
2	Revised detail for Catch Basin #2		23 SEP 98
1	Initial design		22 AUG 98

DRAWN: GDC, JES  
SCALE: HORIZ 1"=40', VERT 1"=4'  
DATE: 08 AUG 98  
CALC: GDC, JES  
APPROVED: [Signature]  
DATE: OCT 03 1998  
SHEET 5 OF 8  
98-444

**PLAN REFERENCES:**

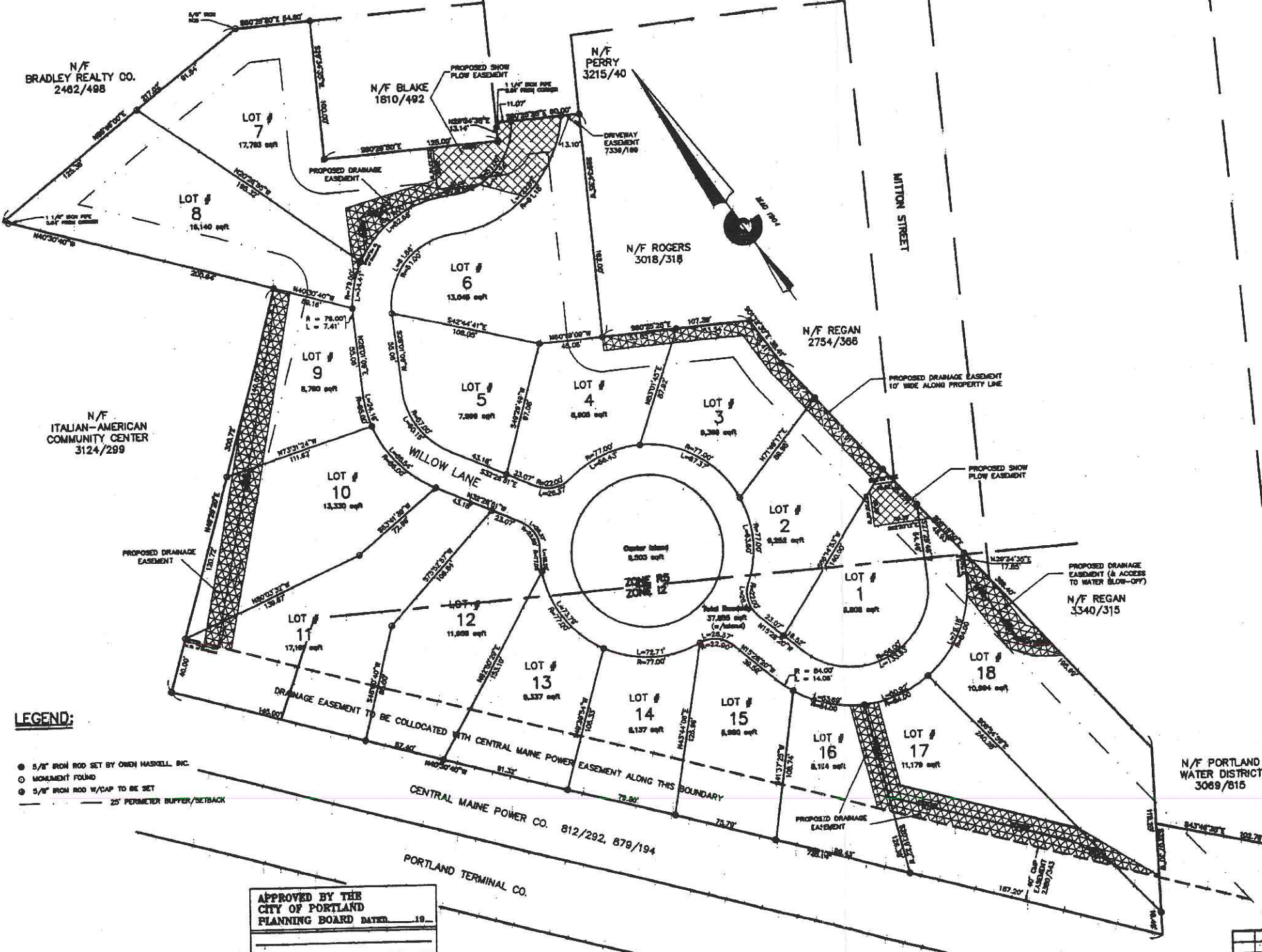
1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSELL STREET, PORTLAND, MAINE FOR TERRY BROWN, BY OWEN HASKELL, INC. JUNE 18, 1997



**LOCATION PLAN**  
NOT TO SCALE

**NOTES:**

- SUBJECT PROPERTY SHOWN ON THE BOUNDARY OF THE CITY OF PORTLAND TAX MAPS - MAP 190, BLOCK K, LOT 28 AND MAP 191, BLOCK B, LOT 15.
- PROPERTY IS CURRENTLY ZONED R-5 AND D2 WITH A REQUEST TO BE CONSIDERED AS ALL R5. PORTIONS OF THE PROPERTY ARE SUBJECT TO THE SHORELAND OVERLAY DISTRICT.
- BOUNDARY INFORMATION PROVIDED BY NEPTUNE PROPERTIES, INC., PORTLAND, MAINE. INTERIOR LOT BOUNDARIES CALCULATED BY CIVIL CONSULTANTS.
- AREA OF PARCEL TO BE DEVELOPED UNDER THIS PROPOSAL IS 5.75 ACRES.
- RECORD OWNER: NEPTUNE PROPERTIES, INC., 120 EXCHANGE STREET, PORTLAND, MAINE. PER DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 12386, PAGE 289 (27 FEB 1996).
- CENTER ISLAND SUBJECT TO PUBLIC ACCESS EASEMENT.
- THE ROADWAY WITHIN THIS PRUD IS PRIVATE AND WILL BE MAINTAINED BY THE "HOMEOWNERS ASSOCIATION", INCLUDING, BUT NOT LIMITED TO, CATCH BASINS AND WALKWAYS WITHIN THE COMMON AREAS.
- MAINTENANCE OF STORM WATER APPURTENANCES OUTSIDE OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- TOPOGRAPHIC INFORMATION, PROPOSED GRADING, HORIZONTAL ROADWAY DATA, AND OTHER CONSTRUCTION DATA IS SHOWN ON SHEETS 2 THROUGH 5 OF 5.



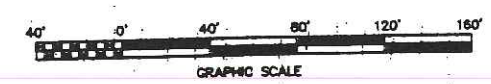
**LEGEND:**

- 5/8" IRON ROD SET BY OWEN HASKELL, INC.
- MONUMENT FOUND
- 5/8" IRON ROD W/CAP TO BE SET
- 25' PERIMETER BUFFER/SETBACK

APPROVED BY THE  
CITY OF PORTLAND  
PLANNING BOARD DATED \_\_\_\_\_ 19\_\_

STATE OF MAINE  
CUMBERLAND COUNTY REGISTRY OF DEEDS  
RECEIVED \_\_\_\_\_ 19\_\_  
AT \_\_\_\_\_ M., AND RECORDED IN  
PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTER

EXTERIOR BOUNDARY LINES AS SHOWN ARE BASED ON A PREVIOUS SURVEY BY OWEN HASKELL, INC. (SEE NOTE 3). USING SAID INFORMATION THE INTERIOR LOT BOUNDARIES WERE PREPARED UNDER THE DIRECTION OF THOMAS HARMON OF CIVIL CONSULTANTS.



**Lot Configuration Plan**  
**Fore River Place**  
Lassell & Milton Streets

Owner/Developer  
NEPTUNE PROPERTIES  
120 Exchange Street  
Portland, Maine 04101

**CIVIL CONSULTANTS**  
P.O. BOX 99  
263 GARDEN STREET  
PORTLAND, MAINE 04101  
207-854-8800

3	Added more drainage easements	2 OCT 98
2	Added more drainage easements	23 SEP 98
1	Original plan	23 AUG 98

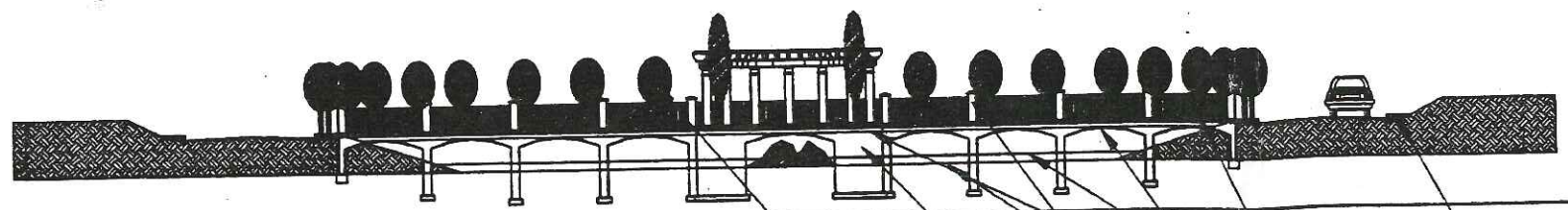
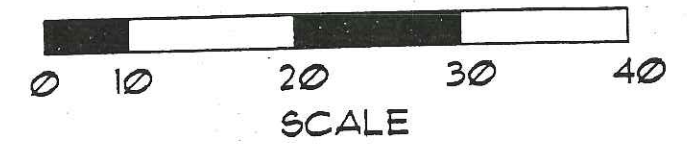
NO. REVISIONS INT. DATE

SCALE 1"=40'  
DATE 06 Aug 98  
APPROVED OCT 09 1998  
SHEET 1 OF 5 08-444

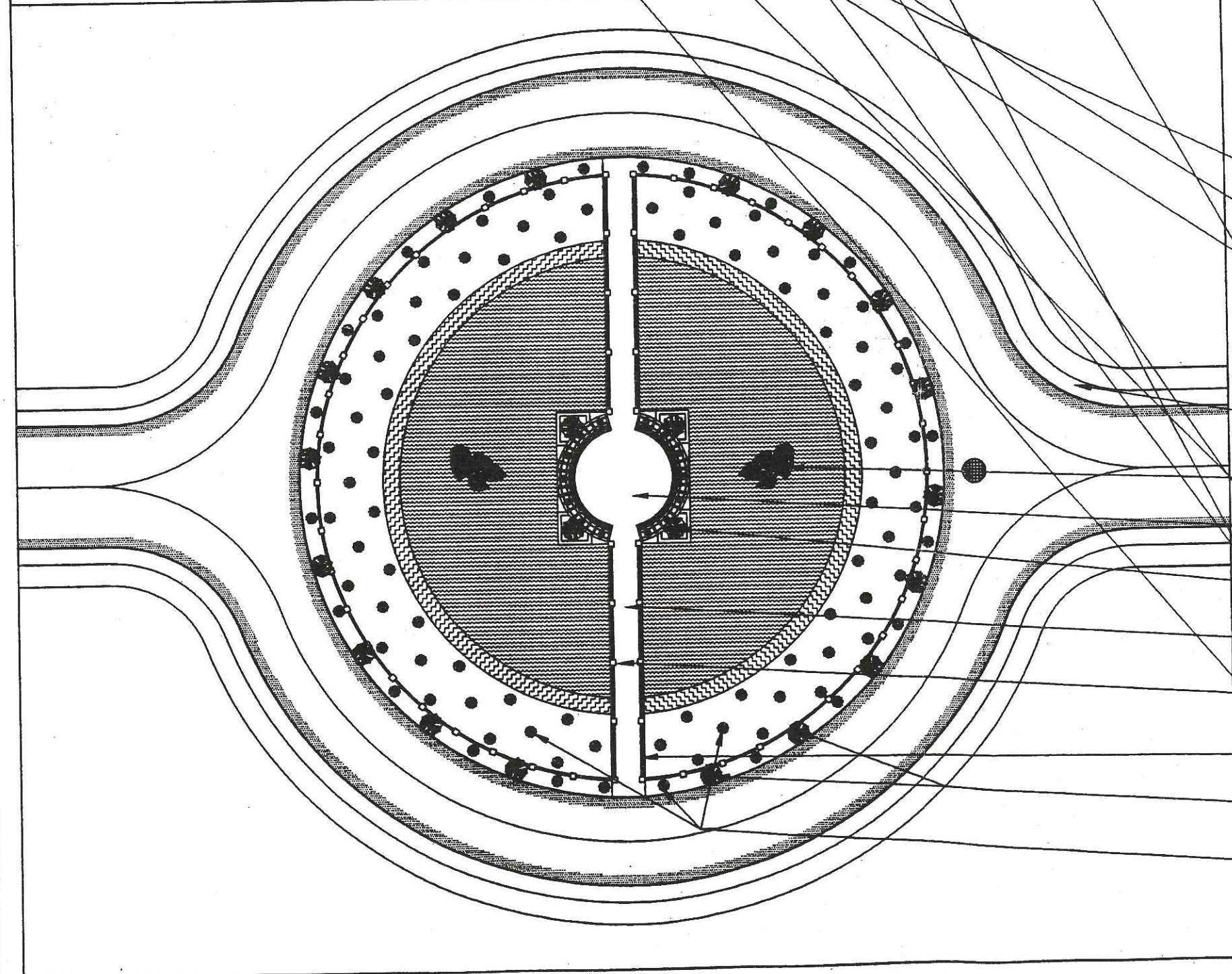


The Cottage Design Company  
Fore River Place

ISLAND DETAILS



SECTION

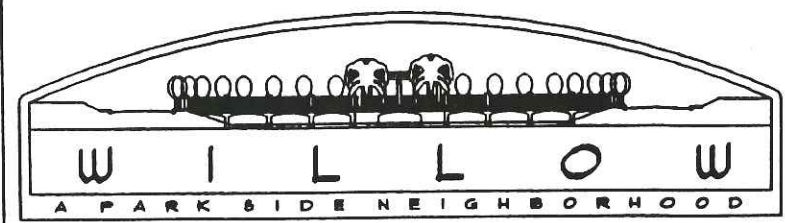
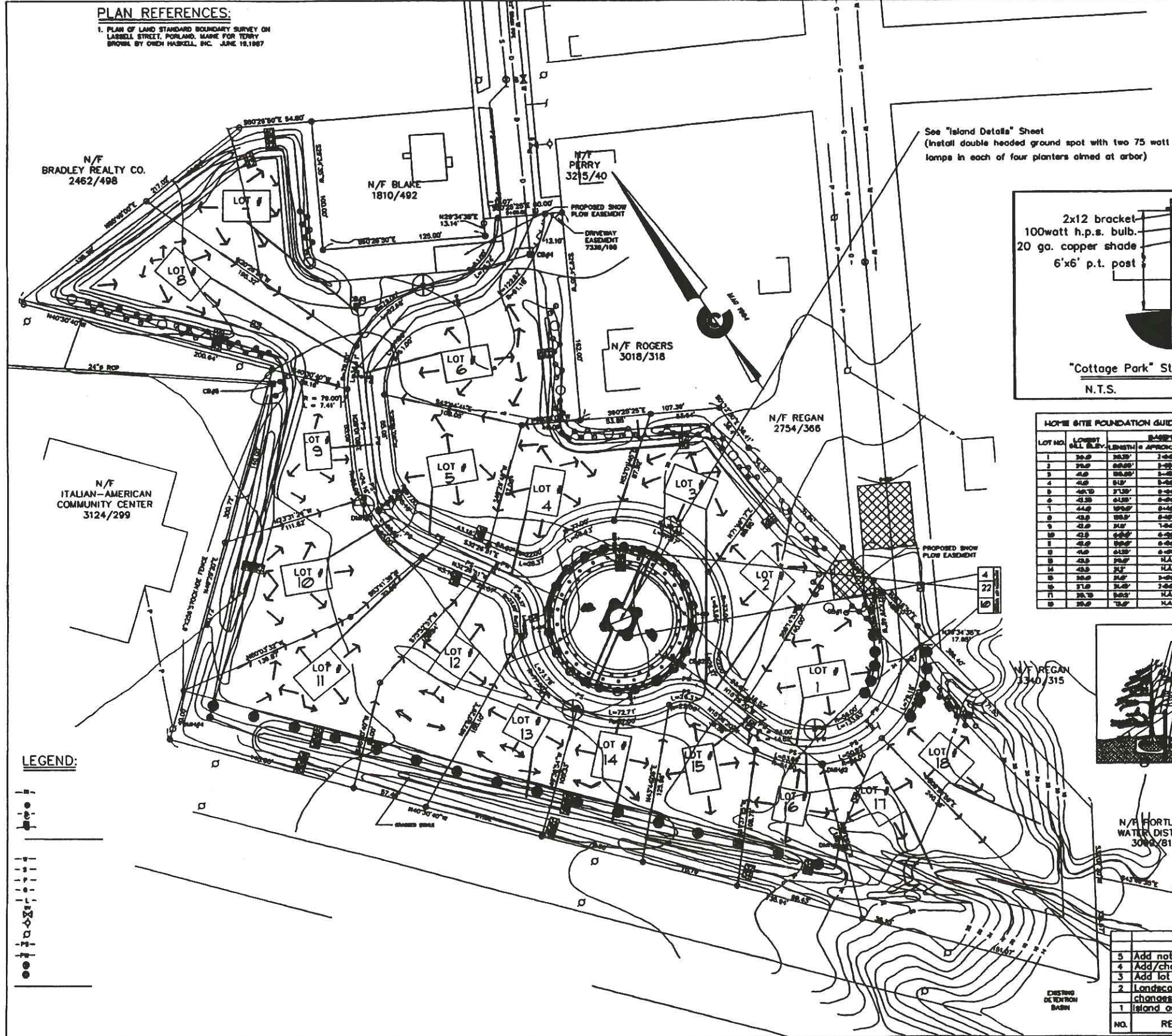


PLAN

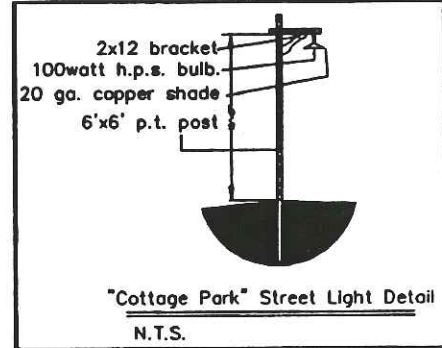
- FLOOD WATER LEVEL
- STANDING WATER LEVEL
- PAVED POND BOTTOM
- LOMBARDY POPLAR (POPULUS NIGRA ITALICA)
- 3' WIDE CONC. SIDEWALK
- ROCK ISLAND
- CEDAR DECK
- 6'X6' PLANTER
- 6' WIDE BRIDGE
- 1'X1' CONC. POST
- 3'-6" RAILING
- FRAGRANT CRAB (MALUS CORONARIA)
- RUGOSA ROSE (ROSA RUGOSA)

**PLAN REFERENCES:**

1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LABELL STREET, PORTLAND, MAINE FOR TERRY BROOK BY OREN HASKELL, INC. JUNE 19, 1967



See "Island Details" Sheet  
(Install double headed ground spot with two 75 watt lamps in each of four planters aimed at arbor)



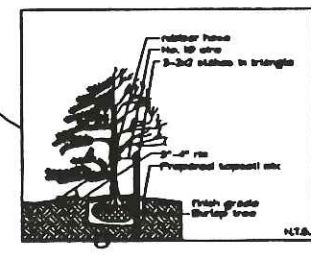
**HOME SITE FOUNDATION GUIDELINE SCHEDULE**

LOT NO.	LOWEST GILL ELEV.	LENGTH	BASEMENT DRAIN PIPE APPROXIMATE STA. DATE/ITE. ELEV.
1	38.0	38.0	2-00 N.A.
2	38.0	38.0	2-00 N.A.
3	40.0	38.0	2-00 N.A.
4	40.0	38.0	2-00 N.A.
5	40.0	38.0	2-00 N.A.
6	40.0	38.0	2-00 N.A.
7	40.0	38.0	2-00 N.A.
8	40.0	38.0	2-00 N.A.
9	40.0	38.0	2-00 N.A.
10	40.0	38.0	2-00 N.A.
11	40.0	38.0	2-00 N.A.
12	40.0	38.0	2-00 N.A.
13	40.0	38.0	2-00 N.A.
14	40.0	38.0	2-00 N.A.
15	40.0	38.0	2-00 N.A.
16	40.0	38.0	2-00 N.A.
17	40.0	38.0	2-00 N.A.
18	40.0	38.0	2-00 N.A.

- LEGEND**
- 2- 10'x10'x4" TALL WHITE PICKET FENCE WITH 2"-2 1/2" CAL. BABYLON WEeping WILLOW
  - 1 GAL. ROSA FLGOSA 12' O.C. IN TWO ROWS STAGGERED AS SHOWN
  - 1/2 GAL. ROBA FLGOSA 12' O.C. IN TWO ROWS STAGGERED AS SHOWN
  - ⊕ FRAGRANT CRAB 2-2 1/2" CAL.
  - 3'-4' WHITE PINES
  - 5'-6' HEMLOCK 20' O.C. IN TWO ROWS STAGGERED AS SHOWN
  - 2"-2 1/2" CAL. BABYLON WEeping WILLOW
  - ⊕ STREET LAMP
  - ← ARROW INDICATING GENERAL DIRECTION OF SURFACE STORM WATER. ACTUAL GRADING TO BE DETERMINED BY BUILDING THEN DESIGNED AND SUBMITTED FOR BUILDING PERMIT.
  - SHAPE TO INDICATE BUILDING ACTUAL SHAPE TO BE DESIGNED AND SUBMITTED FOR BUILDING PERMIT
  - ARROW INDICATING GENERAL DIRECTION OF SURFACE STORM WATER ALONG PROPERTY COMMON LINE

**NOTE:** ALL SINGLE FAMILY HOUSE PLANS AND THEIR ASSOCIATED GRADING AND SEDIMENTATION/EROSION CONTROL PLANS SHALL BE REVIEWED ADMINISTRATIVELY (MINOR-MINOR) BY THE PLANNING OFFICE.

ACTUAL GRADING OF INDIVIDUAL LOTS SHALL COMPLY WITH BILL ELEVATIONS AND FLOW DIRECTIONS AS SHOWN ON THIS PLAN AND SHALL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.



**LEGEND:**



**REVISIONS**

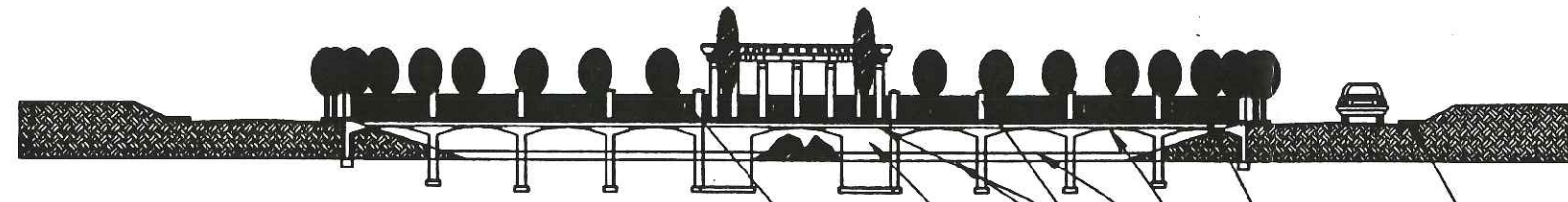
NO.	REVISIONS	INT.	DATE
5	Add notes		10/1/98
4	Add/change plant mat'l.		10/1/98
3	Add lot grading		9/18/98
2	Landscaping and fence changes		9/18/98
1	Island and road changes		8/30/98

**LANDSCAPING AND LOT GRADING**

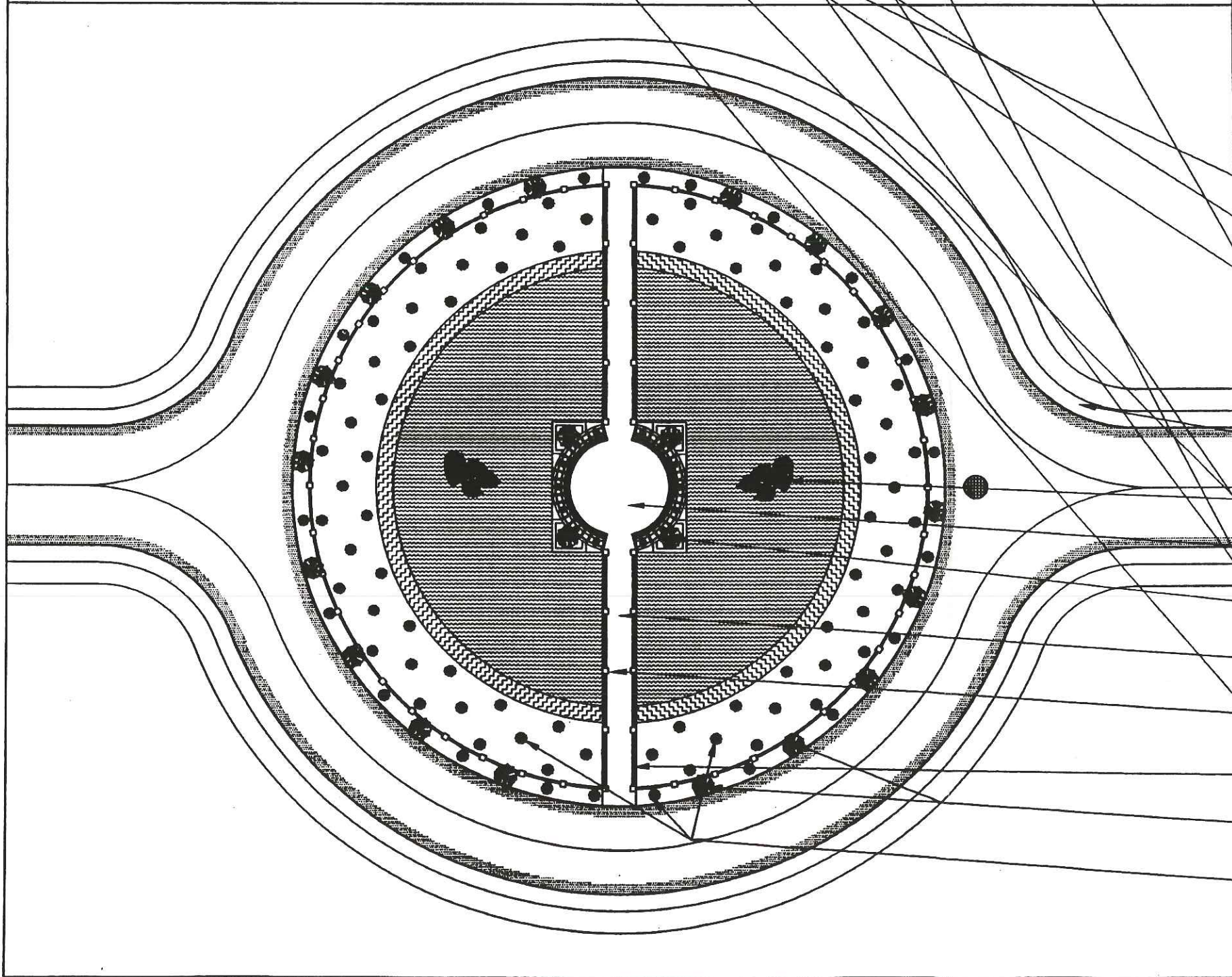
**Cottage Design Company**

By Summer Plans  
Project  
DATE 08/00  
ESP-200-2000

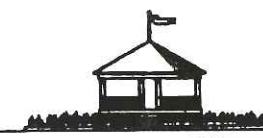
DRAWN	SCALE 1"=40'	DATE
CALC.	APPROVED	
N.B. #	SHEET 6 OF 7	



SECTION



PLAN



The Cottage Design Company

Fore River Place

ISLAND DETAILS



- FLOOD WATER LEVEL
- STANDING WATER LEVEL
- PAVED POND BOTTOM
- LOMBARDY POPLAR (POPULUS NIGRA ITALICA)
- 3' WIDE CONC. SIDEWALK
- ROCK ISLAND
- CEDAR DECK
- 6'X6' PLANTER
- 6' WIDE BRIDGE
- 1'X1' CONC. POST
- 3'-6" RAILING
- FRAGRANT CRAB (MALUS CORONARIA)
- RUGOSA ROSE (ROSA RUGOSA)



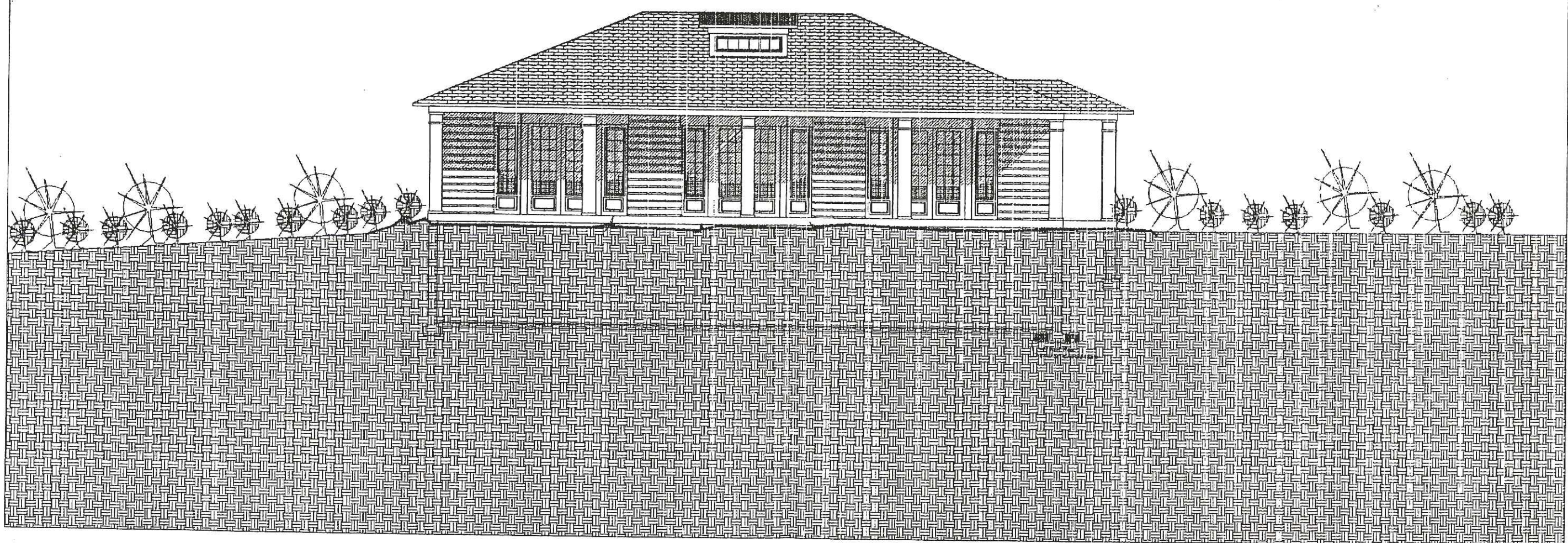
Attachment B/h



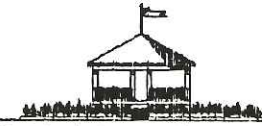
The Cottage Design Company

PLAN = BUNGALOW 03

SCALE: 1/8" = 1'-0"



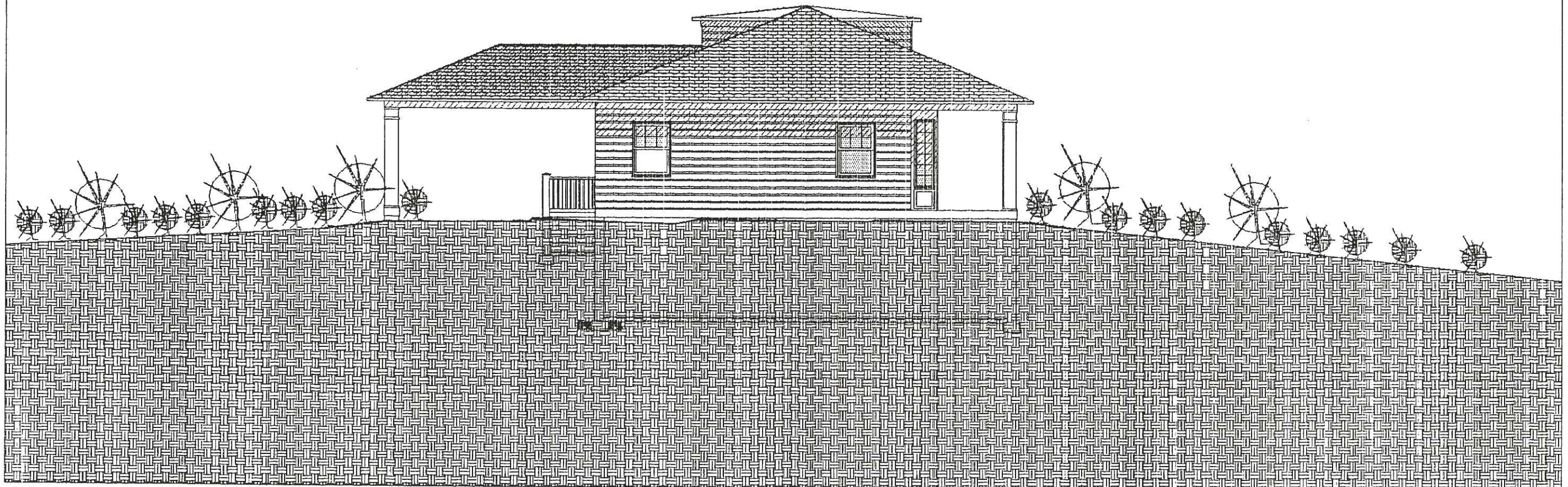
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The Cottage Design Company

PLAN - BUNGALOW 03

SCALE: 1/8" = 1'-0"



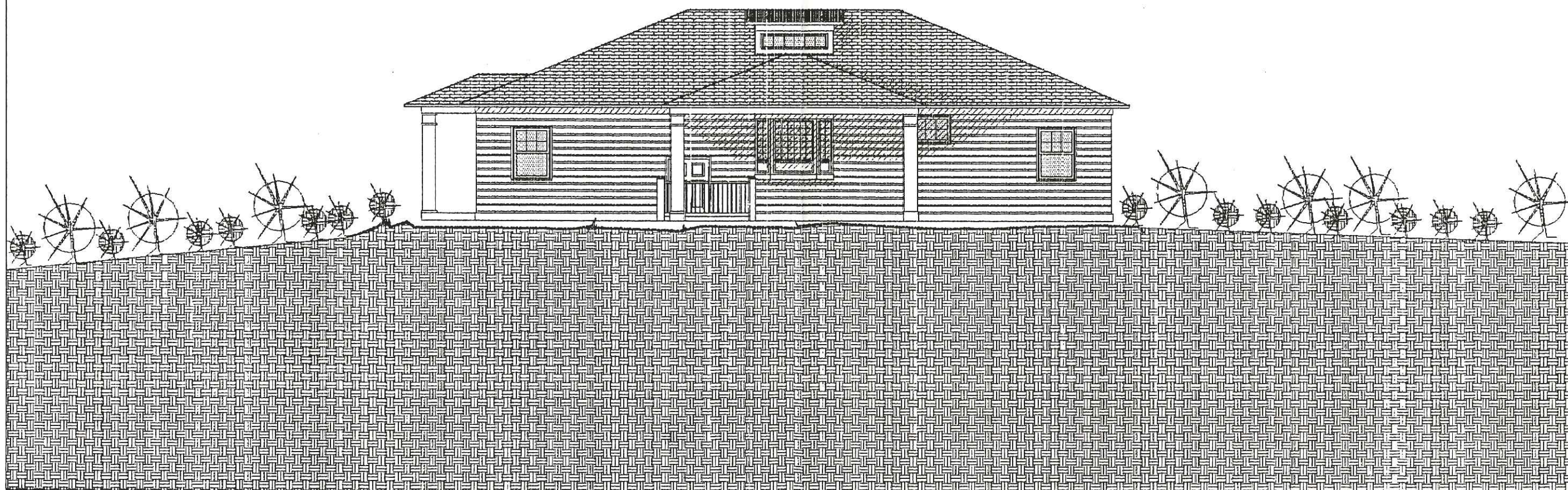
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The Cottage Design Company

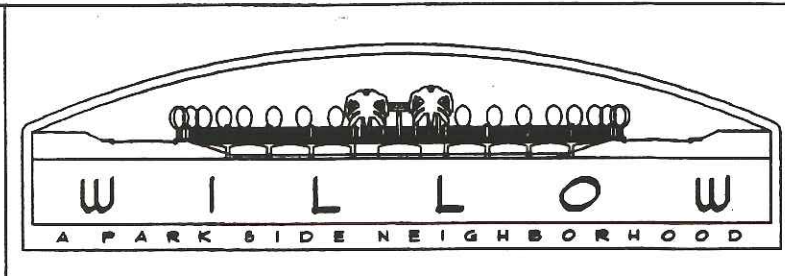
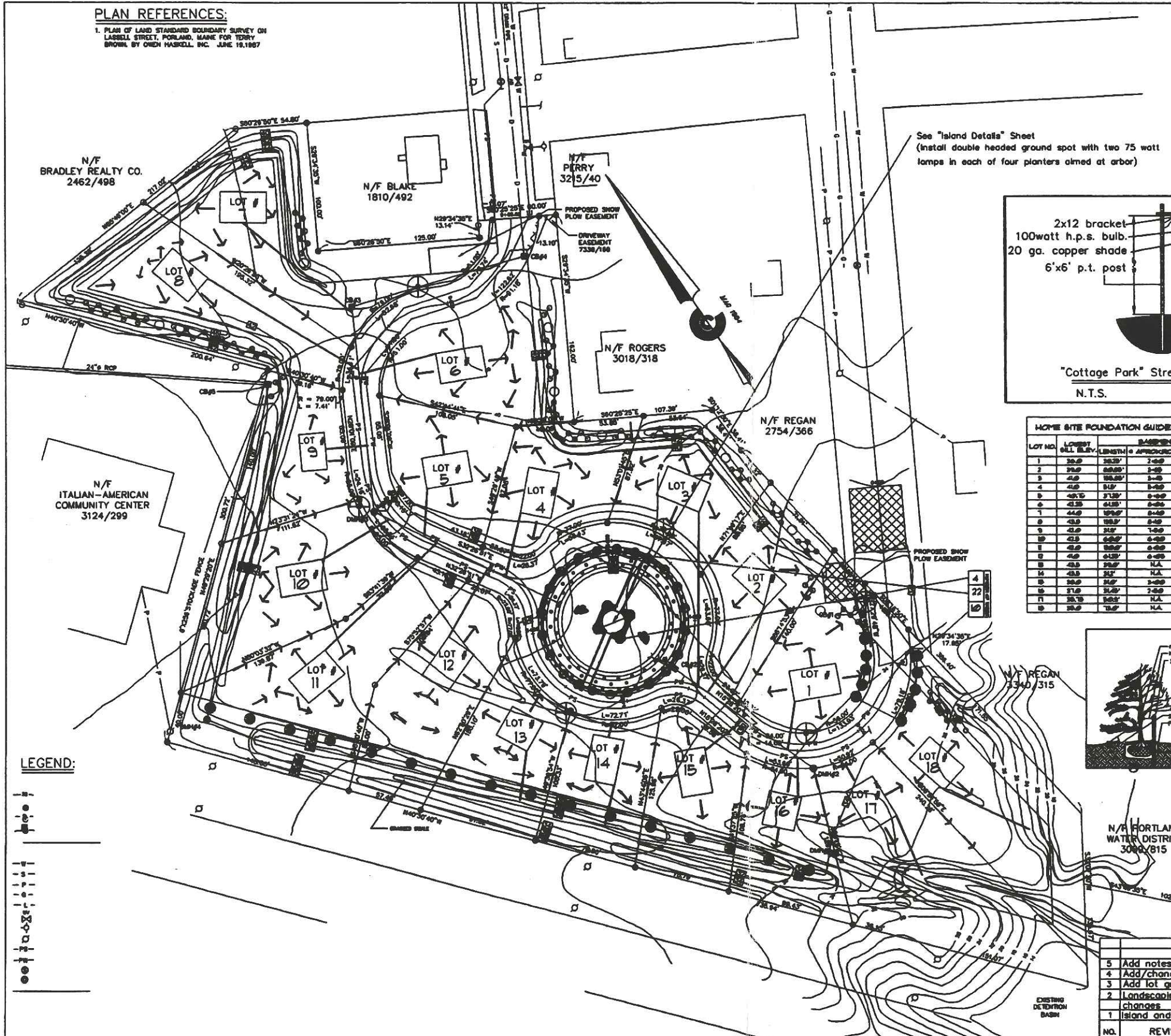
PLAN = BUNGALOW 03

SCALE: 1/8" = 1'-0"

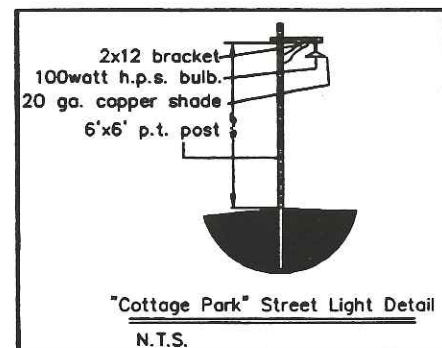


**PLAN REFERENCES:**

1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSBELL STREET, PORTLAND, MAINE FOR TERRY BROWN BY OWEN HASKELL, INC. JUNE 19, 1987



See "Island Details" Sheet  
(Install double headed ground spot with two 75 watt lamps in each of four planters aimed at arbor)



**HOPE SITE FOUNDATION GUIDELINE SCHEDULE**

LOT NO.	LOWEST BILL ELEV.	LENGTH @ APPROX. ROAD STADY STATE ELEV.	BASEMENT DRAIN PIPE	APPROX. ROAD STADY STATE ELEV.
1	30.0	30.0'	1-00	N.A.
2	30.0	30.0'	1-00	N.A.
3	4.0	30.0'	1-00	N.A.
4	4.0	31.0'	1-00	N.A.
5	4.0	31.0'	1-00	N.A.
6	4.0	31.0'	1-00	N.A.
7	4.0	31.0'	1-00	N.A.
8	4.0	31.0'	1-00	N.A.
9	4.0	31.0'	1-00	N.A.
10	4.0	31.0'	1-00	N.A.
11	4.0	31.0'	1-00	N.A.
12	4.0	31.0'	1-00	N.A.
13	4.0	31.0'	1-00	N.A.
14	4.0	31.0'	1-00	N.A.
15	4.0	31.0'	1-00	N.A.
16	4.0	31.0'	1-00	N.A.
17	4.0	31.0'	1-00	N.A.
18	4.0	31.0'	1-00	N.A.

**LEGEND**

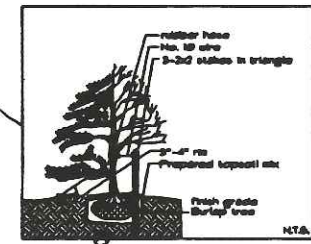
- 2- 10'x10'x4" TALL WHITE PICKET FENCE WITH 2"-2 1/2" CAL. BABYLON WEeping WILLOW
- 1 GAL. ROSA RUBOSA 12' O.C. IN TWO ROWS STAGGERED AS SHOWN
- 1/2 GAL. ROSA RUBOSA 12' O.C. IN TWO ROWS STAGGERED AS SHOWN
- FRAGRANT CRAB 2-2 1/2" CAL.
- 3'-4' WHITE PINES
- 5'-6' HEMLOCK 20' O.C. IN TWO ROWS STAGGERED AS SHOWN
- 2"-2 1/2" CAL. BABYLON WEeping WILLOW
- ⊕ STREET LAMP
- ← ARROW INDICATING GENERAL DIRECTION OF SURFACE STORM WATER. ACTUAL GRADING TO BE DETERMINED BY BUILDING THEN DESIGNED AND SUBMITTED FOR BUILDING PERMIT.
- SHAPE TO INDICATE BUILDING. ACTUAL SHAPE TO BE DESIGNED AND SUBMITTED FOR BUILDING PERMIT
- ARROW INDICATING GENERAL DIRECTION OF SURFACE STORM WATER ALONG PROPERTY COMMON LINE.

**NOTE:** ALL SINGLE FAMILY HOUSE PLANS AND THEIR ASSOCIATED GRADING AND SEDIMENTATION/EROSION CONTROL PLANS SHALL BE REVIEWED ADMINISTRATIVELY (MINOR-MINOR) BY THE PLANNING OFFICE.

ACTUAL GRADING OF INDIVIDUAL LOTS SHALL COMPLY WITH BILL ELEVATIONS AND FLOW DIRECTIONS AS SHOWN ON THIS PLAN AND SHALL BE IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN.



**LEGEND:**



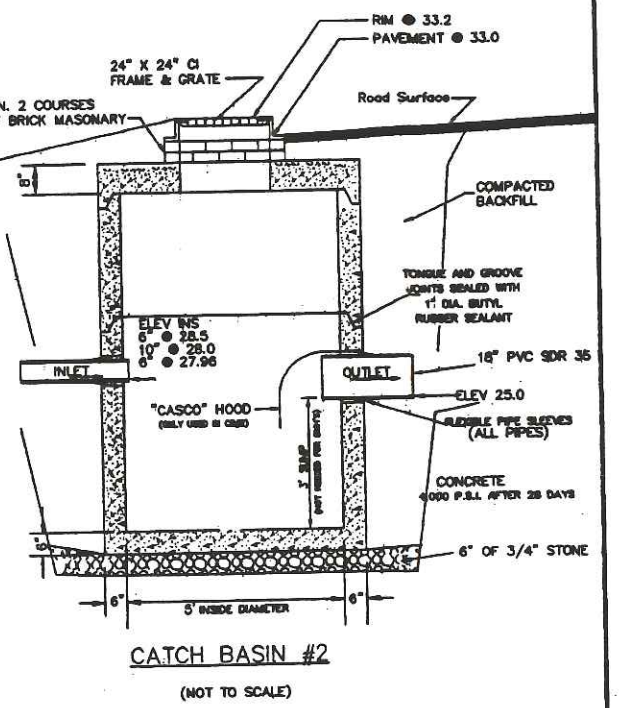
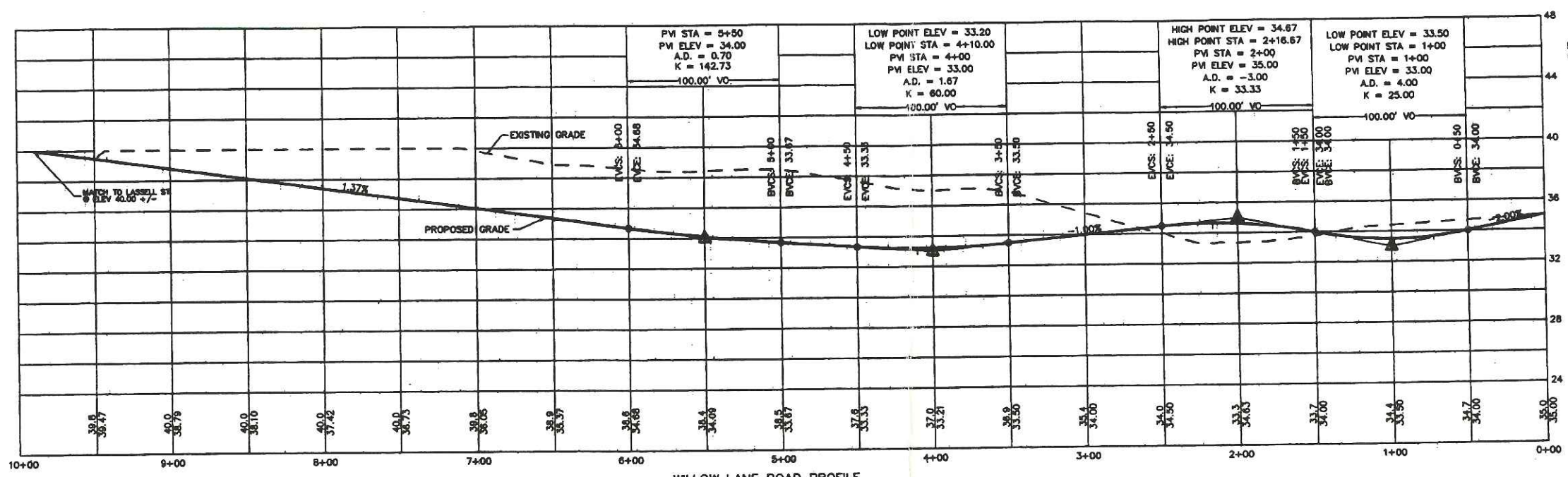
**LANDSCAPING AND LOT GRADING**

NO.	REVISIONS	INT.	DATE
5	Add notes		10/1/96
4	Add/change plant mat'l.		10/1/96
3	Add lot grading		9/16/96
2	Landscaping and fence changes		9/16/96
1	Island and road changes		8/30/96

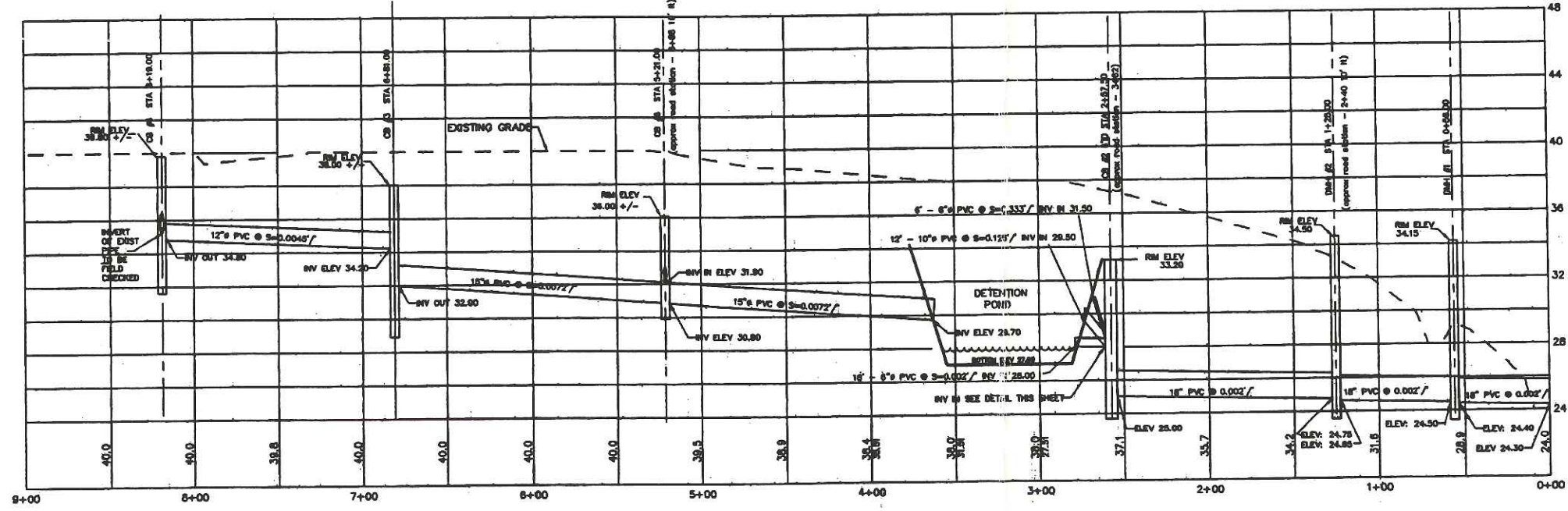
**Cottage Design Company**

Dr. Planner Plans  
Landscape and Lighting Plans  
as shown on plans by  
C.D. Construction.

DRAWN	SCALE 1"=40'	DATE
CALC.	APPROVED	
N.B. #	SHEET 6 OF 7	



NOTE:  
PROFILE STATIONING FOR DRAINAGE PROFILE IS NOT THE SAME AS STATIONING FOR ROAD PROFILE



- CONSTRUCTION NOTES:**
- CATCHBASINS AND DRAIN MANHOLES SHALL BE 4' ID UNLESS NOTED OTHERWISE.
  - CATCHBASINS #2 & #3 & DRAIN MANHOLE #4 SHALL BE 5' ID.
  - ALL STRUCTURES SHALL BE PRECAST UNLESS NOTED OTHERWISE.
  - ALL CATCHBASINS SHALL HAVE 3' SUMPS.
  - BASIC CONSTRUCTION OF ALL CATCHBASINS AND DRAIN MANHOLES TO BE AS SHOWN ON DETAIL FOR CB#2 (THIS SHEET).

NOTE:  
PROFILE STATIONING FOR DRAINAGE PROFILE IS NOT THE SAME AS STATIONING FOR ROAD PROFILE.

**RESTORATION PLAN**

- Equally important with erosion and sedimentation control is ground cover restoration. As soon as an area has been brought to final grade, restoration efforts will begin. All disturbed areas will be permanently stabilized immediately after construction. Restoration efforts will employ all methods available. INITIAL RESTORATION WILL CONSIST OF THE FOLLOWING:
- THE AREA SHALL BE GRADED TO FINISH SHAPE (NOT > 2:1 EXCEPT WHERE LEDGE IS ENCOUNTERED 2:1 WILL BE ALLOWED).
  - TOPSOIL FROM THE STOCKPILE SHALL BE SPREAD UNIFORMLY (4" DEPTH) AND TREATED WITH LIME AND FERTILIZER PRIOR TO SEEDING.  
LIME - 3 tons/acre  
FERTILIZER (10-30-20) - 600 lbs/acre
  - SEED TO BE ONE OF THE FOLLOWING MIXTURES. SEED MIXTURE WILL BE APPLIED AT THE RATES AND COMPOSITION SHOWN:  

A) CREEPING RED FESCUE	200/acre
REDFEST	25/acre
TALL FESCUE	25/acre
TOTAL	425/acre
B) REED CANARY GRASS	200/acre
REDFEST	25/acre
TOTAL	225/acre
C) REED CANARY GRASS	150/acre
REDFEST	25/acre
BROODFOOT TRIFOLIUM	100/acre
TOTAL	275/acre
  - MULCH HAY WILL BE INSTALLED AT A RATE OF 1-2 tons/acre ANCHORED WITH 750 LB WOOD PILES/acre OR 40 LB TERRAZOL 1/acre OR 60 LB ANTIMONY 20/acre. A STRAW-MANURE MIXTURE APPLIED AT A RATE OF 20 tons/acre MAY BE USED AND REQUIRES NO ANCHORING.
  - THE ABOVE PROCEDURE WILL BE APPLICABLE IF FINAL GRADING IS ACHIEVED DURING THE GROWING SEASON (LOSS OF SNOW TO 6/15 AND 8/30 TO 10/15). IF FINAL GRADING IS ACHIEVED BETWEEN 10/15 AND 11/1, SEEDING WILL BE DELAYED UNTIL 11/1. AFTER 11/1 AND BEFORE A SNOW COVER FORMS, THE ABOVE PROCEDURE WILL BE FOLLOWED EXCEPT THAT THE SEEDING RATE WILL BE DOUBLED. AFTER SNOW COVER FORMS, SEEDING WILL BE DELAYED UNTIL LOSS OF SNOW. HAY MULCH WILL BE APPLIED AND ANCHORED TO PROVIDE PROTECTION UNTIL SPRING.
  - INSPECTIONS WILL BE CONDUCTED AS OUTLINED IN THE EROSION AND SEDIMENT CONTROL PRACTICES.
- THE GOAL OF RESTORATION IS TO STABILIZE GROUND SLOPES. IN AREAS OTHER THAN LAWNS, ALTERNATIVE PLANT COVERS, SUCH AS THOSE RECOMMENDED BY THE ARMY CORPS OF ENGINEERS THROUGH THE COLD REGIONS LABORATORY, ARE ENCOURAGED.



**Profiles & Construction Details**  
**Fore River Place**  
Lassell & Milton Streets

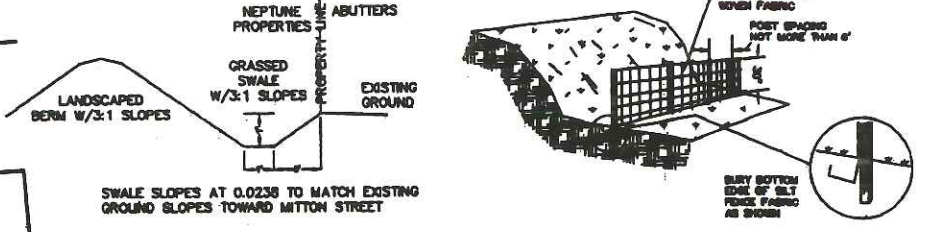
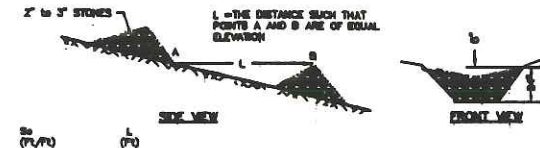
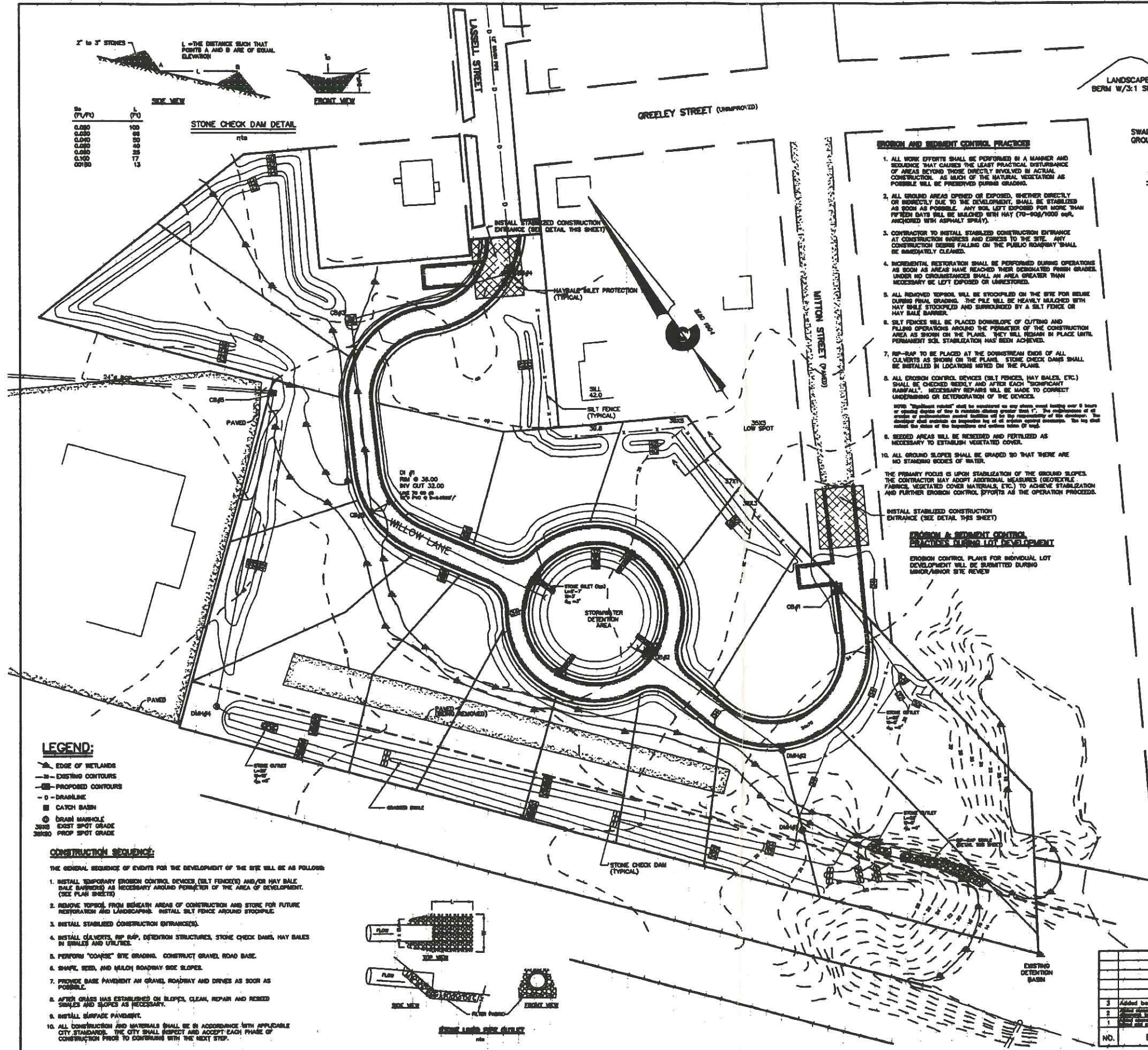
Owner/Developer  
NEPTUNE PROPERTIES  
120 Exchange Street  
Portland, Maine 04101

**CIVIL CONSULTANTS**  
P.A. 001 101  
200 WEST STREET  
PORTLAND, MAINE 04101  
503-877-0000

3	Added info to Catch Basin #2 detail	2 OCT 98
2	Added info to Catch Basin #2 detail	23 SEP 98
1	Added info to Catch Basin #2 detail	22 AUG 98

DRAWN	GOC, JES	SCALE	HORIZ 1"=40'	VERT 1"=4'	DATE	06 Aug 98
CALC.	GOC, JES	APPROVED				OCT 08 1998
SHEET	5 OF 5					98-444

Bd



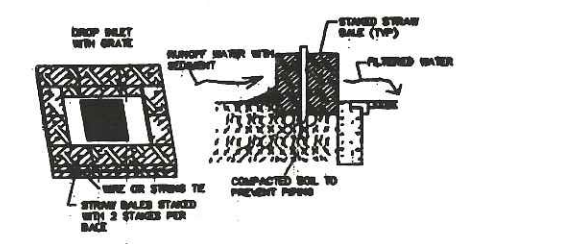
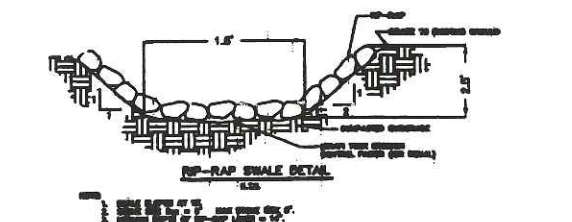
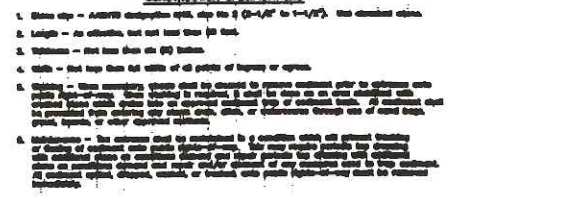
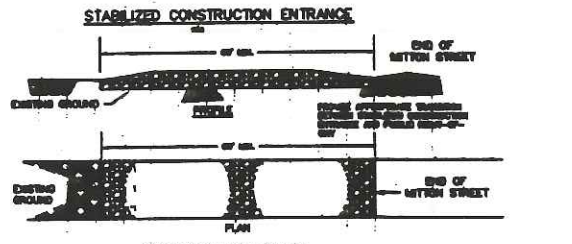
**EROSION AND SEDIMENT CONTROL PRACTICES**

1. ALL WORK EFFORTS SHALL BE PERFORMED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF AREAS BEYOND THOSE DIRECTLY INVOLVED IN ACTUAL CONSTRUCTION. AS MUCH OF THE NATURAL VEGETATION AS POSSIBLE WILL BE PRESERVED DURING GRADING.
2. ALL BOUNDARY AREAS EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE STABILIZED AS SOON AS POSSIBLE. ANY SOIL LEFT EXPOSED FOR MORE THAN FRESH DAYS WILL BE COVERED WITH HAY (70-90%/1000 CWT, ANCHORED WITH ASPHALT SPRAY).
3. CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE AND EXITS TO THE SITE. ANY CONSTRUCTION DEVICES FALLING ON THE PUBLIC ROADWAY SHALL BE IMMEDIATELY CLEANED.
4. INCIDENTAL RESTORATION SHALL BE PERFORMED DURING OPERATIONS AS SOON AS AREAS HAVE REACHED THEIR DESIGNATED FRESH GRADES. UNDER NO CIRCUMSTANCES SHALL AN AREA GREATER THAN NECESSARY BE LEFT EXPOSED OR UNRESTORED.
5. ALL REMOVED TOPSOIL WILL BE STOCKPILED ON THE SITE FOR REUSE DURING FINAL GRADING. THE PILE WILL BE HEAVILY MULCHED WITH HAY BALE STOCKPILED AND SURROUNDED BY A SILT FENCE OR HAY BALE BARRIER.
6. SILT FENCES WILL BE PLACED DOWN-SLOPE OF CUTTING AND FILLED OPERATIONS AROUND THE PERIMETER OF THE CONSTRUCTION AREA AS SHOWN ON THE PLANS. THEY WILL REMAIN IN PLACE UNTIL PERMANENT SOIL STABILIZATION HAS BEEN ACHIEVED.
7. RP-RAP TO BE PLACED AT THE DOWNSTREAM ENDS OF ALL CULVERTS AS SHOWN ON THE PLANS. STONE CHECK DAMS SHALL BE INSTALLED IN LOCATIONS NOTED ON THE PLANS.
8. ALL EROSION CONTROL DEVICES (SILT FENCES, HAY BALES, ETC.) SHALL BE CHECKED REGULARLY AND AFTER EACH "SIGNIFICANT RAINFALL". NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DEGRADATION OF THE DEVICES.
9. SEEDING AREAS WILL BE NEEDED AND FERTILIZED AS NECESSARY TO ESTABLISH VEGETATED COVER.
10. ALL GROUND SLOPES SHALL BE GRADED SO THAT THERE ARE NO STANDING BODIES OF WATER.

THE PRIMARY FOCUS IS UPON STABILIZATION OF THE GROUND SLOPES. THE CONTRACTOR MAY ADOPT ADDITIONAL MEASURES (GEOTEXTILE FABRICS, VEGETATED COVER MATERIALS, ETC.) TO ACHIEVE STABILIZATION AND FURTHER EROSION CONTROL EFFORTS AS THE OPERATION PROCEEDS.

**EROSION & SEDIMENT CONTROL PRACTICES DURING LOT DEVELOPMENT**

EROSION CONTROL PLANS FOR INDIVIDUAL LOT DEVELOPMENT WILL BE SUBMITTED DURING MAJOR/ANNUAL SITE REVIEW.



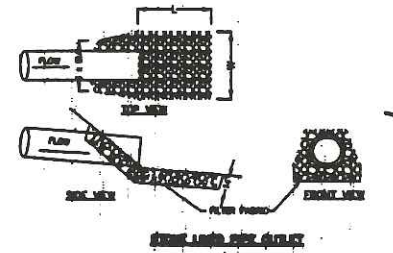
**LEGEND:**

- EDGE OF WETLANDS
- - - EXISTING CONTOURS
- - - PROPOSED CONTOURS
- - - DRAINAGE
- CATCH BASIN
- DRAIN MANHOLE
- EXIST SPOT GRADE
- PROP SPOT GRADE

**CONSTRUCTION SEQUENCE:**

THE GENERAL SEQUENCE OF EVENTS FOR THE DEVELOPMENT OF THE SITE WILL BE AS FOLLOWS:

1. INSTALL TEMPORARY EROSION CONTROL DEVICES (SILT FENCES) AND/OR HAY BALE BARRIERS AS NECESSARY AROUND PERIMETER OF THE AREA OF DEVELOPMENT. (SEE PLAN SHEETS)
2. REMOVE TOPSOIL FROM BEHIND AREAS OF CONSTRUCTION AND STORE FOR FUTURE REUSE AND LANDSCAPING. INSTALL SILT FENCE AROUND STOCKPILE.
3. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
4. INSTALL CULVERTS, RP-RAP, DETENTION STRUCTURES, STONE CHECK DAMS, HAY BALES IN SWALES AND UTILITIES.
5. PERFORM "CONCRETE" SITE GRADING. CONSTRUCT GRAVEL ROAD BASE.
6. SHAPE, SEED, AND MULCH ROADWAY SIDE SLOPES.
7. PROVIDE BASE PAVEMENT ON GRAVEL ROADWAY AND DRIVES AS SOON AS POSSIBLE.
8. AFTER GRASS HAS ESTABLISHED ON SLOPES, CLEAN, REPAIR AND RESEED SWALES AND SLOPES AS NECESSARY.
9. INSTALL SURFACE PAVEMENT.
10. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE CITY STANDARDS. THE CITY SHALL INSPECT AND ACCEPT EACH PHASE OF CONSTRUCTION PRIOR TO CONTINUING WITH THE NEXT STEP.



NO.	REVISIONS	INT.	DATE
3	Add berm/angle detail A-A		2 OCT 88
2	Revised stone, straw, hay, and RP-RAP		23 SEP 88
1	Revised stone, straw, hay, and RP-RAP		22 AUG 88

**Drainage & Erosion Control**

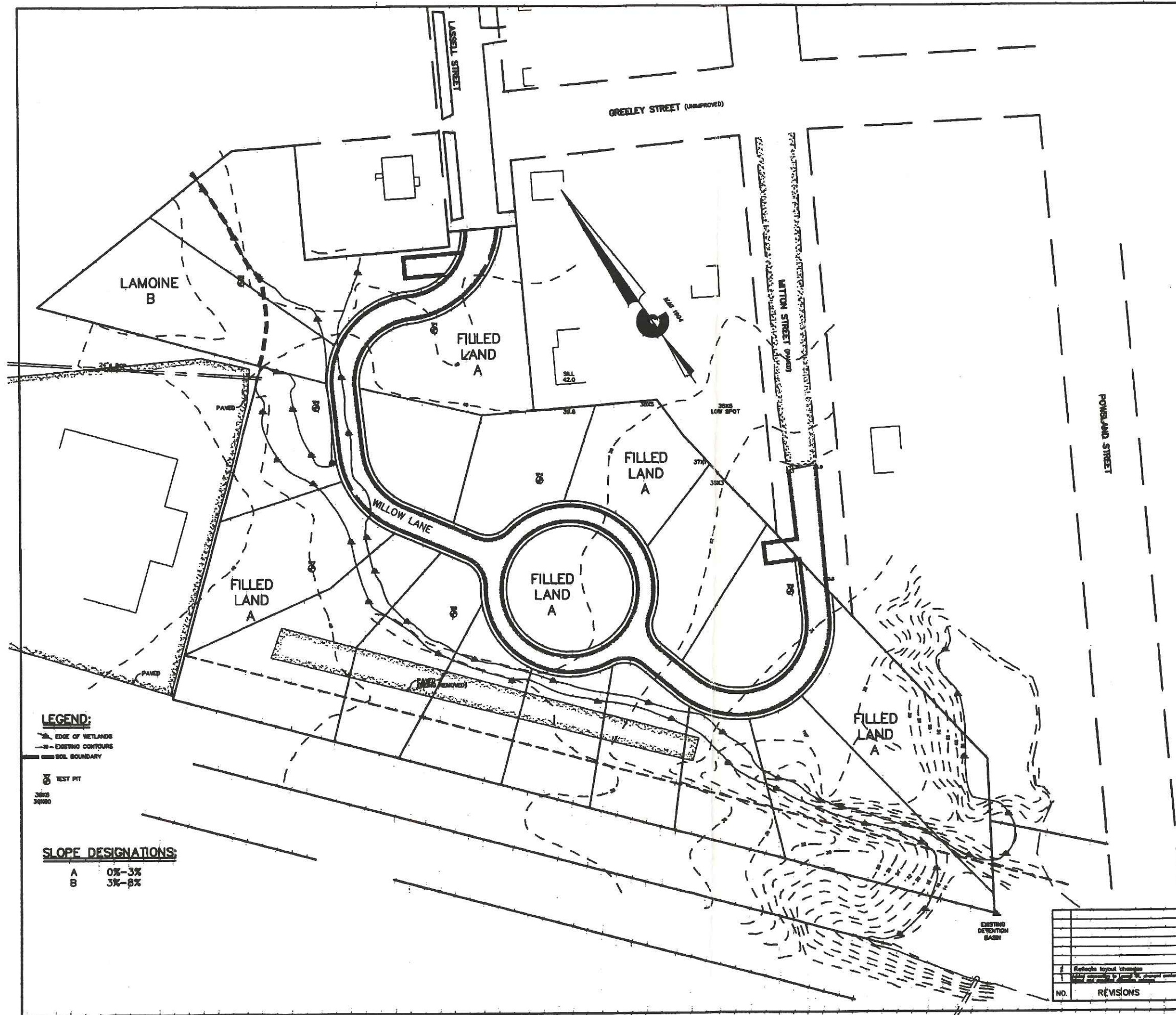
## Fore River Place

Lassell & Mitton Streets

Owner/Developer  
NEPTUNE PROPERTIES  
120 Exchange Street  
Portland, Maine 04101

**CIVIL CONSULTANTS**

DRAIN: GDC, JES	SCALE: 1"=40'	DATE: 06 Aug 88
CALL: GDC, JES	APPROVED:	OCT 03 1988
N.B. #	SHEET 4 OF 5	98-444



**NOTES:**  
 1. TEST PITS, SOILS & WETLANDS DELINEATIONS PERFORMED BY ALBERT FRICK ASSOCIATES, INC. CORNELL, MAINE AND WERE PROVIDED BY NEPTUNE PROPERTIES.

**LEGEND:**  
 - - - EDGE OF WETLANDS  
 - - - EXISTING CONTOURS  
 - - - SOIL BOUNDARY  
 ⊗ TEST PIT

**SLOPE DESIGNATIONS:**  
 A 0%-3%  
 B 3%-8%



**Soils & Test Pits**  
**Fore River Place**  
 Lamoine & Mitton Streets

Owner/Developer  
 NEPTUNE PROPERTIES  
 120 Exchange Street  
 Portland, Maine 04101

**CIVIL CONSULTANTS**  
P.A. INCORPORATED  
 200 WEST STREET  
 PORTLAND, MAINE 04101  
 207-851-0810

DRAWN GDC, JES	SCALE 1"=40'	DATE 06 Aug 96
CALC. GDC, JES	APPROVED	OCT 03 1996
N.B. #	SHEET 3 OF 5	96-444

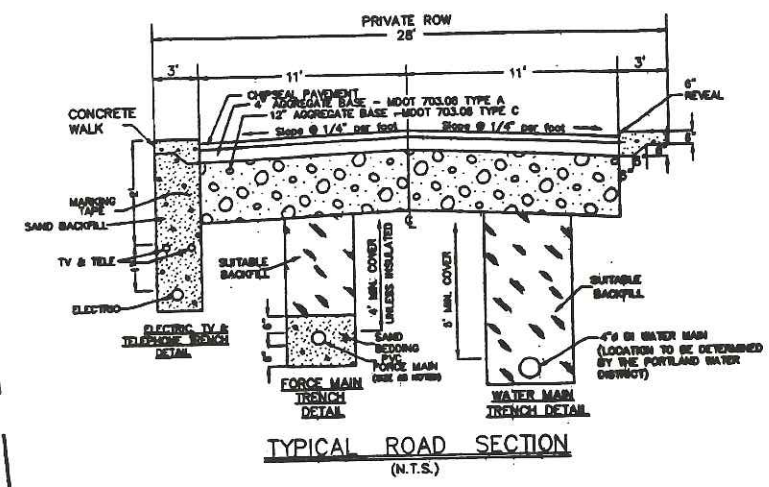
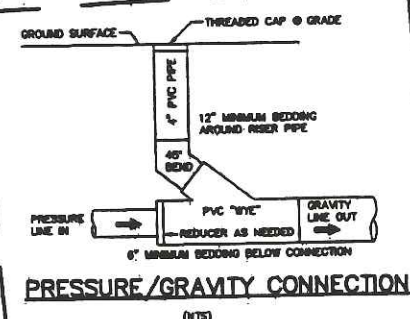
NO.	REVISIONS	INT.	DATE
1	Reflects layout changes		23 SEP 96
2	Revised layout changes		22 AUG 96

**PLAN REFERENCES:**

1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSELL STREET, PORTLAND, MAINE FOR TERRY BROWN, BY OWEN HASKELL, INC. JUNE 18, 1967
2. CITY OF PORTLAND - ENGINEERING PLAN FOR IMPROVEMENTS TO LASSELL ST. PLAN # 924/9

**BENCHMARK:**  
P.C. B.M. IN POLE J-4  
LASSELL ST. ELEV. 43.08  
BASED ON CITY DATUM

**PRESSURE/GRAVITY CONNECTION**  
(see detail)

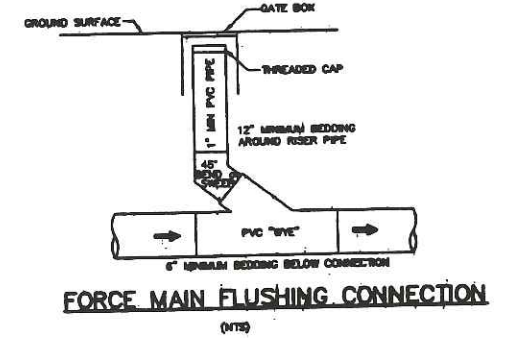


**NOTES:**

1. INDIVIDUAL SERVICE LINES (WATER & SEWER) SHALL BE EXTENDED ONTO EACH LOT.
2. LOCATION OF EXISTING UTILITIES TAKEN FROM REFERENCE PLANS AND ARE APPROXIMATE. ACTUAL LOCATIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CALL DIG-SAFE @ 1-800-225-6877.
3. TOPOGRAPHIC INFORMATION (INCLUDING BENCHMARK) PROVIDED BY NEPTUNE PROPERTIES, INC. (SEE REF. PLAN 1).
4. ADDITIONAL DETAILS OF STORMWATER STRUCTURES ARE SHOWN ON SHEETS 4 & 5 OF 5.
5. HORIZONTAL & VERTICAL CLEARANCES BETWEEN WATER & SEWER LINES, AS WELL AS CONSTRUCTION METHODS SHALL MEET ALL STATE AND LOCAL REQUIREMENTS.

**HORIZONTAL CURVE DATA**

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
CURVE #1	70.00'	164.87'	168.79'	129.32'	N82°56'52" W	134°57'08"
CURVE #2	38.00'	43.15'	24.50'	40.61'	S18°01'58" W	88°40'35"
CURVE #3	63.00'	169.89'	278.49'	122.85'	N23°57'35" W	154°19'41"
CURVE #4	38.00'	43.15'	24.50'	40.61'	N68°47'08" W	68°40'35"
CURVE #5	71.00'	74.93'	41.38'	71.50'	N67°12'51" W	80°22'00"
CURVE #6	68.00'	102.44'	65.34'	92.16'	N73°10'04" E	90°17'51"
CURVE #7	65.00'	98.42'	61.42'	89.29'	N74°58'18" E	88°18'24"
CURVE #8	38.00'	43.15'	24.50'	40.61'	N01°53'28" E	68°40'35"
CURVE #9	63.00'	132.38'	100.95'	109.33'	S23°37'35" E	120°22'38"
CURVE #10	38.00'	43.15'	24.50'	40.61'	S48°28'37" E	68°40'35"



**Site Development Plan  
Fore River Place  
Lassell & Mitton Streets**

Owner/Developer  
**NEPTUNE PROPERTIES**  
120 Exchange Street  
Portland, Maine 04101



DATE 06 Aug 98  
SCALE 1"=40'  
APPROVED  
OCT 03 1998  
SHEET 2 OF 5  
98-444

NO.	REVISIONS	INT.	DATE
3	Check by owner on 10/10/98		2 OCT 98
2	Check by owner on 9/23/98		23 SEP 98
1	Check by owner on 9/22/98		22 AUG 98

- LEGEND:**
- ▲ EDGE OF WETLANDS
  - - - EXISTING CONTOURS
  - - - PROPOSED CONTOURS
  - - - DRAINAGE
  - CATCH BASIN

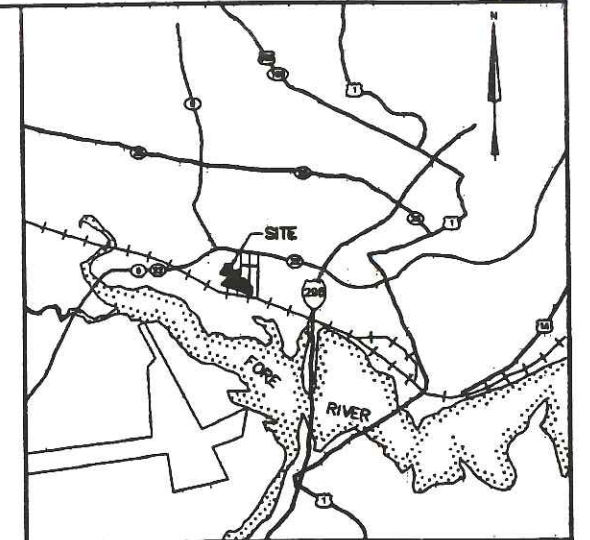
- 3880 EXIST SPOT GRADE
- 3880 PROPOSED SPOT GRADE
- W WATERLINE
- S SEWERLINE
- P POWERLINE
- G GASLINE
- L DRAIN
- WV WATER VALVE
- PH EXISTING FIRE HYDRANT
- UP UTILITY POLE
- PS PROPOSED SEWER
- PW PROPOSED WATER
- SM SEWER MANHOLE
- WM WATER MANHOLE

**NOTES:** IT SHALL BE THE RESPONSIBILITY OF THE USER OF THIS PLAN TO VERIFY THAT THE INFORMATION IS TRUE, IS NOT SUBJECT TO CHANGE, AND IS NOT SUBJECT TO ANY OTHER RIGHTS OR INTERESTS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



**PLAN REFERENCES:**

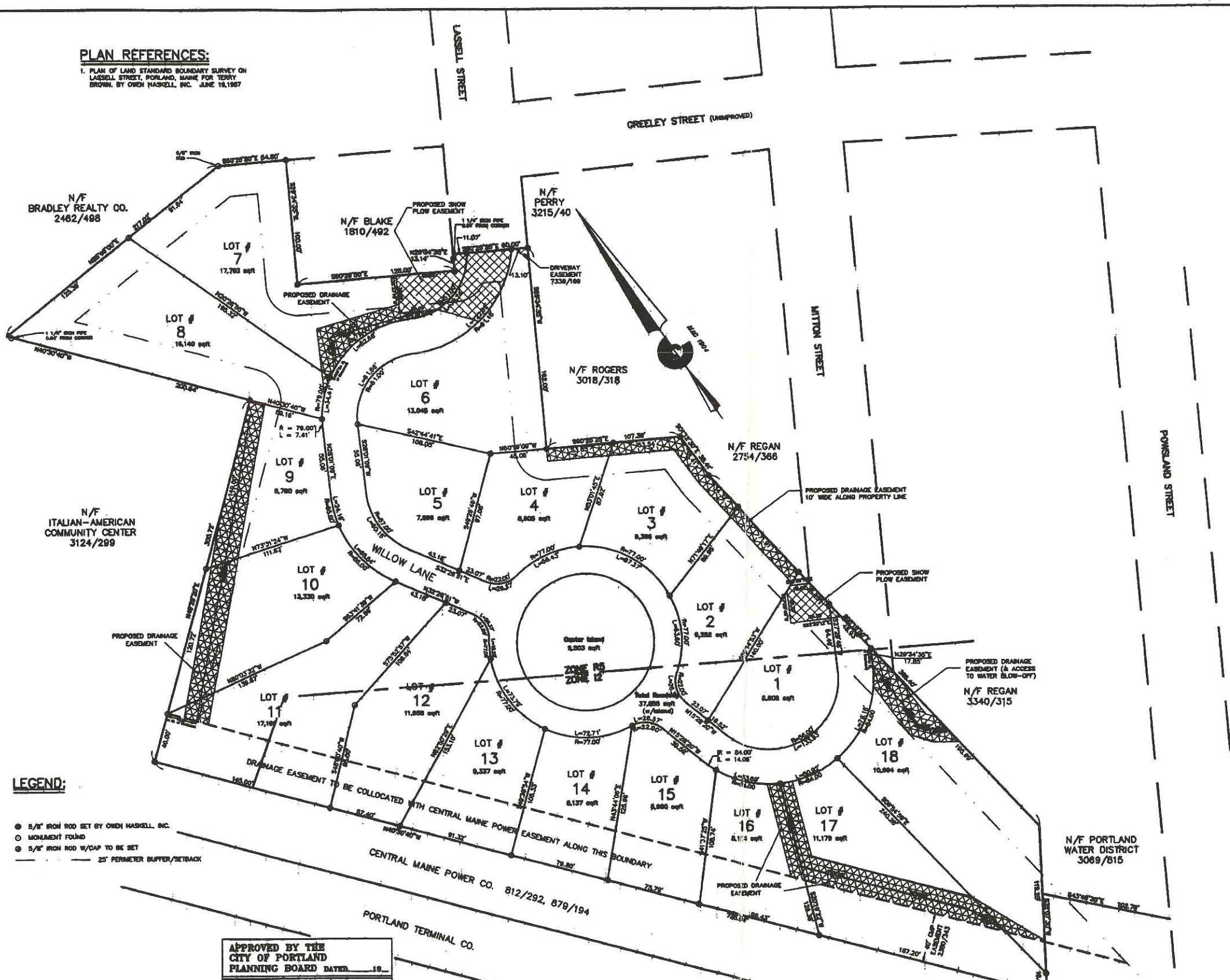
1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSELL STREET, PORTLAND, MAINE FOR TERRY BROWN, BY OWEN HASKELL, INC. JUNE 18, 1987



**LOCATION PLAN**  
NOT TO SCALE

**NOTES:**

- SUBJECT PROPERTY SHOWN ON THE BOUNDARY OF TWO CITY OF PORTLAND TAX MAPS - MAP 180, BLOCK K, LOT 28 AND MAP 181, BLOCK 8, LOT 15.
- PROPERTY IS CURRENTLY ZONED R-3 AND R-2 WITH A REQUEST TO BE CONSIDERED AS ALL RS. PORTIONS OF THE PROPERTY ARE SUBJECT TO THE BORELAND OVERLAY DISTRICT.
- BOUNDARY INFORMATION PROVIDED BY NEPTUNE PROPERTIES, INC., PORTLAND, MAINE INTERIOR LOT BOUNDARIES CALCULATED BY CIVIL CONSULTANTS.
- AREA OF PARCEL TO BE DEVELOPED UNDER THIS PROPOSAL IS 8.75 ACRES.
- RECORD OWNER: NEPTUNE PROPERTIES, INC., 120 EXCHANGE STREET, PORTLAND, MAINE PER DEED RECORDED IN THE CLARION COUNTY REGISTRY OF DEEDS BOOK 12386, PAGE 288 (27 FEB 1988).
- CENTER ISLAND SUBJECT TO PUBLIC ACCESS EASEMENT.
- THE ROADWAY WITHIN THIS PRUD IS PRIVATE AND WILL BE MAINTAINED BY THE "HOMEOWNERS ASSOCIATION", INCLUDING, BUT NOT LIMITED TO, CATCH BASINS AND WALKWAYS WITHIN THE COMMON AREAS.
- MAINTENANCE OF STORM WATER APPURTENANCES OUTSIDE OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.
- TOPOGRAPHIC INFORMATION, PROPOSED DRAINAGE, HORIZONTAL ROADWAY DATA, AND OTHER CONSTRUCTION DATA IS SHOWN ON SHEETS 2 THROUGH 5 OF 5.



**LEGEND:**

- 5/8" IRON ROD SET BY OWEN HASKELL, INC.
- MONUMENT FOUND
- 5/8" IRON ROD W/CAP TO BE SET
- 25' PERIMETER BUFFER/SETBACK

APPROVED BY THE  
CITY OF PORTLAND  
PLANNING BOARD DATED \_\_\_\_\_ 19\_\_

STATE OF MAINE  
CUMBERLAND COUNTY ss. REGISTRY OF DEEDS  
RECEIVED \_\_\_\_\_ 19\_\_  
AT \_\_\_\_\_ h., \_\_\_\_\_ m., \_\_\_\_\_ M., AND RECORDED IN  
PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTER

EXTERIOR BOUNDARY LINES AS SHOWN ARE BASED ON A PREVIOUS SURVEY  
BY OWEN HASKELL, INC. (SEE NOTE 3). USING SAID INFORMATION THE  
INTERIOR LOT BOUNDARIES WERE PREPARED UNDER THE DIRECTION OF  
THOMAS HARMON OF CIVIL CONSULTANTS.



**Lot Configuration Plan**  
**Fore River Place**  
Lassell & Mitton Streets  
Owner/Developer  
NEPTUNE PROPERTIES  
120 Exchange Street  
Portland, Maine 04101

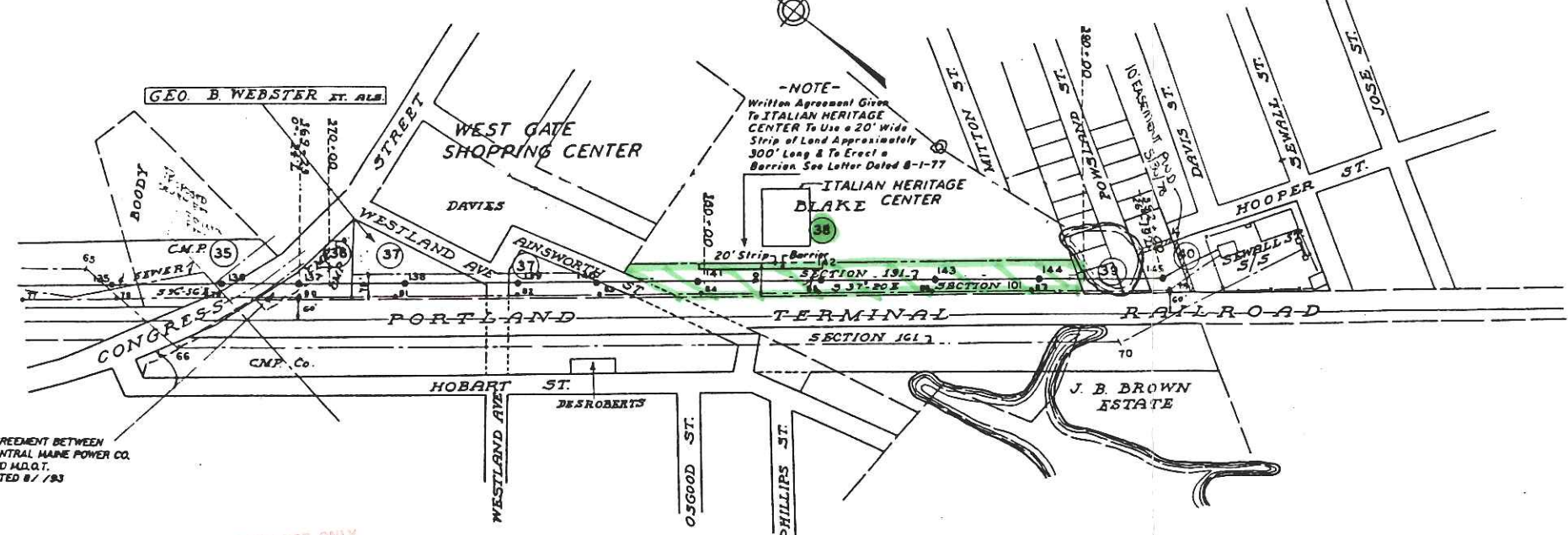
NO.	REVISIONS	INT.	DATE
3	Add more drainage easements		2 OCT 98
2	Final Survey		23 SEP 98
1	Initial Survey & Plan		23 AUG 98



CIVIL CONSULTANTS		SCALE 1"=40'		DATE 08 Aug 98	
DRAWN	GDC, JES	SCALE	1"=40'	DATE	08 Aug 98
CALC.	GDC, JES	APPROVED		DATE	OCT 09 1998
N.B. #		SHEET	1 OF 5		98-444

PORTLAND

THIS PLAN FOR REFERENCE ONLY  
NO REPRESENTATION OR WARRANTY IS  
MADE AS TO LOCATION OF BOUNDARIES  
OR OTHER POINTS OF REFERENCE.



-NOTE-  
Written Agreement Given  
To ITALIAN HERITAGE  
CENTER To Use a 20' Wide  
Strip of Land Approximately  
300' Long & To Erect a  
Barrier. See Letter Dated 8-1-77

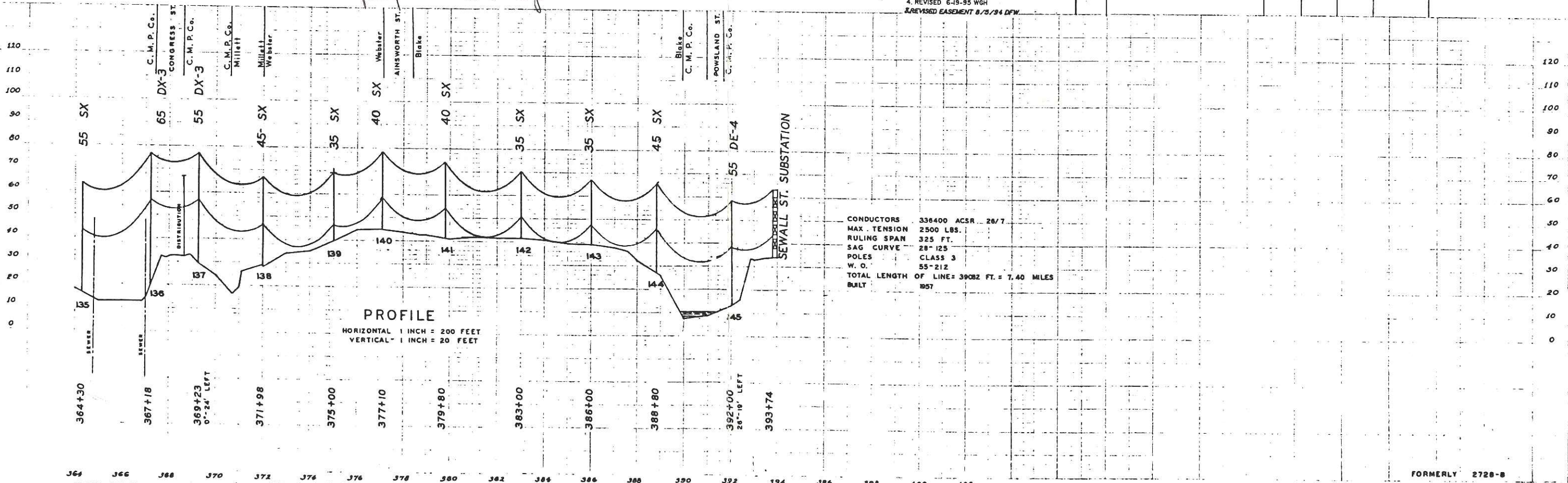
AGREEMENT BETWEEN  
CENTRAL MAINE POWER CO.  
AND M.D.G.T.  
DATED 8/1/83

THIS PLAN FOR REFERENCE ONLY  
NO REPRESENTATION OR WARRANTY IS  
MADE AS TO LOCATION OF BOUNDARIES  
OR OTHER POINTS OF REFERENCE.

Area affected by  
proposed development PLAN  
1 INCH = 200 FEET

4. REVISED 6-19-95 WGH  
& REVISED EASEMENT 8/3/94 DFW

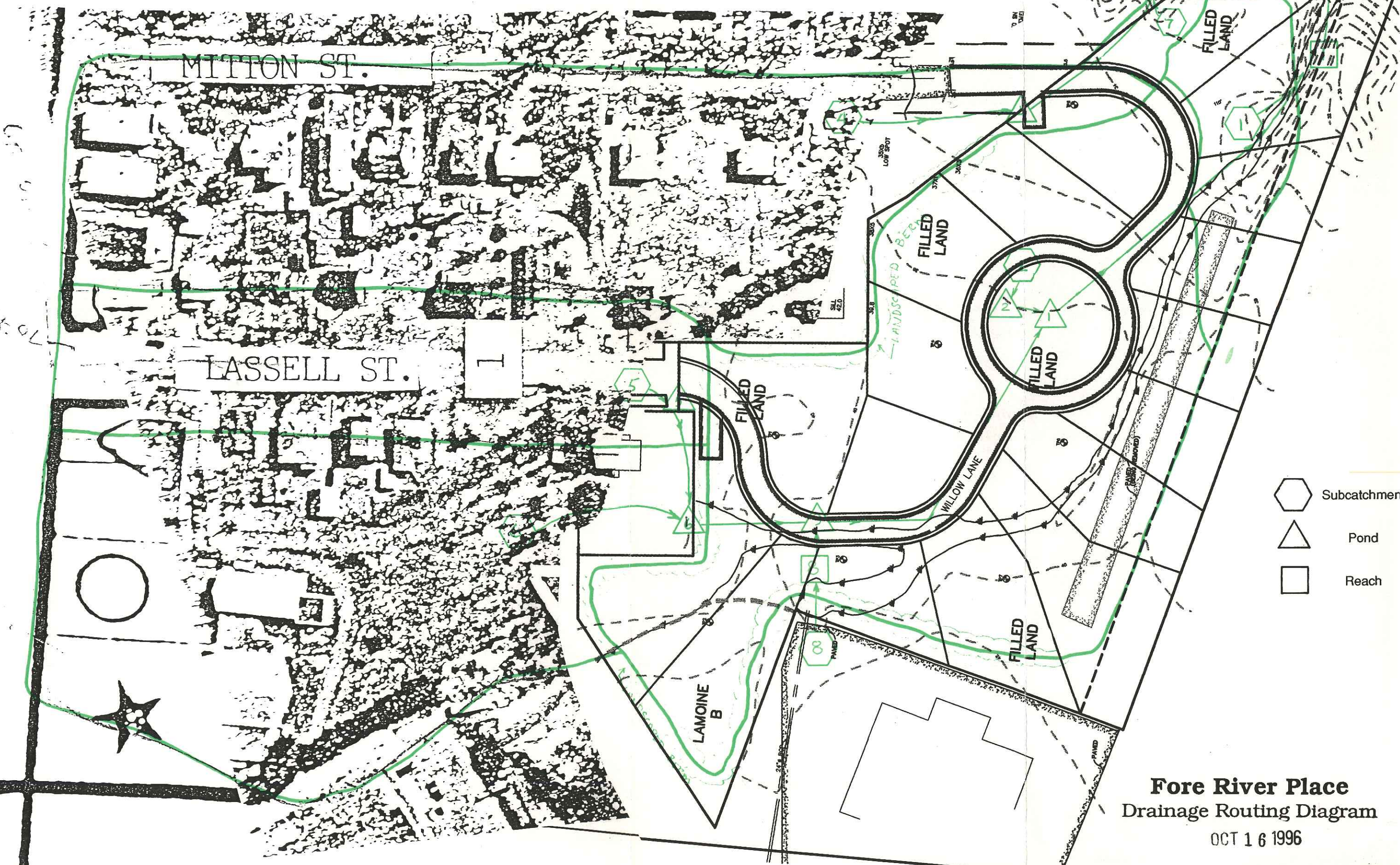
PARCEL	GRANTOR	DATE	CUMB. S.S.		SO. DIV. FILE NO.	REMARKS
			BOOK	PAGE		
22	CITY OF PORTLAND	8-7-81	412	191	458	PETITION
23	ALVA F. BEAN	7-14-8	878	483	486	FEE
24	ETHEL H. MARSTON	4-14-91	2040	250	891	FEE
25	MAINE SAVINGS BANK	8-24-24	2038	122	811	RELEASE
26	CHARLES H. EMERSON	8-9-07	812	83	871	EASEMENT
27	CHARLES H. EMERSON	7-14-07	878	483	486	FEE
28	CLIFFORD A. MOSES ET AL	8-7-81	2064	84	813	FEE
29	DANIEL D. CHENERY	8-9-07	812	24	872	FEE
30	GEORGE LEBBY	7-24-41	878	116	470	FEE
31	MARY C. BOODY	8-7-81	2044	43	814	FEE
32	CITY OF PORTLAND	8-7-81			881	PETITION
33	PORTLAND TERMINAL CO	8-28-53	1128	238	2808	FEE
34	GEORGE B. WEBSTER	8-10-07	812	128	872	FEE
35	GEORGE B. WEBSTER	8-2-11	881	259	472	EASEMENT
36	FANNIE L. PROCTOR	8-10-07	812	292	874	FEE
37	FANNIE L. PROCTOR	8-4-11	878	194	472	FEE
38	ABRAHAM F. BLAKE	10-28-53	2380	283	882	EASEMENT
39	P. H. & J. S. BROWN CO.	7-28-58	823	28	878	FEE
40	MYERS & MALONEY	8-21-90	1851	143	181	FEE



PL-8-1-95

POST DEVELOPMENT

PONDS

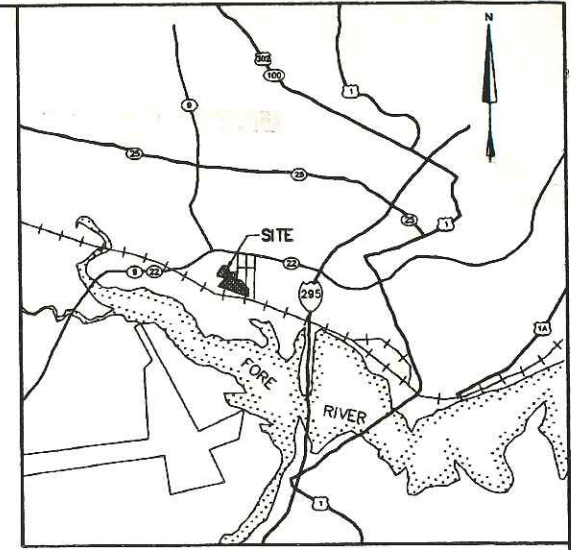


- Subcatchmen
- Pond
- Reach

**Fore River Place**  
Drainage Routing Diagram  
OCT 16 1996

**PLAN REFERENCES:**

1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSELL STREET, PORTLAND, MAINE FOR TERRY BROWN, BY OWEN HASKELL, INC. JUNE 19, 1987



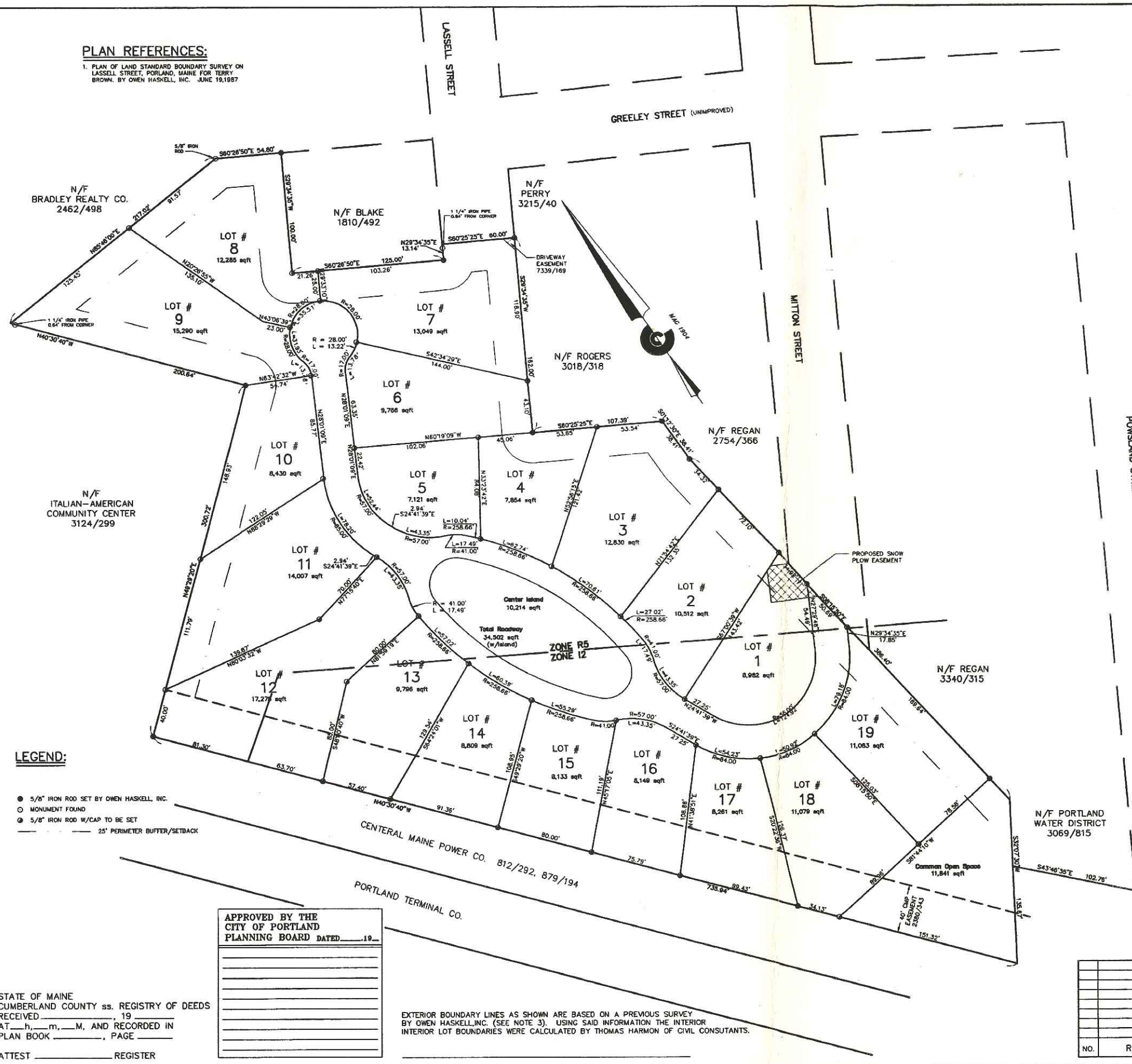
**LOCATION PLAN**  
NOT TO SCALE

**NOTES:**

- SUBJECT PROPERTY SHOWN ON THE BOUNDARY OF TWO CITY OF PORTLAND TAX MAPS - MAP 190, BLOCK K, LOT 26 AND MAP 191, BLOCK B, LOT 15
- PROPERTY IS CURRENTLY ZONED R-5 AND I2 WITH A REQUEST TO BE CONSIDERED AS ALL R5. PORTIONS OF THE PROPERTY ARE SUBJECT TO THE SHORELAND OVERLAY DISTRICT.
- BOUNDARY INFORMATION PROVIDED BY NEPTUNE PROPERTIES, INC., PORTLAND, MAINE. INTERIOR LOT BOUNDARIES CALCULATED BY CIVIL CONSULTANTS.
- AREA OF PARCEL TO BE DEVELOPED UNDER THIS PROPOSAL IS 5.75 ACRES.
- RECORD OWNER: NEPTUNE PROPERTIES, INC., 120 EXCHANGE STREET, PORTLAND, MAINE PER DEED RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 12385, PAGE 296 (27 FEB 1994).
- CENTER ISLAND AND OPEN SPACE(S) ARE SUBJECT TO PUBLIC ACCESS EASEMENT.
- THE ROADWAY WITHIN THIS PRUD IS PRIVATE AND WILL BE MAINTAINED BY THE "HOMEOWNERS ASSOCIATION", INCLUDING, BUT NOT LIMITED TO, CATCH BASINS AND WALKWAYS WITHIN THE COMMON AREAS.
- MAINTENANCE OF STORM WATER APPURTENANCES OUTSIDE OF COMMON AREAS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNERS.

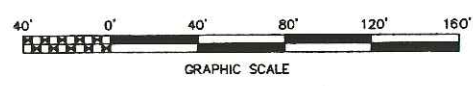
**DRAFT PLAN NOTES:**

CMP EASEMENT TO BE ADDED  
DRAINAGE EASEMENTS TO BE ADDED



**LEGEND:**

- 5/8" IRON ROD SET BY OWEN HASKELL, INC.
- MONUMENT FOUND
- ⊙ 5/8" IRON ROD W/CAP TO BE SET
- 25' PERIMETER BUFFER/SETBACK



**Lot Configuration Plan**  
**Fore River Place**  
Lassell & Milton Streets

Owner/Developer  
NEPTUNE PROPERTIES  
120 Exchange Street  
Portland, Maine 04101



P.O. BOX 100  
293 MAIN STREET  
SOUTH BURNHAM  
MAINE 03908  
207-364-2550

DRAWN	GDC, JES	SCALE	1"=40'	DATE	06 Aug 96
CALC.	GDC, JES	APPROVED			
N.B. #		SHEET	1 OF 5		96-444

NO.	REVISIONS	INT.	DATE

Prepared for  
**PRELIMINARY APPROVAL**

APPROVED BY THE  
CITY OF PORTLAND  
PLANNING BOARD DATED \_\_\_\_ 19\_\_

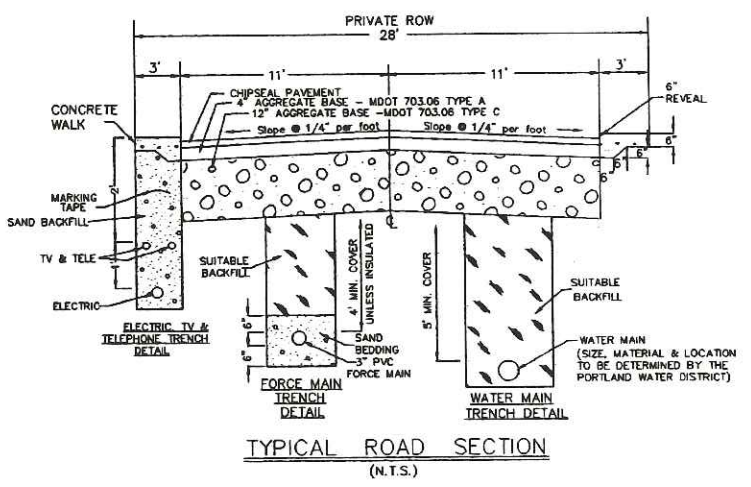
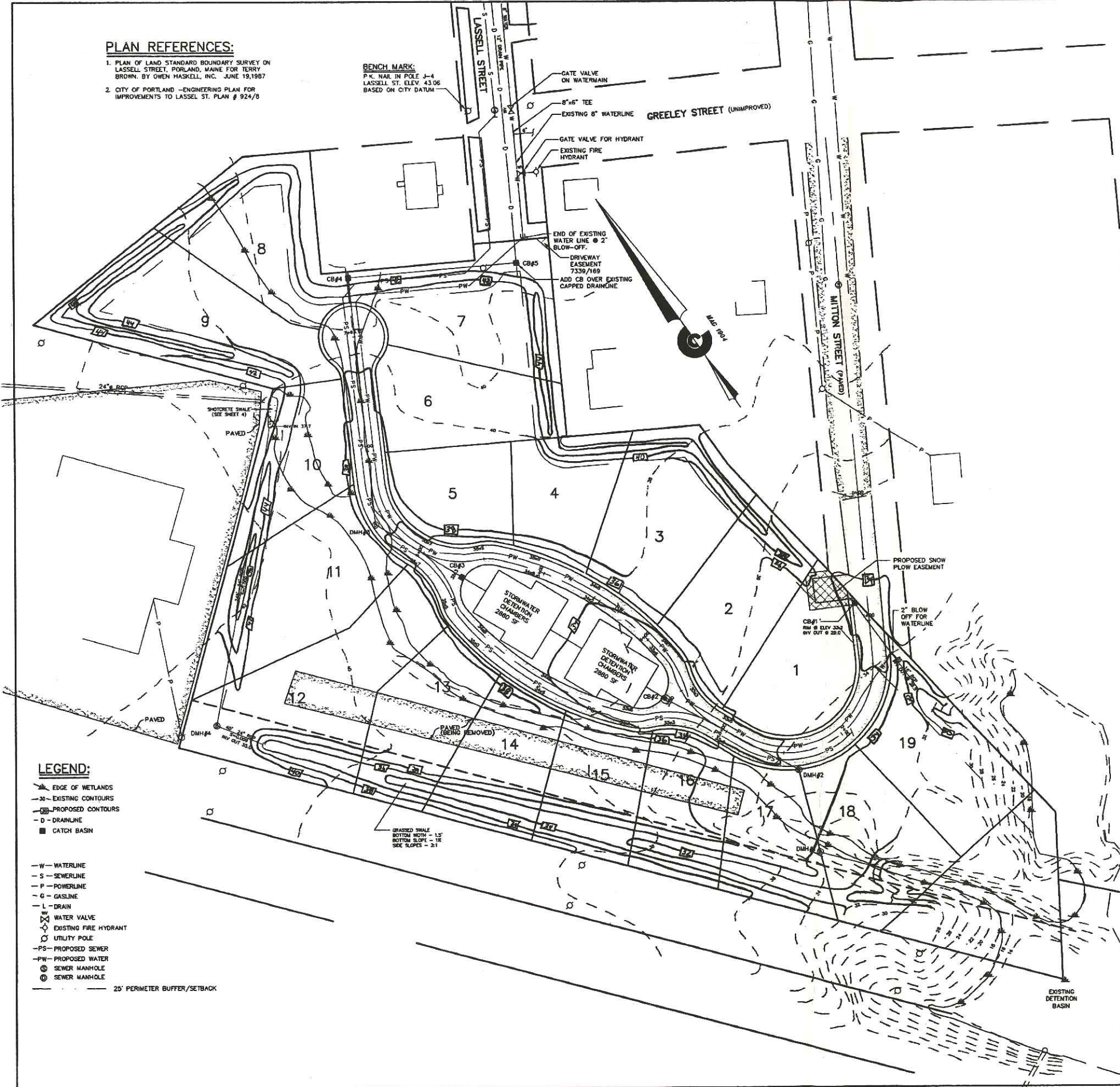

EXTERIOR BOUNDARY LINES AS SHOWN ARE BASED ON A PREVIOUS SURVEY BY OWEN HASKELL, INC. (SEE NOTE 3). USING SAID INFORMATION THE INTERIOR INTERIOR LOT BOUNDARIES WERE CALCULATED BY THOMAS HARMON OF CIVIL CONSULTANTS.

STATE OF MAINE  
CUMBERLAND COUNTY ss. REGISTRY OF DEEDS  
RECEIVED \_\_\_\_\_, 19\_\_  
AT \_\_\_\_h\_\_\_\_m\_\_\_\_M, AND RECORDED IN  
PLAN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_  
ATTEST \_\_\_\_\_ REGISTER

**PLAN REFERENCES:**

1. PLAN OF LAND STANDARD BOUNDARY SURVEY ON LASSELL STREET, PORTLAND, MAINE FOR TERRY BROWN, BY OWEN HASKELL, INC. - JUNE 19, 1987
2. CITY OF PORTLAND - ENGINEERING PLAN FOR IMPROVEMENTS TO LASSELL ST. PLAN # 924/B

**BENCH MARK:**  
P.K. NAIL IN POLE J-4  
LASSELL ST. ELEV. 43.06  
BASED ON CITY DATUM

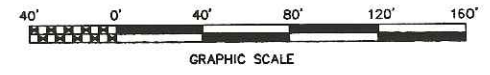


**NOTES:**

1. INDIVIDUAL SERVICES LINES (WATER & SEWER) SHALL BE EXTENDED ONTO EACH LOT.
2. LOCATION OF EXISTING UTILITIES TAKEN FROM REFERENCE PLANS AND ARE APPROXIMATE. ACTUAL LOCATIONS TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION. CALL DIG-SAFE @ 1-800-225-4977.
3. TOPOGRAPHIC INFORMATION (INCLUDING BENCHMARK) PROVIDED BY NEPTUNE PROPERTIES, INC. (SEE REF. PLAN 1).
4. ADDITIONAL DETAILS OF STORMWATER STRUCTURES ARE SHOWN ON SHEETS 4 & 5 OF 5.

**LEGEND:**

- EDGE OF WETLANDS
- 30' - EXISTING CONTOURS
- PROPOSED CONTOURS
- D - DRAINLINE
- CATCH BASIN
- W - WATERLINE
- S - SEWERLINE
- P - POWERLINE
- G - GASLINE
- L - DRAIN
- WATER VALVE
- EXISTING FIRE HYDRANT
- UTILITY POLE
- PS - PROPOSED SEWER
- PW - PROPOSED WATER
- SEWER MANHOLE
- SEWER MANHOLE



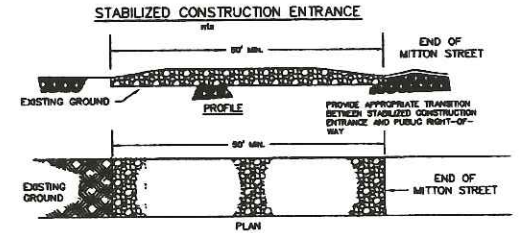
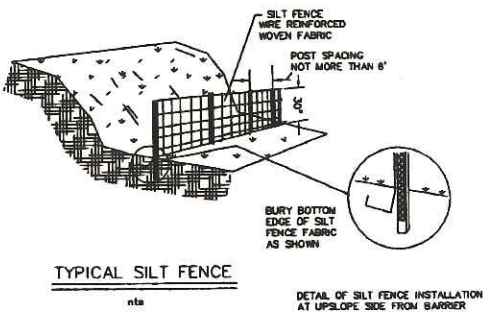
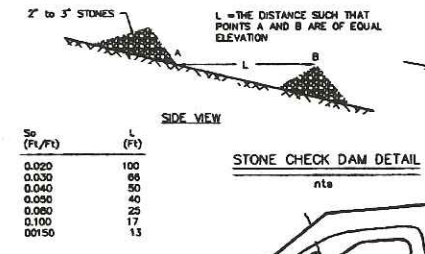
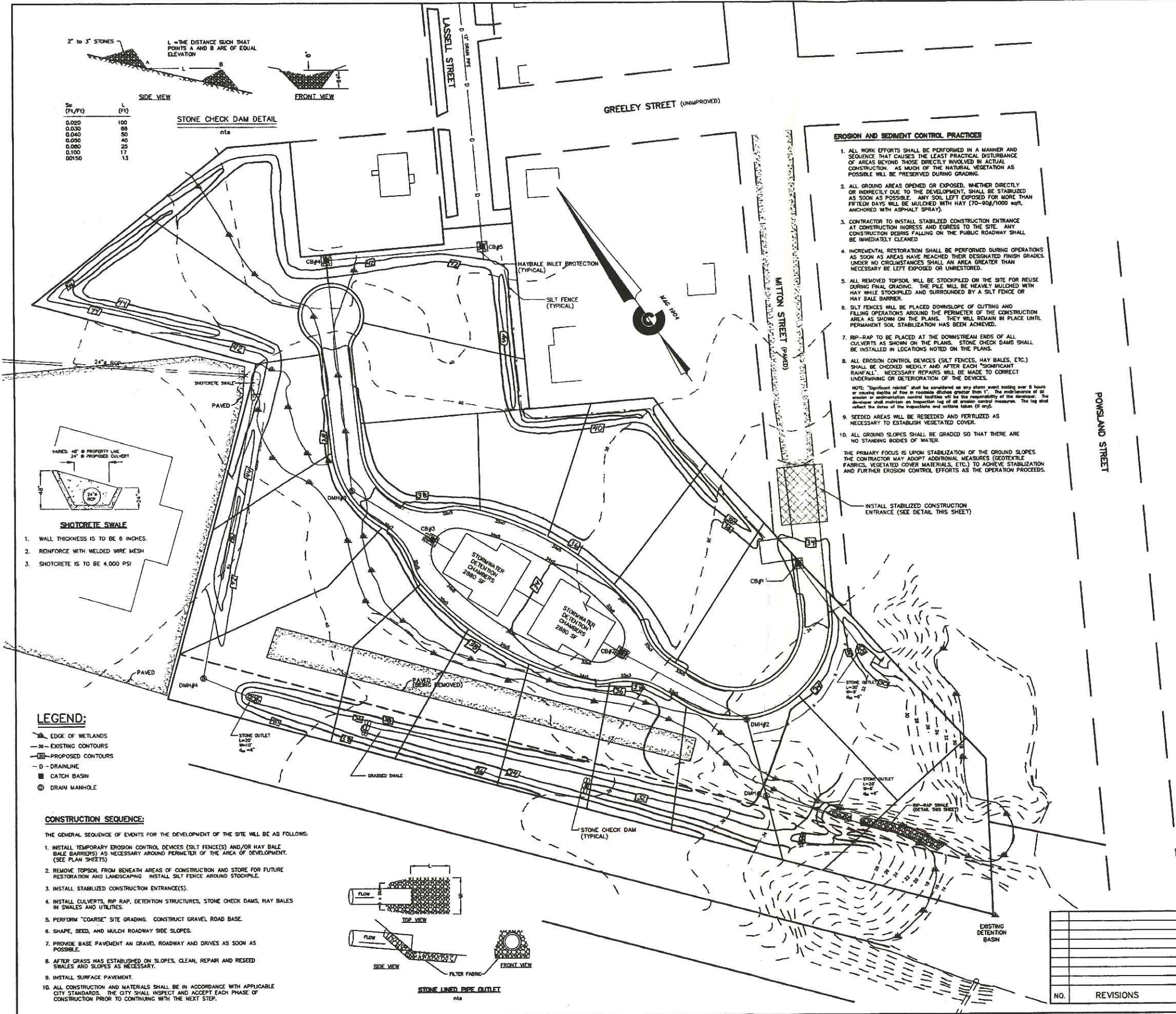
**Site Development Plan**  
**Fore River Place**  
Lassell & Milton Streets

Owner/Developer  
**NEPTUNE PROPERTIES**  
120 Exchange Street  
Portland, Maine 04101

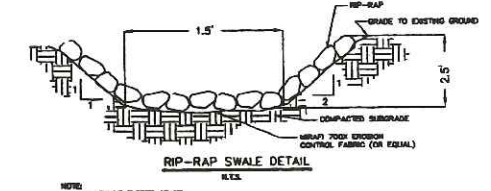
<p><b>CIVIL CONSULTANTS</b> P.O. BOX 100 283 MAIN STREET SOUTH BERRY MAINE 03008 207-364-2550</p>	DRAWN GDC, JES CALC. GDC, JES S.B. #	SCALE 1"=40' APPROVED SHEET 2 OF 5	DATE 06 Aug 96 96-444
	PRELIMINARY APPROVAL		

NO.	REVISIONS	INT.	DATE

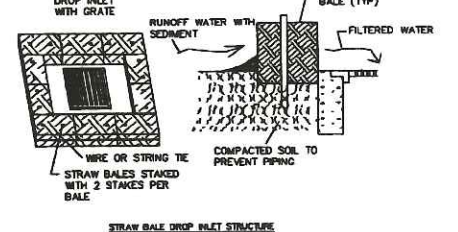




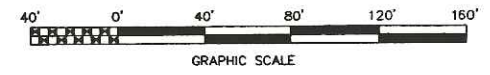
- CONSTRUCTION SPECIFICATIONS**
1. Stone size - AASHTO description M45, size no 2 (2-1/2" to 1-1/2"). Use crushed stone.
  2. Length - As effective, but not less than 50 feet.
  3. Thickness - Not less than eight (8) inches.
  4. Width - Not less than six (6) inches at all points of ingress or egress.
  5. Working - When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public right-of-way. When working is required, it shall be done on an area stabilized with crushed stone which drains into an approved sediment trap or sediment bank. All sediment shall be prevented from entering any storm drain, ditch, or watercourse through use of sand bags, gravel, burlap, or other approved methods.
  6. Maintenance - The entrance shall be maintained in a condition which all prevent tracking or loading of sediment onto public right-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any material used to trap sediment. All sediment spilled, dropped, washed, or tracked, onto public right-of-way shall be removed immediately.



- NOTES**
1. SWALE SLOPED AT 1% MAX SLOPE SEE 17'
  2. MINIMUM DEPTH OF RIP-RAP LAYER = 12"
  3. MINIMUM DEPTH OF RIP-RAP LAYER = 12"



- NOTES:**
1. BALES SHALL BE EITHER WIRE-BOUND OR STRING-TIED WITH THE ENDINGS ORIENTED AROUND THE SIDES RATHER THAN OVER AND UNDER THE BALES.
  2. BALES SHALL BE PLACED LENGTHWISE IN A SINGLE ROW SURROUNDING THE INLET, WITH THE ENDS OF ADJACENT BALES PRECISED TOGETHER.
  3. THE FILTER BARRIER SHALL BE EXTENDED AND BACKFILLED. A TRENCH SHALL BE EXCAVATED AROUND THE INLET THE WIDTH OF A BALE TO A MINIMUM DEPTH OF 4 INCHES. AFTER THE BALES ARE STAKED, THE EXCAVATED SOIL SHALL BE BACKFILLED AND COMPACTED AGAINST THE BARRIER.
  4. EACH BALE SHALL BE SECURELY ANCHORED AND HELD IN PLACE BY AT LEAST TWO STAKES OR REBAR DRIVEN THROUGH THE BALE.
  5. LOOSE STRAW SHALL BE WEDGED BETWEEN BALES TO PREVENT WATER FROM ENTERING BETWEEN BALES.



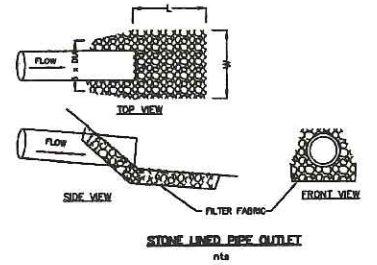
- EROSION AND SEDIMENT CONTROL PRACTICES**
1. ALL WORK EFFORTS SHALL BE PERFORMED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF AREAS BEYOND THOSE DIRECTLY INVOLVED IN ACTUAL CONSTRUCTION. AS MUCH OF THE NATURAL VEGETATION AS POSSIBLE WILL BE PRESERVED DURING GRADING.
  2. ALL GROUND AREAS OPENED OR EXPOSED, WHETHER DIRECTLY OR INDIRECTLY DUE TO THE DEVELOPMENT, SHALL BE STABILIZED AS SOON AS POSSIBLE. ANY SOIL LEFT EXPOSED FOR MORE THAN FIFTEEN DAYS WILL BE MULCHED WITH HAY (70-90#/1000 sqft, ANCHORED WITH ASPHALT SPRAY).
  3. CONTRACTOR TO INSTALL STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION INGRESS AND EGRESS TO THE SITE. ANY CONSTRUCTION DEBRIS FALLING ON THE PUBLIC ROADWAY SHALL BE IMMEDIATELY CLEANED.
  4. INCREMENTAL RESTORATION SHALL BE PERFORMED DURING OPERATIONS AS SOON AS AREAS HAVE REACHED THEIR DESIGNATED FINISH GRADES. UNDER NO CIRCUMSTANCES SHALL AN AREA GREATER THAN NECESSARY BE LEFT EXPOSED OR UNRESTORED.
  5. ALL REMOVED TOPSOIL WILL BE STOCKPILED ON THE SITE FOR REUSE DURING FINAL GRADING. THE PILE WILL BE HEAVILY MULCHED WITH HAY WHILE STOCKPILED AND SURROUNDED BY A SILT FENCE OR HAY BALE BARRIER.
  6. SILT FENCES WILL BE PLACED DOWNSLOPE OF CUTTING AND FILLING OPERATIONS AROUND THE PERIMETER OF THE CONSTRUCTION AREA AS SHOWN ON THE PLANS. THEY WILL REMAIN IN PLACE UNTIL PERMANENT SOIL STABILIZATION HAS BEEN ACHIEVED.
  7. RIP-RAP TO BE PLACED AT THE DOWNSTREAM ENDS OF ALL CULVERTS AS SHOWN ON THE PLANS. STONE CHECK DAMS SHALL BE INSTALLED IN LOCATIONS NOTED ON THE PLANS.
  8. ALL EROSION CONTROL DEVICES (SILT FENCES, HAY BALES, ETC.) SHALL BE CHECKED WEEKLY AND AFTER EACH "SIGNIFICANT" RAINFALL. NECESSARY REPAIRS WILL BE MADE TO CORRECT UNDERMINING OR DETERIORATION OF THE DEVICES.
  9. SEEDING AREAS WILL BE RESEED AND FERTILIZED AS NECESSARY TO ESTABLISH VEGETATED COVER.
  10. ALL GROUND SLOPES SHALL BE GRADED SO THAT THERE ARE NO STANDING BODIES OF WATER.

THE PRIMARY FOCUS IS UPON STABILIZATION OF THE GROUND SLOPES. THE CONTRACTOR MAY ADOPT ADDITIONAL MEASURES (SCOTCHBLE FABRICS, VEGETATED COVER MATERIALS, ETC.) TO ACHIEVE STABILIZATION AND FURTHER EROSION CONTROL EFFORTS AS THE OPERATION PROCEEDS.

INSTALL STABILIZED CONSTRUCTION ENTRANCE (SEE DETAIL THIS SHEET)

- LEGEND:**
- EDGE OF WETLANDS
  - EXISTING CONTOURS
  - PROPOSED CONTOURS
  - DRAINLINE
  - CATCH BASIN
  - DRAIN MANHOLE

- CONSTRUCTION SEQUENCE:**
- THE GENERAL SEQUENCE OF EVENTS FOR THE DEVELOPMENT OF THE SITE WILL BE AS FOLLOWS:
1. INSTALL TEMPORARY EROSION CONTROL DEVICES (SILT FENCE(S) AND/OR HAY BALE BARRIER(S)) AS NECESSARY AROUND PERIMETER OF THE AREA OF DEVELOPMENT. (SEE PLAN SHEETS)
  2. REMOVE TOPSOIL FROM BENEATH AREAS OF CONSTRUCTION AND STORE FOR FUTURE RESTORATION AND LANDSCAPING. INSTALL SILT FENCE AROUND STOCKPILE.
  3. INSTALL STABILIZED CONSTRUCTION ENTRANCE(S).
  4. INSTALL CULVERTS, RIP RAP, DETENTION STRUCTURES, STONE CHECK DAMS, HAY BALES IN SWALES AND UTILITIES.
  5. PERFORM "COARSE" SITE GRADING. CONSTRUCT GRAVEL ROAD BASE.
  6. SHAPE, SEED, AND MULCH ROADWAY SIDE SLOPES.
  7. PROVIDE BASE PAVEMENT AND GRAVEL ROADWAY AND DRIVES AS SOON AS POSSIBLE.
  8. AFTER GRASS HAS ESTABLISHED ON SLOPES, CLEAN, REPAIR AND RESEED SWALES AND SLOPES AS NECESSARY.
  9. INSTALL SURFACE PAVEMENT.
  10. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE CITY STANDARDS. THE CITY SHALL INSPECT AND ACCEPT EACH PHASE OF CONSTRUCTION PRIOR TO CONTINUING WITH THE NEXT STEP.



NO.	REVISIONS	INT.	DATE

**Drainage & Erosion Control**  
**Fore River Place**  
 Lassell & Mitton Streets

Owner/Developer  
 NEPTUNE PROPERTIES  
 120 Exchange Street  
 Portland, Maine 04101

CIVIL CONSULTANTS  
 P.O. BOX 100  
 283 MAIN STREET  
 SOUTH BROMFIELD  
 MAINE 03083  
 287-384-3550

DRAWN GDC, JES SCALE 1"=40' DATE 06 Aug 96  
 CALC. GDC, JES APPROVED  
 N.B. # SHEET 4 OF 5 96-444

Prepared For  
**PRELIMINARY APPROVAL**

