

191-B-3

51-67 Milton St,

Duplexes

Ward Graffam

1997-0046

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970046

I. D. Number

Ward I. Graffam, Jr

Applicant

29 Orchard St, Portland, ME 04102

Applicant's Mailing Address

SAA

Consultant/Agent

828-4663 772-1510

Applicant or Agent Daytime Telephone, Fax

8/5/97

Application Date

Mitton St Duplexes

Project Name/Description

51- 67 Mitton St

Address of Proposed Site

191-B-003

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **2 Duplexes**

24 x 38 each

17,775 Sq Ft

R-5

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input checked="" type="checkbox"/> Subdivision
of lots <u>2</u> | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$300.00 Subdivision \$100.00 Engineer Review \$384.00 Date: 11/4/97

DRC Approval Status:

Reviewer Jim Wendel

- Approved Approved w/Conditions
see attache Denied

Approval Date 10/14/97 Approval Expiration 10/14/97 Extension to _____ Additional Sheets Attached

Condition Compliance Jim Wendel 11/5/97
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>11/4/97</u> date	<u>\$17,418.00</u> amount	<u>11/6/97</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>11/4/97</u> date	<u>\$300.00</u> amount	
<input type="checkbox"/> Building Permit	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released			


CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Duane G. Kline, Director of Finance
FROM: Kandice Talbot, Planner
DATE: August 18, 1998
RE: 51 Mitton Street, Two Duplexes

It is acceptable at this time to get a defect bond from the applicant in the amount of 1,741.80. This defect bond shall expire one year from date of issuance. Could you please write a letter to the bank notifying them of this. If you have any questions, please do not hesitate to contact me.


Kandice Talbot
Planner


Joseph E. Gray, Jr., Director
Planning and Urban Development

Duane G. Kline
Director of Finance



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Duane Kline, Finance Department

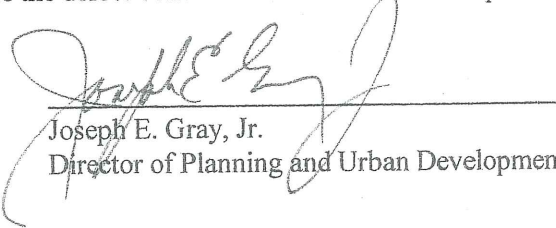
FROM: Joseph E. Gray, Jr., Director of Planning and Urban Development

DATE: May 19, 1999

SUBJECT: Release of Defect Bond
Mitton Street Duplexes

Please release the defect bond for the Mitton Street Duplexes project located at 51 Mitton Street.

Approved:



Joseph E. Gray, Jr.
Director of Planning and Urban Development

cc: Kandi Talbot, Planner
Code Enforcement
Jim Wendel, Development Review Coordinator



PrivateBank

KeyBank
One Canal Plaza
Portland, ME 04101-4035

(207) 874-7387
(800) 452-8762
(207) 874-7287 Fax

**Site Plan/Subdivision
Defect Bond:
Escrow Account/Certificate of Deposit
Account # 19177820520649**

August 31, 1998

Joseph E. Gray, Jr.
Director of Planning and Urban Development
City Hall, 4th Floor
389 Congress Street
Portland, ME 04101

Re: 51 Mitton Street, Portland, Maine

Dear Mr. Gray:

This will certify to you that Key Bank National Association will hold the sum of \$1,751.80 in a Certificate of Deposit escrow account in the name of the City of Portland established with the Bank. We will hold these funds as escrow agent for the benefit of the City of Portland on the following conditions:

1. These funds represent the estimated cost to correct defects in the workmanship and the durability of all materials used in the construction of the public improvements as set forth in the schedule of costs of improvements for 51 Mitton Street.

2. The City of Portland may draw against the escrow by presentation of a draft in the event that Ward Graffam Jr. has not corrected any defects as outlined above on or before April 23, 1999. Said draft will be accompanied by a written statement that the developer has failed to correct such defect and shall be accompanied by itemized statements showing cost of work to be completed as determined by the Department of Public Works.

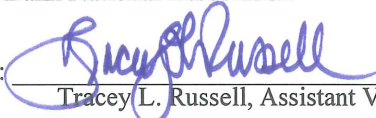
3. All costs associated with establishing, maintaining, and disbursing funds from the escrow account shall be borne by Ward Graffam Jr.

Page 2
Defect Bond: Escrow Account/Certificate of Deposit

Dated at Portland, Maine this August 31, 1998.

Truly Yours,

KeyBank National Association

By: 
Tracey L. Russell, Assistant Vice-President

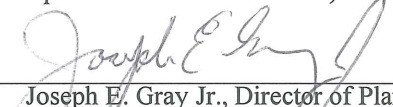
Date: 8/31/98

Seen and agreed to:

By: 
Ward I. Graffam Jr.

Date: 8/31/98

Approved pursuant to Sect. 14-5019a) of the Portland City Code:

By: 
Joseph E. Gray Jr., Director of Planning and Urban Development

Date: 11/2/98

By: 
Natalie Burns, Corporate Counsel

Date: 10/2/98

By: _____
Duane Kline, Finance Director

Date: _____



**DEPOSIT RECEIPT FOR
KEY CERTIFICATE OF DEPOSIT ACCOUNT
OR RETIREMENT DIRECTOR DEPOSIT ACCOUNT**

20520649

KeyBank National Association

Social Security Number: 007-82-2135

Branch: Private Clients

Title of Account:

Branch #: 00177

WARD I GRAFFAM JR
KEYBANK NA AGT FOR CITY OF PORTLAND
ESCROW ACCOUNT

Your deposit made on 08/31/98 is for 1 YEARS at a FIXED Interest Rate of 4.40000% and an ANNUAL PERCENTAGE YIELD of 4.50%.

This certificate account will mature on 08/31/99, at which time the account balance will be RENEWED AUTOMATICALLY.

Interest will be calculated as DAILY 365/366 and TRANSFERRED TO ACCOUNT #191330001378. Interest will be compounded DAILY and credited MONTHLY.

ACCOUNT # 19177820520649

AMOUNT DEPOSITED: \$1,751.80

This Account is governed by the provisions of the Deposit Account Agreement established by the Bank at which you opened your Account; Including but not limited to withdrawal; penalties for early withdrawal from Certificate of Deposit Accounts; variable rate determination and rate changes, where applicable; payment of interest; joint accounts; pledging the account as collateral; renewal; the transferability or non-transferability of the Account; taxpayer Identification numbers and backup withholding; and by such Bank's Personal Deposit Account fees and Disclosures. A Director Account opened in connection with a Bank retirement plan also is subject to such Bank's retirement plan agreement or plan document and the Director Deposit Disclosure. All Accounts are subject to applicable federal and state laws and regulations.

CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Duane G. Kline, Director of Finance
FROM: Kandice Talbot, Planner
DATE: August 18, 1998
RE: 51 Mitton Street, Two Duplexes

It is acceptable at this time to get a defect bond from the applicant in the amount of 1,741.80. This defect bond shall expire one year from date of issuance. Could you please write a letter to the bank notifying them of this. If you have any questions, please do not hesitate to contact me.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Duane G. Kline, Director of Finance
FROM: Kandice Talbot, Planner
DATE: April 27, 1998
RE: 51 Mitton Street, Two Duplexes

Please accept this Key Bank Escrow Account #19177820407565 for \$4,159.80. Please release the Key Bank Escrow Account #19177820105714 in the amount of \$4,159.80. If you have any questions, please do not hesitate to contact me.

Kandice Talbot
Planner

Joseph E. Gray, Jr., Director
Planning and Urban Development

Duane G. Kline
Director of Finance



PrivateBank

KeyBank
One Canal Plaza
Portland, ME 04101-4035

(207) 874-7387
(800) 452-8762
(207) 874-7287 Fax

**Site Plan/Subdivision
Defect Bond:
Escrow Account/Certificate of Deposit
Account #19177820407565**

April 23, 1998

Joseph E. Gray, Jr.
Director of Planning and Urban Development
City Hall, 4th Floor
389 Congress Street
Portland, ME 04101

Re: 51 Mitton Street, Portland, Maine

Dear Mr. Gray:

This will certify to you that Key Bank National Association will hold the sum of \$4,159.80 in a Certificate of Deposit escrow account in the name of the City of Portland established with the Bank. We will hold these funds as escrow agent for the benefit of the City of Portland on the following conditions:

1. These funds represent the estimated cost to correct defects in the workmanship and the durability of all materials used in the construction of the public improvements as set forth in the schedule of costs of improvements for 51 Mitton Street.
2. The City of Portland may draw against the escrow by presentation of a draft in the event that Ward Graffam Jr. has not corrected any defects as outlined above on or before April 23, 1999. Said draft will be accompanied by a written statement that the developer has failed to correct such defect and shall be accompanied by itemized statements showing cost of work to be completed as determined by the Department of Public Works.
3. All costs associated with establishing, maintaining, and disbursing funds from the escrow account shall be borne by Ward Graffam Jr.



**DEPOSIT RECEIPT FOR
KEY CERTIFICATE OF DEPOSIT ACCOUNT
OR RETIREMENT DIRECTOR DEPOSIT ACCOUNT**

20407565

KeyBank National Association

Social Security Number: 007-82-2135

Branch: Private Clients

Title of Account:

Branch #: 00177

WARD I GRAFFAM JR
KEYBANK NA AGT FOR CITY OF PORTLAND
ESCROW ACCOUNT

Your deposit made on 04/23/98 is for 3 MONTHS at a FIXED Interest Rate of 4.40000% and an ANNUAL PERCENTAGE YIELD of 4.50%.

This certificate account will mature on 07/23/98, at which time the account balance will be RENEWED AUTOMATICALLY.

Interest will be calculated as DAILY 365/366 and TRANSFERRED TO ACCOUNT #191330001378. Interest will be compounded DAILY and credited AT MATURITY.

ACCOUNT # 19177820407565

AMOUNT DEPOSITED: \$4,159.80

This Account is governed by the provisions of the Deposit Account Agreement established by the Bank at which you opened your Account; including but not limited to withdrawal; penalties for early withdrawal from Certificate of Deposit Accounts; variable rate determination and rate changes, where applicable; payment of interest; joint accounts; pledging the account as collateral; renewal; the transferability or non-transferability of the Account; taxpayer Identification numbers and backup withholding; and by such Bank's Personal Deposit Account fees and Disclosures. A Director Account opened in connection with a Bank retirement plan also is subject to such Bank's retirement plan agreement or plan document and the Director Deposit Disclosure. All Accounts are subject to applicable federal and state laws and regulations.



ACCOUNT EXPRESSSM PLAN

Primary Account Number 019177820407565		Ownership		Account Type KADV 32 DAYS TO 365 DAYS	
Legal Title Of Account	REL	TIN	DOB	Mother's Maiden Name	
C1 WARD I GRAFFAM JR	COF	007-82-2135	08/26/69		
C2 KEYBANK NA AGT FOR CITY OF PORTLAND	NIN	000-00-0000	04/23/98		
C3 ESCROW ACCOUNT		- -			
Statement Mailing Address 29 ORCHARD ST	City PORTLAND	State ME	Zip Code 041023613		
Legal Address	Home Phone	Primary I.D./ Secondary I.D.			
C1 29 ORCHARD ST PORTLAND ME 041023613	(207)772-6872	T RUSSELL			
C2 29 ORSHARD ST PORTLAND ME 041023613	() -				
C3	() -				
Place of Employment	Employment Phone				
C1 OCCUPATIONAL MEDICINE	(207)773-6707				
C2	() -				
C3	() -				
Branch Number 00177	Open Date 04/23/98	Opened By STEPHANIE ROBERTSON	Branch Phone (207)874-7387		
New Account Verification					
ID/COMMENTS					
ChexSystems: N	QuickSell: N	Verified By: STEPHANIE ROBERTSON	ChexSystems Waived By		
C1					
C2					
C3					

This Account Express Plan ("Plan") authorizes KeyBank National Association (the "Bank"), at its discretion, to open one or more personal deposit accounts (including checking accounts, savings accounts and certificates of deposit but excluding passbook savings accounts) upon the receipt of electronic, written or oral instructions from me (meaning all signers below) or, if more than one person signs below, upon the receipt of electronic, written or oral instructions from any one of us without obtaining a signature on any additional Plan or signature card. I (meaning all signers below) understand that all deposit accounts opened by me under the Plan will be owned by me (or by us, if more than one person signs below) in the same capacity. (For example, if we open a joint account, all other accounts opened by us under this Plan will be jointly owned by us. Any other account ownership will require a separate Plan). I understand that the accounts will be opened when funds are received at the Bank. This Plan is the signature card for all accounts opened under this Plan.

I authorize the Bank, at its discretion: (i) to act upon instructions from any of us to deposit, withdraw or transfer funds to or from any other accounts (except passbook savings) at the Bank when opening new accounts; (ii) to recognize and honor the signature of any of us on checks (if withdrawal by check is permitted), and withdrawal slips and honor any other electronic, written or oral requests for withdrawals or transfers of funds, including transfers to the Bank or to third parties and (iii) to act upon instructions from any of us for the transaction of any business on any accounts covered by this Plan. I agree that the Bank may receive instructions from any of us via any source including: electronic communications, computer, telephone, US mail or in person at the Bank.

I understand that all accounts opened under this Plan are also subject to the Deposit Account Agreement. I acknowledge receiving a copy of the agreement and a written disclosure of the interest rate, annual percentage yield, fees and other terms and disclosures relating to the account opened at the time the Plan was signed.

Understand the following tax certification applies to all accounts opened under this Plan:
Under penalties of perjury, I certify that 1) the number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me), and 2) I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service that I am subject to backup withholding as a result of failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding.

You must cross out item (2) above if you have been notified by the IRS that you are currently subject to backup withholding because of underreporting interest or dividends on your tax return. The Internal Revenue Service does not require your consent to any provisions of this document other than the certification required to avoid backup withholding. See certification signature below.

Attention New Customer: The information you are providing to open your new KeyBank account is subject to review and verification. KeyBank reserves the right to close your account in the event we are unable to verify, to our satisfaction, the information you provided.

The Bank may share my/our application, credit report, and previously collected information with other affiliated companies. You may prohibit the sharing of such information (other than experience information) by so indicating below

No, I/We do not want my/our information shared.

Certification Date _____ TIN (C1) 007-82-2135
 Certification Date _____ TIN (C2) 000-00-0000
 Certification Date _____ TIN (C3) - -

Customer Signature 1
Customer Signature 2
Customer Signature 3



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Jim Wendel, Development Review Coordinator

DATE: August 7, 1998

SUBJECT: Request for Certificate of Occupancy
51 Mitton Street

On August 6, 1998 a site visit was made to review the completion of the requirements of the site plan approval. In general the site is in good condition. My comments are:

1. I have requested comments from Public Works on the work within the right of way.
2. The landscaping appears complete, however the foundation plants appear very small in size. Kandi Talbot indicated that she needs to review the site with regard to condition 2, i. of the condition of approval.
3. The project owner has installed at grade concrete block patios with stockade fence as a barrier fence for each unit; these improvements were not on the approved site plan. Is an amended site plan required?
4. Based on correspondence in the file the performance guarantee has been fully released and a defect guarantee is now in effect.

It is my opinion that all conditions of the site plan approval has not been satisfactorily completed and a permanent Certificate of Occupancy should not be issued.

CITY OF PORTLAND, MAINE

PLANNING BOARD

Cyrus Y. Hagge, Chair
John H. Carroll, Vice Chair
Kenneth M. Cole III
Jaimey Caron
Kevin McQuinn
Deborah Krichels
Erin Rodriquez

October 23, 1997

Ward Graffam, Jr.
29 Orchard Street
Portland, ME 04102

RE: 51 Mitton Street

Dear Mr. Graffam:

On October 14, 1997 the Portland Planning Board voted unanimously to grant a waiver of granite curb at 51 Mitton Street.

The Planning Board also voted unanimously on the following motions regarding the Mitton Street Duplexes subdivision and site plan:

1. That the proposed development is in conformance with the Subdivision Ordinance of the Land Use Code with the following conditions:
 - i. that the applicant submit an erosion control management plan for staff review and approval prior to issuance of a building permit.
 - ii. that the sidewalk and curb cuts be installed in accordance with City of Portland Technical Standards and that a detail be added to the subdivision plan.
 - iii. that the applicant submit a revised sewer plan in accordance with the recommendations in the memo from Tony Lombardo, dated October 2, 1997 and that the revised plan will be reviewed and approved by Public Works staff.
 - iv. that the plan be revised in accordance with the memo from the Development Review Coordinator, dated October 9, 1997, and be reviewed and approved by Corporation Counsel and the Development Review Coordinator prior to issuance of a building permit.

2. That the proposed development is in conformance with the Site Plan Ordinance of the Land Use Code with the following condition:
 - i. that the applicant work with Staff to develop a landscape plan for open space for the occupants of Lot 1.

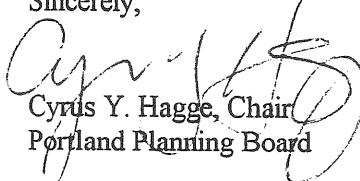
The approval is based on the submitted subdivision and site plan and the findings related to subdivision and site plan review standards as contained in Planning Report #40-97 which is attached.

Please note the following provisions and requirements for all subdivision approvals:

1. Mylar copies of the construction drawing for the subdivision must be submitted to the Public Works Department prior to the release of the plat.
2. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount must be submitted to and approved by the Planning Division and Public works prior to the recording of the subdivision plat. The subdivision approval is valid for three (3) years.
3. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
4. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)
7. The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions regarding the Board's actions, please contact the planning staff.

Sincerely,


Cyrus Y. Hagge, Chair
Portland Planning Board

From: Nancy Knauber
To: KCOTE
Date: 1/30/98 8:16am
Subject: Ward Graffam - Duplexes

A staff member of the sanitary & storm water section of engineering, waived the requirement of a manhole, in the public way for this project.

Finance Department



Duane G. Kline
Director

CITY OF PORTLAND

April 13, 1998

Tracey L. Rusell, Assistant Vice President
Key Bank
One Canal Plaza
Portland, ME 04101

Re: 51 Mitton Street, Portland, Maine
Escrow Account #19177820105714 dated November 4, 1997

This is to inform you that I am authorizing the reduction of the above-named escrow account by the amount of \$13,258.20 plus accrued interest, which should leave a balance remaining of \$4,159.80.

If you require any further information, please let me know.

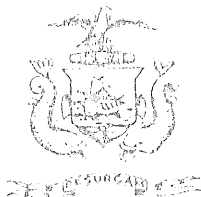
Sincerely,

A handwritten signature in dark ink, appearing to read "D. Kline".

Duane G. Kline
Finance Director

pc: Joseph Gray, Director of Planning & Urban Development
Kandice Talbot, Planner
Ward Graffam

Finance Department



Duane G. Kline
Director

CITY OF PORTLAND

April 28, 1998

Tracey L. Russell, Assistant Vice President
Key Bank
One Canal Plaza
Portland, ME 04101

Re: 51 Mitton Street, Portland, Maine
Escrow Account #19177820105714 dated November 4, 1997

As the city has received a defect guarantee for the above-named project, I am hereby authorizing the release and return of the balance of Escrow Account #19177820105714, which should be in the amount of \$4,159.80 plus accrued interest.

If you require any further information, please let me know.

Sincerely,

A handwritten signature in dark ink, appearing to read "D. Kline", written over a light-colored background.

Duane G. Kline
Finance Director

DGK,jlb

pc: Joseph Gray, Director of Planning & Urban Development
Kandice Talbot, Planner

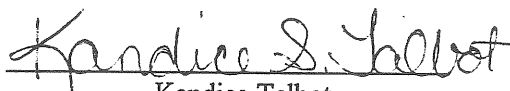


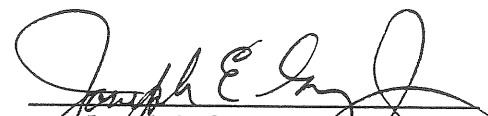
CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Duane G. Kline, Director of Finance
FROM: Kandice Talbot, Planner
DATE: January 23, 1998
RE: 51 Mitton Street, Two Duplexes

The site work associated with the Mitton Street project at 51 Mitton Street, has been reviewed. Please reduce the Key Bank Escrow Account #19177820105714 from \$17,418.00 to \$4,159.80. If you have any questions, please do not hesitate to contact me.


Kandice Talbot
Planner


Joseph E. Gray, Jr., Director
Planning and Urban Development

Duane G. Kline
Director of Finance

From: Duane G Kline
To: JEG, KCOTE
Date: 4/14/98 11:52am
Subject: Graffam

Ward Graffam called me (# 871-0234) with a question on the reduction in his letter or credit, dated 4/13/98.

He wanted to know why it wasn't reduced to \$2,400.

I don't know about this part of it - could you give him a call. Thanks.

TO: Duane G. Kline, Director of Finance
FROM: Kandice Talbot, Planner
DATE: January 23, 1998
RE: 51 Mitton Street, Two Duplexes

The site work associated with the Mitton Street project at 51 Mitton Street, has been reviewed. Please reduce the Key Bank Escrow Account #19177820105714 from \$17,418.00 to \$4,159.80. If you have any questions, please do not hesitate to contact me.

Kandice Talbot
Planner

Joseph E. Gray, Jr., Director
Planning and Urban Development

Duane G. Kline
Director of Finance

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
7. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)				8 Fdn. Shrubs		600.00
				3 Street Trees		
8. MISCELLANEOUS						
TOTAL:						
GRAND TOTAL:		\$6,338.00				\$11,080.00

INSPECTION FEE (to be filled out by City)

	PUBLIC	PRIVATE	TOTAL
A: 1.7% of totals:	<u>108.00</u>	<u>188.00</u>	_____
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____ (name)	_____ (name)	_____



PrivateBank

KeyBank
One Canal Plaza
Portland, ME 04101

**Site Plan/Subdivision
Defect Bond:
Escrow Account/Certificate of Deposit
Account # 19177820105714**

November 4, 1997

Joseph E. Gray, Jr.
Director of Planning and Urban Development
City Hall, 4th Floor
389 Congress Street
Portland, ME 04101

Re: 51 Mitton Street, Portland, Maine

Dear Mr. Gray:

This will certify to you that Key Bank National Association will hold the sum of \$17,418.00 in a certificate of deposit escrow account in the name of the City of Portland established with the Bank. We will hold these funds as escrow agent for the benefit of the City of Portland on the following conditions:

1. These funds represent the estimated cost to correct defects in the workmanship and the durability of all materials used in the construction of the public improvements as set forth in the schedule of costs of improvements for 51 Mitton Street.
2. The City of Portland may draw against the escrow by presentation of a draft in the event that Ward Graffam Jr. has not corrected any defects as outlined above on or before November 6, 1997. Said draft will be accompanied by a written statement that the developer has failed to correct such defect and shall be accompanied by itemized statements showing cost of work to be completed as determined by the Department of Public Works.
3. All costs associated with establishing, maintaining, and disbursing funds from the escrow account shall be borne by Ward Graffam Jr.

Page 2

Defect Bond: Escrow Account/Certificate of Deposit

Dated at Portland, Maine this November 4, 1997


Truly Yours,

KeyBank National Association

By: 
Tracey L. Russell, Assistant Vice-President

Date: 11/3/97

Seen and agreed to:

By: 
Ward I. Graffam Jr.

Date: 11/4/97

Approved pursuant to Sect. 14-5019a) of the Portland City Code:

By: _____ Date: _____
Joseph E. Gray Jr., Director of Planning and Urban Development

By:  - Date: 11/4/97
Natalie Burns, Corporate Counsel

By: _____ Date: _____
Duane Kline, Finance Director

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970046

I. D. Number

Ward I. Graffam, Jr
Applicant
29 Orchard St, Portland, ME 04102
Applicant's Mailing Address
SAA
Consultant/Agent
828-4663 772-1510
Applicant or Agent Daytime Telephone, Fax

8/5/97
Application Date
Mitton St Duplexes
Project Name/Description

51- 67 Mitton St
Address of Proposed Site
191-B-003
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) 2 Duplexes
 24 x 38 each 17,775 Sq Ft R-5
 Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots 2 PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$300.00 Subdivision \$100.00 Engineer Review \$384.00 Date 11/4/97

Planning Approval Status:

Reviewer Kandice Talbot

Approved Approved w/Conditions See Attached Denied

Approval Date 10/14/97 Approval Expiration 10/14/97 Extension to _____
 OK to Issue Building Permit Kandice Talbot 11/5/97 Additional Sheets Attached
 signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input checked="" type="checkbox"/> Performance Guarantee Accepted	<u>11/4/97</u> date	<u>\$17,418.00</u> amount	<u>11/6/97</u> expiration date
<input checked="" type="checkbox"/> Inspection Fee Paid	<u>11/4/97</u> date	<u>\$300.00</u> amount	
<input type="checkbox"/> Building Permit Issued	_____ date		
<input type="checkbox"/> Performance Guarantee Reduced	_____ date	_____ remaining balance	_____ signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____ date	<input type="checkbox"/> Conditions (See Attached)	
<input type="checkbox"/> Final Inspection	_____ date	_____ signature	
<input type="checkbox"/> Certificate Of Occupancy	_____ date		
<input type="checkbox"/> Performance Guarantee Released	_____ date	_____ signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____ submitted date	_____ amount	_____ expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19970046

I. D. Number

Ward I. Graffam, Jr

Applicant

29 Orchard St, Portland, ME 04102

Applicant's Mailing Address

SAA

Consultant/Agent

828-4663 772-1510

Applicant or Agent Daytime Telephone, Fax

8/5/97

Application Date

Mitton St Duplexes

Project Name/Description

51- 67 Mitton St

Address of Proposed Site

191-B-003

Assessor's Reference: Chart-Block-Lot

Planning Conditions for Approval

- that the applicant submit a revised sewer plan in accordance with the recommendations in the memo from Tony Lombardo, dated October 2, 1997 and that the revised plan will be reviewed and approved by Public Works staff.
- that the applicant work with Staff to develop a landscape plan fro open space for the occupants of Lot 1.

CITY OF PORTLAND, MAINE
 DEVELOPMENT REVIEW APPLICATION
 PLANNING DEPARTMENT PROCESSING FORM
 ADDENDUM

19970046

I. D. Number

Ward I. Graffam, Jr

Applicant

29 Orchard St, Portland, ME 04102

Applicant's Mailing Address

SAA

Consultant/Agent

828-4663 772-1510

Applicant or Agent Daytime Telephone, Fax

8/5/97

Application Date

Mitton St Duplexes

Project Name/Description

51- 67 Mitton St

Address of Proposed Site

191-B-003

Assessor's Reference: Chart-Block-Lot

DRC Conditions for Approval

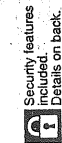
- that the applicant submit an erosion control management plan for staff review and approval prior to issuance of a building permit.
- that the sidewalk and curb cuts be installed in accordance with City of Portland Technical Standards and that a detail be added to the subdivision plan.
- that the plan be revised in accordance with the memo from the Development Review Coordinator, dated October 9, 1997, and be reviewed and approved by Corporation Counsel and the Development Review Coordinator prior to issuance of a building permit.

WARD I. GRAFFAM, JR. 10-94
29 ORCHARD ST. 207-772-6872
PORTLAND, ME 04102-3613

380
52-60/112

11/3 1997

Pay to the order of City of Portland \$ 384.00



Three Hundred Eighty Four and 00/100 Dollars

KEY BANK OF MAINE
PORTLAND, MAINE 04112 133

KEY BANK

For Engineering & Inspection Fee (Inspection)

W. L. S. Dylla

MP

⑆01200608⑆ 191330001378⑈ 0380

© DESIGNER CHECKS - SAFETY CHECK

DUPLICATE

GENERAL RECEIPT

CITY OF PORTLAND, MAINE

DEPARTMENT RDD DATE 11/4/97
RECEIVED FROM David Goffman
ADDRESS _____

UNIT	ITEM	REVENUE CODE	DOLLAR AMOUNT
	Engineering Review		384.00
	51 Milton St		
	Job#		
	19970046		
<input type="checkbox"/> CASH	<input checked="" type="checkbox"/> CHECK	<input type="checkbox"/> OTHER	TOTAL <u>384.00</u>

RECEIVED BY K. S. Dylla

From the desk of...
Kandi Talbot
Planner
City of Portland Planning Department
389 Congress Street, 4th Floor
Portland, ME 04101
874-8300 ext. 8901
Fax: 756-8258

fax

Language that should be added to the subdivision plat is:
"When ownership of lots 1 and 2 are separated, a 15' drainage easement, as shown on this plan, will be created along the back property line of lot 2 for the benefit of lot 1 to provide drainage from lot 1. The owner of lot 1 shall have the right to alter the grade and/or install a culvert pipe within the easement as necessary to provide drainage from lot 1. The owner of lot 1 shall have the right to maintain drainage ditches, swales or pipes within the easement necessary for a properly functioning system. The installation of this drainage system shall be reviewed by the City of Portland Planning Department prior to its construction."

To: Ward Grafam
Fax: 772-1510
From: Kandi Talbot
Date: October 27, 1997
Pages: 1, including cover sheet.

Post-It® Fax Note	7671	Date	10/29/97	# of pages	2
To	Kandi	From	Tony L.		
Co./Dept.	Planning	Co.	Public Works		
Phone #	8701	Phone #	8248		
Fax #	756-8258	Fax #	874-8852		

PUBLIC WORKS I
MEMORANDUM

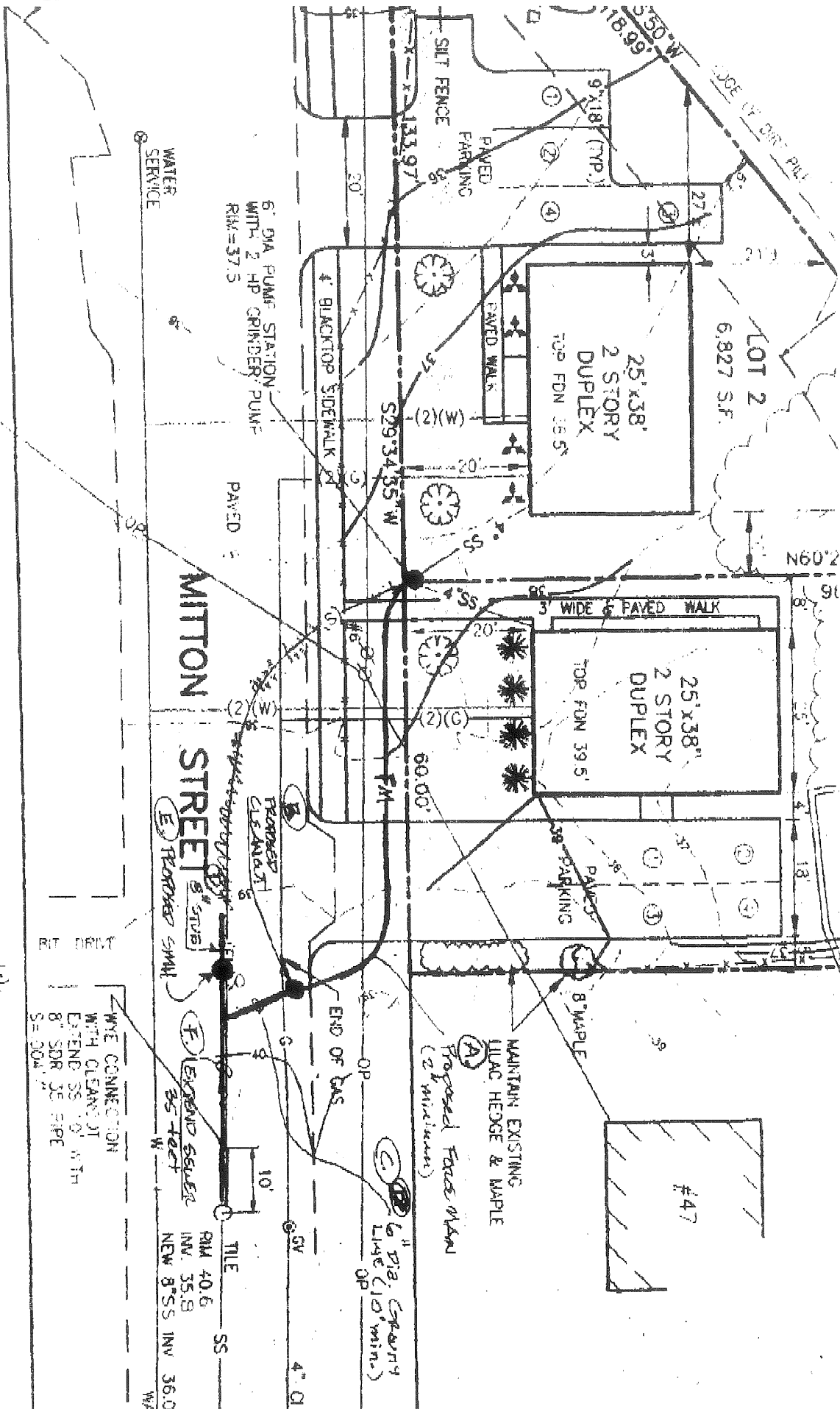
To: Kandi Talbot, Planner
From: Anthony Lombardo, P.E., Project Engineer *ALL*
Date: October 29, 1997
Subject: Mitton Street Subdivision ---Ward Graffam, Jr. Developer

The following comments were generated during Public Works Engineering review of proposed duplex development on Mitton Street and the plans dated September 26, 1997. I have prepared a marked copy of the proposed "Subdivision Plan" designating the required design revisions with the letters A through F. A copy of this mark-up is attached.

- A. Install the proposed 2" sanitary force main in the esplanade as shown on the attached plan.
- B. Install a cleanout which will serve as a terminus manhole for the proposed sanitary force main.
- C. Exit the cleanout with a minimum of (10) ten linear feet of 6" Dia. or 8" Dia. SDR 35 PVC gravity sewer pipe. Connect this gravity sewer into the extended sewer main (item F below) with a wye fitting.
- D. Install an 8" Dia. sanitary sewer stub, (8) eight feet long extending out of the proposed sewer manhole. Plug or cap the end of this stub. The purpose of this stub is for future extension of the sanitary sewer beyond your site.
- E. Install a type "A" sewer manhole as shown on the attached plan.
- F. Public Works is requiring an extension of the existing sanitary sewer main in Mitton Street, approximately (35) thirty-five linear feet beyond the existing sewer manhole. This extension should be made with 8" Dia. SDR 35 PVC pipe.

If these revisions are not clear or if the applicant and his engineer have any further questions, please call me at 874-8300, ext. 8848.

cc: William Bray, P.E., Acting Public Works Director
Bruce Bell, Operations Manager
Katherine Staples, P.E., City Engineer
Anthony W. Lombardo, P.E., Project Engineer
Steve Tibbetts, P.E.



FAK 725-6168

Steve Tibbitts

WIRE CONNECTION WITH CLEANOUT EXTEND 35' WITH 8" SDR 35 PIPE SEE DCA

TILE SS RM 40.6 INV. 35.8 NEW 8"SS INV 36.0

PLANNING BOARD REPORT #40-97

**MITTON STREET DUPLEXES
SITE PLAN AND SUBDIVISION REVIEW
WARD GRAFFAM, JR., APPLICANT**

Submitted to:

Portland Planning Board
Portland, Maine

October 14, 1997

I. INTRODUCTION

Ward Graffam, Jr. is proposing a plan for the construction of two duplex buildings at 51 Mitton Street. The lot, which is 13,709 sq. ft. will be subdivided into two lots. Lot 1 will be 6,882 sq. ft. and Lot 2 will be 6,827 sq. ft. The site is .32 acres and zoned R-5.

161 notices were sent to area property owners. An advertisement of this public hearing appeared in the October 6th and 7th editions of the Portland Press Herald.

II. SUMMARY OF FINDINGS

	<u>Lot 1</u>	<u>Lot 2</u>
Zone:	R-5	R-5
Parcel Size:	6,882 sq. ft.	6,827 sq. ft.
Number of Units:	2	2
Required Parking Spaces:	4	4
Proposed Parking Spaces:	4	4

III. STAFF REVIEW

The proposal has been reviewed for compliance with the Subdivision and Site Plan Ordinance of the Land Use Code.

IV. SUBDIVISION REVIEW

1. Water and Air Pollution

The development will not result in undue water or air pollution.

2/3. Water

The development has sufficient water available for reasonably foreseeable needs and will not cause an unreasonable burden on the existing water supply. A letter from the Portland Water District is included as Attachment 3b.

4. Soil Erosion

The applicant is not proposing any erosion control at this time. The Development Review Coordinator has reviewed the plans and recommends as a potential condition of approval:

- that the applicant submit an erosion control management plan for staff review and approval prior to issuance of a building permit.

5. Traffic

Access to the site will be from Mitton Street. Lot 1 and 2 will have four parking spaces each. The applicant is proposing bituminous sidewalk, but is requesting a waiver of granite curb. Public Works has reviewed this request and recommends that since there is no granite curb existing on Mitton Street and plans to install any in the near future that a waiver of granite curb would be encouraged. A memo from Public Works is included as Attachment 7.

A potential condition of approval:

- that the sidewalk and curb cuts be installed in accordance with City of Portland Technical Standards and that a detail be added to the plan.

6. Sanitary/Stormwater

Sanitary

The applicant is proposing to connect directly into the public sewer for Lot 1 and Lot 2, with a pump tank being installed for Lot 2. Public Works has reviewed this plan and has requested the following:

1. That the applicant must extend the existing sewer main 100 feet southerly down Mitton Street. Then a sewer manhole must be installed, along with an additional 10 feet of sewer main stub extending out of the manhole. The proposed sewer extension and stub must be a minimum of 8" diameter.
2. Size of the proposed sewer force main must be specified.
3. Plans must specify inverts at the buildings and into the pump tank.
4. Plans must specify the pipe sizes, types, slopes and lengths of all proposed sanitary sewers.
5. The proposed force main connection into the City manhole is unacceptable. The applicant must connect into a terminus manhole or cleanout with the force main and then provide a minimum of 10 feet of gravity sewer which must then make a wye connection into the extended sewer main.
6. The proposed gravity sewer connection from Lot 1 is not acceptable as shown on the plan. Applicant must make a wye connection into the proposed sewer extension.

A memo from Public Works is included as Attachment 6. A potential condition of approval is:

- that the applicant submit a revised sewer plan in accordance with the recommendations in the memo from Tony Lombardo, dated October 2, 1997 and that the revised plan will be reviewed and approved by Public Works staff.

Stormwater

The applicant is proposing to take runoff on Lot 2 and have it flow in a southern direction to the street. For Lot 1, the applicant is proposing to leave the back yard in its existing condition, except there may be a possibility of a retaining wall if needed. The Development Review Coordinator has reviewed the plan and has recommended the following:

1. that a 15' drainage easement be established along the back property line in Lot 2 with rights to use the easement by an owner in Lot 1. This easement will allow the owner of Lot 2 to fill the large low spot in the back yard and still be able to grade within the easement to provide drainage from the abutters.
2. that the low area within Lot 1 be marked on the subdivision plat with a suggested note as follows: "No filling of this area is allowed without site plan approval by the Planning Department of the City of Portland." This language shall be included in the deed for Lot 1 as well.
3. that the deeds for each lot incorporating the above items be reviewed and approved before the Board takes final action. (Because of time limitations, staff is recommending that the deeds be submitted and reviewed and approved by Corporation Counsel and the Development Review Coordinator.)
4. that a detail of the possible retaining wall be submitted and approved by staff.
5. that the roof drainage be directed away from the low spot in Lot 1.

A potential condition of approval is:

- that the plan and deeds be revised in accordance with the memo from the Development Review Coordinator, dated October 9, 1997, except that the deeds be reviewed and approved by Corporation Counsel and the Development Review Coordinator instead of the Planning Board.

The Development Review Coordinator's memo is included as Attachment 5.

7. Solid Waste Disposal

Curb side pickup is proposed.

8. Scenic Beauty

This development will not cause an undue adverse effect on the scenic or natural beauty of the area aesthetics, historic sites, significant wildlife habitat or rare and irreplaceable natural area.

9. Comprehensive Plan

This development meets the requirements of the City of Portland Comprehensive Plan.

10. Financial Capability

A letter of Financial Capability is attached.

11. Groundwater

The development as proposed will not adversely affect the quality or quantity of groundwater.

12. Flood Hazard/Shoreland

The development is not located in a flood hazard or shoreland zone.

13. Wetlands

The development site does not include any wetlands.

V. **SITE PLAN REVIEW**

1/2. Traffic

Traffic comments have been consolidated in the subdivision review section.

3. Bulk, Location, Health, Safety and Air

Ward Graffam, Jr., is proposing to construct two 25 ft. x 38 ft. duplexes. The area of Lot 1 is 6,882 sq. ft. and the area of Lot 2 is 6,827 sq. ft.

4. Bulk, Location, Height of Proposed Building

The two duplexes will be 25 ft. x 38 ft. Each building will have townhouse style units with two bedrooms each. The building will be wood frame construction with vinyl siding and trim. The proposed buildings will have a 8/12 roof pitch.

Since the workshop meeting, the applicant has revised the elevations of the left side of the duplex for Lot 1 to include two additional windows for the second floor. Staff has reviewed the left side elevation for Lot 1 and has recommended that the rear door in the dining room/kitchen area be switched with the window to make this elevation fronting on Mitton Street appear as the front of the house. A potential condition of approval is:

- that the Lot 1 left side (Mitton Street) elevation be revised by replacing the first floor, left side window with the rear door.

Elevation drawings are included as Attachment 9.

5. Sewer, Storm Drain and Water

The sewer, storm drain and water comments have been consolidated in the subdivision review section.

6. Landscaping

Proposed are foundation plantings and three new street trees. There is already an existing Maple on Lot 1. The City Arborist has reviewed and approved the plan.

7. Drainage

Drainage has been consolidated in the subdivision review section.

8. Exterior Lighting

The applicant is proposing exterior lighting to each exterior door.

9. Fire

The applicant has submitted a letter to the Fire Department stating that there is a fire hydrant on Powsland Street that is within the required 800 ft. The Fire Department is currently reviewing the plan and comments will be provided at the Public Hearing.

10. City Infrastructure

The proposed development will not place any strain on the City infrastructure as previously discussed in the traffic and stormwater section.

VI. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #40-97 relevant to the standards of Site Plan and Subdivision Review, the Planning Board finds:

- i. That a waiver of granite curb has been requested and that:
 - a. Extraordinary conditions do/do not exist (if yes, please specify those conditions); or
 - b. Undue hardship will/will not result (if yes, please specify the hardship).

The Board further finds that the granting of the waiver will/will not create potentially hazardous vehicle and pedestrian conflict or that it will/will not nullify the intent and purpose of the land development plan and the City ordinances.

As a result, the Board does/does not grant the request for a waiver of the curb requirements.

- ii. That the proposed development is/is not in conformance with the Subdivision Ordinance of the Land Use Code

Potential Conditions of Approval:

- that the applicant submit an erosion control management plan for staff review and approval prior to issuance of a building permit.
- that the sidewalk and curb cuts be installed in accordance with City of Portland Technical Standards and that a detail be added to the plan.
- that the applicant submit a revised sewer plan in accordance with the recommendations in the memo from Tony Lombardo, dated October 2, 1997 and that the revised plan will be reviewed and approved by Public Works staff.
- that the plan and deeds be revised in accordance with the memo from the Development Review Coordinator, dated October 9, 1997, and that the deeds be reviewed and approved by Corporation Counsel and the Development Review Coordinator prior to issuance of a building permit.

- iii. That the proposed development is/is not in conformance with the Site Plan Ordinance of the Land Use Code

Potential Condition of Approval:

- that the Lot 1 left side (Mitton Street) elevation be revised by replacing the first floor, left side window with the rear door.

Attachments

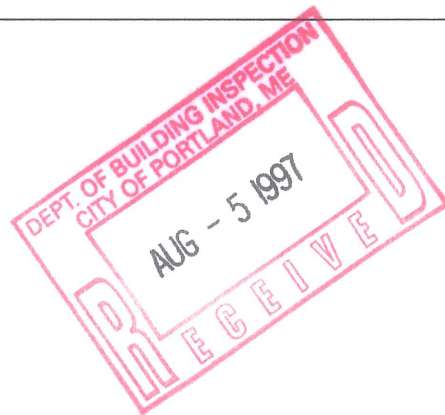
1. Letter from Applicant
2. Letter of Financial Capability
3. Utility Letters
4. Letter re: fire hydrant
5. Memo from Development Review Coordinator
6. Memo from Public Works re: Sewer
7. Memo from Public Works re: Granite Curb
8. Site Plan
9. Elevations

Attachment 1

Ward I. Graffam, Jr.
29 Orchard Street
Portland, ME 04102
828-4663

August 5, 1997

Mr. Alex Jaegerman, Chief Planner
City of Portland
389 Congress Street
Portland, ME 04101



RE: Plan for two duplexes on Mitton Street

Dear Mr. Jaegerman:

I am submitting the attached plan for the construction of two duplex buildings on Mitton street. The plan includes the subdivision of a 13,709 square foot lot into two lots, 6,827 s.f. and 6,882 s.f. respectively.

The two building will be identical in design and have a foundation size of 24 x 38 with second story dimensions of 25 x 38. Each building will have two townhouse style units with two bedrooms each. The buildings will be wood frame construction with vinyl siding and trim. It will be served by public water, sewer and natural gas. Each building will have paved parking for 4 cars.

To assist me with the project, I am working with John Swan of Owen Haskell, Inc. and Steve Harvey of Silver Ridge Homes. If you have any questions or need additional information, please feel free to contact me at the above phone number. I look forward to working with the City of Portland on this project.

Sincerely,

Ward I. Graffam, Jr.

Attachment 1a

Ward I. Graffam, Jr.
29 Orchard Street
Portland, ME 04102
828-4663

August 21, 1997

Mr. Alex Jaegerman, Chief Planner
City of Portland
389 Congress Street
Portland, ME 04101

RE: Waiver for sidewalks and granite curbing for two duplexes on Mitton Street

Dear Mr. Jaegerman:

This letter is an addendum to my letter of August 5th describing my project for building two duplexes on Mitton Street.

Due to the fact that sidewalks and granite curbing are not currently present on the street, I am requesting that I be waived from having to provide them for this property.

Thank you for your time and consideration.

Sincerely,



Ward I. Graffam, Jr.

TOTAL P.01

***** -COMM. JOURNAL- ***** DATE SEP-05-1997 TIME 20:46 *** P.01

MODE = MEMORY TRANSMISSION

START=SEP-05 20:45

END=SEP-05 20:46

FILE NO. = 204

STN NO.	COM	ABBR NO.	STATION NAME/TEL.NO.	PAGES	DURATION
001	OK	*	7721510	001/001	00:00'26"

-FIRST FINANCIAL

***** -207 775 0049 - *****

First Financial Mortgage

BRUCE K. BROWN III

Date: September 05, 1997
To: Ward Graffam
RE: Loan Application

Subject: Progress Report

Please accept this letter as written confirmation that based on the information provided at application I don't anticipate any problems with your construction financing.

if you have any questions please feel free to call.

**WARD I. GRAFFAM, JR.
29 ORCHARD ST.
PORTLAND, ME 04102**

Re: 51 Milton Street



Central Maine Power, Customer Service Center

162 Canco Road, Portland, Maine 04103

1-800-750-4000

Attachment 3

August 25, 1997

Mr. Ward Graffam
29 Orchard St.
Portland, Maine 04102

Subject: 2 Duplex Project 51 Mitton St., Portland, Maine

Dear Mr. Graffam:

This letter is to advise that Central Maine Power Company has sufficient single phase electrical capacity in the area to serve the subject project.

When plans are available, please forward them to me so that I can coordinate our utilities with your project. If you have any questions, or if you need any further information, please call me at 207-828-2869.

Sincerely,

Steve Daniels
Technical Services Advisor

SD/rr

3a



Northern Utilities, Inc.

August 20, 1997

Mr. Ward Graffam, Jr.
29 Orchard Street
Portland, ME 04102

RE: GAS SUPPLY FOR 51 MITTON ST., PORTLAND

Dear Ward:

This letter is confirmation that Northern Utilities has adequate gas supply for heat, hot water and all other gas appliances for the above referenced project.

Please contact us when your plans are finalized and we can discuss the gas service and meter installation in more detail. Thank you.

Sincerely,

NORTHERN UTILITIES

Bill Howard
Sales Representative

3b



225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

August 27, 1997

Customer Service Hotline (207) 761-8310

(207) 774-5961

FAX (207) 761-8307

Ward Graffan, Jr.
29 Orchard St.
Portland, Me. 04102

Re: 51 Mitton St. -Portland

Dear Ward,

There should be an adequate supply of clean and healthful water to supply a domestic water service to the property mentioned above. The only thing in question is, the existing water main in Mitton Street must extend to the center line of the property or the center line of the proposed building in order for the District to serve the property.

The nearest hydrant (1083), Congress St. @ Mitton St. has a static pressure of 82PSI and a flow rate of 1311Gpm. Please bear in mind the main at the lower end of Mitton St. is only 2 1/4 in size.

If you have further questions please let me know.

Sincerely,
Portland Water district

A handwritten signature in cursive script, appearing to read "Jim Pandiscio".

Jim Pandiscio
Means Coordinator

Encl/map

Attachment 4

OWEN HASKELL, INC.

Professional Land Surveyors

16 Casco Street • Portland, Maine 04101 - 2979 • 207/774-0424 • FAX 774-0511

October 8, 1997

Kandy Talbot
Planning Department
City of Portland
Portland, ME 04101

RE: 97132 P Ward Graffam, Site and Subdivision Plan, Mitton Street

Dear Kandy,

The fire hydrant on Powsland Street, which is noted on the above referenced plan, is less than 800 feet from the proposed development.

If you have any questions, please contact this office.

Very truly yours,

OWEN HASKELL, INC.

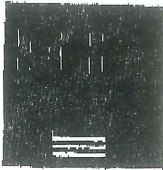
Handwritten signature of John C. Schwanda, PLS #1252

John C. Schwanda

JCS:brc

File: 97132-01-JCSLWP

Attachment 5



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS
778 MAIN STREET
SUITE 6
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: October 9, 1997

RE: Mitton Street Subdivision
2 Duplexes

I have reviewed the revised site plan and offer the following comments:

1. Recommend that a 15' drainage easement be established along the back property line in lot 2 with rights to use the easement by an owner in lot 1. This easement will allow the owner of lot 2 to fill the large low spot in the back yard and still be able to grade within the easement to provide drainage from the abutters.
2. Recommend that the low area within lot 1 be marked on the subdivision plat with a suggested note as follows: "No filling of this area is allowed without site plan approval by the Planning Department of the City of Portland". Recommend that this language be included in the deed for lot 1 as well.
3. Recommend that the deeds for each lot incorporating items 1 and 2 above be reviewed and approved before the Board takes final action.
4. Recommend that the elevation of the sidewalk be located per the typical section for a minor residential street; i.e. 4' esplanade from a future curb line and 7" above the future gutter grade.
5. Recommend that the curb cuts conform to Portland standards.
6. A detail for the "possible stone wall" is needed.
7. Will power, telephone and cable TV be underground? If so than the plan should show them.

DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

8. The sewer services should be revised per Public Works comments.
9. Recommend that the roof drainage be directed away from the low spot in lot 1.
10. An erosion control management plan is required.

Should you have any questions please call.

JN1353.02/disk3/mitdplx2.doc

Attachment 6

From: Anthony Lombardo
To: kcote
Date: 10/2/97 4:46pm
Subject: Mitton St-----Ward Graffam, JR.

Kandi

1. Applicant must extend existing sewer main 100 feet southerly down Mitton St. Then the applicant must install a sewer manhole at this point. An additional 10 feet of sewer main stub must extend out of the manhole.

The proposed sewer extension and stub must be a minimum 8" Diameter SDR35 pipe.

2. Applicant must specify the size of the proposed sewer force main.

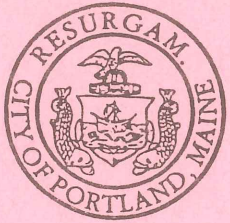
3. Plans must specify inverts at the buildings and into the pump tank.

4. Plans must specify the pipe sizes, types, slopes and lengths of all proposed sanitary sewers.

5. The proposed force main connection into the City manhole is unacceptable. Applicant must connect into a terminus manhole or cleanout with the force main and then provide a minimum of 10 feet of gravity sewer which must then make a wye connection into the extended sewer main. Details of these connections can be supplied, on request, by Public Works Engineering.

6. The proposed gravity sewer connection from Lot 1 is not acceptable as shown on the plan. Public Works does not allow direct connections of sewer laterals into City manholes. Applicant must make a wye connection into the proposed sewer extension.

Applicant may contact me at Public Works for more detailed information. If you, Kandi, have any more questions please call.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Kandi Talbot, Planner
FROM: Nancy Knauber, Inspector/Associate Engineer
DATE: October 10, 1997
SUBJECT: 51 Mitton Street

Since there is no curb on Mitton Street and there are no plans to install any, I can't see any reason to require it from this developer.

1353.02 DHA1

CITY OF PORTLAND, MAINE ENGINEERING REVIEW FORM

Address of Proposed Site 51-67 MITTON ST. Date 9/27/97

Project Description 2 LOT SUBDIVISION w/ 2 DUPLEXES Job # _____

Applicant WARD GRATTAM, JR.

Applicant's Mailing Address 29 ORCHARD ST, PORTLAND ME 04102

Site Review
(Planning Department)

Right-of-Way Review
(Public Works Department)

Review Engineer: Jim Wender

Review Engineer: _____

Number of Estimated Hours: 8

Number of Estimated Hours: _____

Cost Per Hour: 48.00

Cost Per Hour: _____

Total Amount: 384.00

Total Amount: _____

An engineering fee has been assessed in the amount of _____ for the review of your project located at _____.

Please make check payable to the City of Portland. The check should be submitted along with this form to the Portland Planning Department, City of Portland, 4th Floor, 389 Congress Street, Portland, ME 04101. Attn: _____

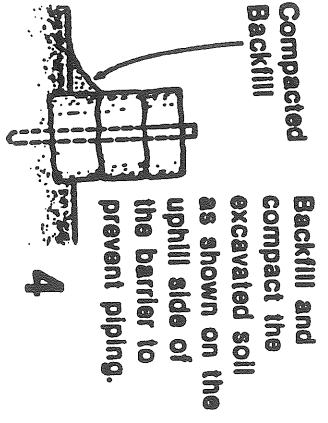
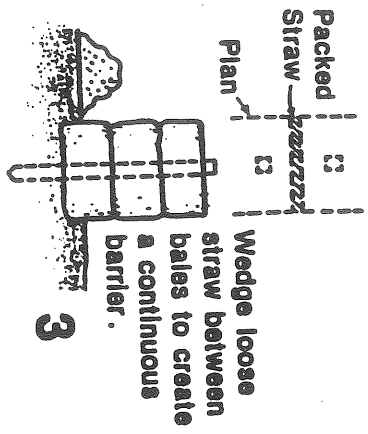
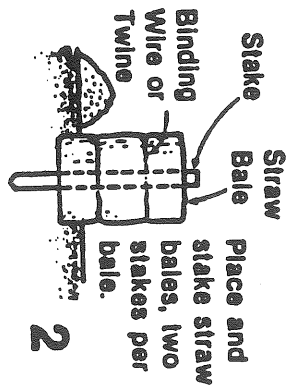
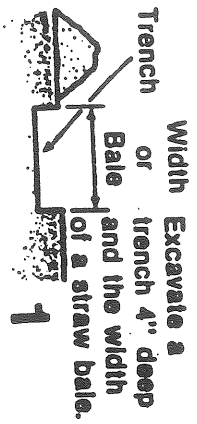
Office Use Only	
Invoice Date: _____	Received: _____ date
Planning Revenue Code: _____	
Public Works Revenue Code: _____	

- cc: Applicant - white
- Planner - blue
- Engineer - green
- Public Works - yellow
- Financial Officer - pink
- Review/Inspection Fee File - golden

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
7 LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)				8 Fdn. Shrubs		
				3 Street Trees		600.00
8 MISCELLANEOUS						
TOTAL:						
GRAND TOTAL:		\$6,338.00				\$11,080.00

INSPECTION FEE (to be filled out by City)

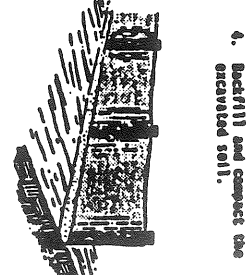
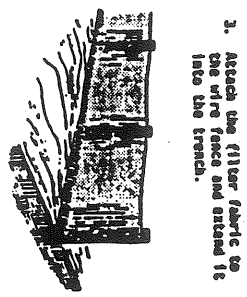
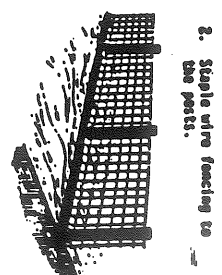
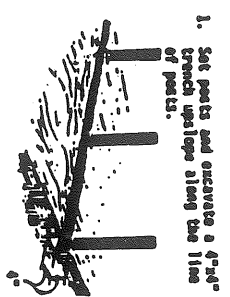
	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 1.7% of totals:			
or			
B: Alternative Assessment:			
Assessed by:	(name)	(name)	



HAY BALE BARRIERS

ATTACHMENT "A"
EROSION CONTROL DETAILS

ON
MITTON STREET, PORTLAND, MAINE
MADE FOR
WARD I. GRAFFAM, JR.
29 ORCHARD STREET, PORTLAND, MAINE



SILT FENCE



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

78 MAIN STREET
SUITE 9
SOUTH PORTLAND, MAINE 04106
TEL. 207 875 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: October 14, 1997

RE: Milton Street Subdivision
2 Duplexes

I have reviewed the language proposed by the applicant for the drainage easement to be placed on the subdivision plat in response to item 1 in my memo dated October 9, 1997. I offer the following revision:

"When ownership of lots 1 and 2 are separated, a 15' drainage easement, as shown on this plan, will be created along the back property line of lot 2 for the benefit of lot 1 to provide drainage from lot 1. The owner of lot 1 shall have the right to alter the grade and/or install a culvert pipe within the easement necessary to provide drainage from lot 1. The owner of lot 1 shall have the right to maintain drainage ditches, swales or pipes within the easement necessary for a properly functioning system."

The installation of this drainage system shall be reviewed by City of Portland Plan Dept prior to its construction.

I would suggest that you have Natalie review the language as well.

Should you have any questions please call.

JN1353.02/disk3/mitdplx3.doc

772-1510

Action Items

879-6896

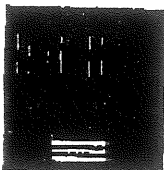
- 1) Review the following notes on the subdivision plan:

When ownership of Lot no's 1 and 2 are separated a 15" drainage easement, as shown in this plan, will be created along the back property line of Lot no. 2 for the benefit of Lot no. 1 to provide drainage from Lot no. 1.

- 2) Draw the 15" strip for the easement on the plan.

- 3) Record the final subdivision plan in the registry.

Always et #1 for requests



DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

779 MAIN STREET
SUITE 4
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 875 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

TO: Kandi Talbot, Planner

FROM: Jim Wendel, P.E., Development Review Coordinator

DATE: October 9, 1997

RE: Mitton Street Subdivision
2 Duplexes

I have reviewed the revised site plan and offer the following comments:

1. Recommend that a 15' drainage easement be established along the back property line in lot 2 with rights to use the easement by an owner in lot 1. This easement will allow the owner of lot 2 to fill the large low spot in the back yard and still be able to grade within the easement to provide drainage from the abutters.
2. Recommend that the low area within lot 1 be marked on the subdivision plat with a suggested note as follows; "No filling of this area is allowed without site plan approval by the Planning Department of the City of Portland". Recommend that this language be included in the deed for lot 1 as well.
3. Recommend that the deeds for each lot incorporating items 1 and 2 above be reviewed and approved before the Board takes final action.
4. Recommend that the elevation of the sidewalk be located per the typical section for a minor residential street; i.e. 4' esplanade from a future curb line and 7" above the future gutter grade.
5. Recommend that the curb cuts conform to Portland standards.
6. A detail for the "possible stone wall" is needed.
7. Will power, telephone and cable TV be underground? If so than the plan should show them.

DeLUCA HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

8. The sewer services should be revised per Public Works comments.
9. Recommend that the roof drainage be directed away from the low spot in lot 1.
10. An erosion control management plan is required.

Should you have any questions please call.

JN1353.02/disk3/mitdplx2.doc

From: Anthony Lombardo
To: kcote
Date: 10/2/97 4:46pm
Subject: Mitton St-----Ward Graffam, JR.

Kandi

1. Applicant must extend existing sewer main 100 feet southerly down Mitton St. Then the applicant must install a sewer manhole at this point. An additional 10 feet of sewer main stub must extend out of the manhole.

The proposed sewer extension and stub must be a minimum 8" Diameter SDR35 pipe.

2. Applicant must specify the size of the proposed sewer force main.

3. Plans must specify inverts at the buildings and into the pump tank.

4. Plans must specify the pipe sizes, types, slopes and lengths of all proposed sanitary sewers.

5. The proposed force main connection into the City manhole is unacceptable. Applicant must connect into a terminus manhole or cleanout with the force main and then provide a minimum of 10 feet of gravity sewer which must then make a wye connection into the extended sewer main. Details of these connections can be supplied, on request, by Public Works Engineering.

6. The proposed gravity sewer connection from Lot 1 is not acceptable as shown on the plan. Public Works does not allow direct connections of sewer laterals into City manholes. Applicant must make a wye connection into the proposed sewer extension.

Applicant may contact me at Public Works for more detailed information. If you, Kandi, have any more questions please call.

CITY OF PORTLAND, MAINE
MEMORANDUM

TO: Chair Hagge and Members of the Portland Planning Board
FROM: Kandice Talbot, Planner
DATE: September 23, 1997
SUBJECT: Mitton Street Duplexes

Ward Graffam, Jr. is proposing a plan for the construction of two duplex buildings at 51 Mitton Street. The lot, which is 13,709 sq. ft., will be subdivided into two lots. Lot 1 will be 6,882 sq. ft. and Lot 2 will be 6,827 sq. ft. The site is .32 acres and zoned R-5.

Access/Circulation

Access will be from Mitton Street. Parking on Lot 1 will be north of the building with four (4) parking spaces. Parking for Lot 2 will be located south of the duplex with four (4) parking spaces. Each parking area will be paved.

The applicant is requesting a waiver of granite curb and sidewalk. Presently, Mitton Street does not have granite curb. On both sides of Mitton Street, there are sporadic areas of asphalt sidewalk. The site does abut the Willow project, which was approved with sidewalk on both sides of the street.

Utilities

The site is served by City sewer and public water. The applicant will be extending the sewer line in Mitton Street to the center of Lot 2. It has been recommended that the applicant install a manhole structure to connect the sewer line into. Letters from Utility Companies are attached.

Drainage

The applicant is proposing that runoff will flow from Lot 1 through Lot 2 to a catch basin south of the property.

This lot is a natural drainage course for all runoff in the area. The Development Review Coordinator is concerned that there may be some ponding in the north corner of Lot 1 and possibly on the abutting property. Staff has requested that the applicant provide more spot grades around the site to determine if there is a potential problem.

Landscaping

The applicant is proposing two (2) street trees on each lot. The applicant is also proposing foundation plantings along the front of each duplex.

maybe shared driveway to both lots look into

- reconfigure bldgs - maybe less paving
- get PW's input on granite curb
- sidewalk should be shown on plan

Lot #2 curb cut too wide - look at reconfiguring parking area

- Is not going to change Lot #1 grading - Leave as is.

Building Design

The two duplexes will be 25 ft. x 38 ft. Each building will have two townhouse style units with two bedrooms each. The buildings will be wood frame construction with vinyl siding and trim. Elevation drawings will be provided at the workshop meeting.

Attachments:

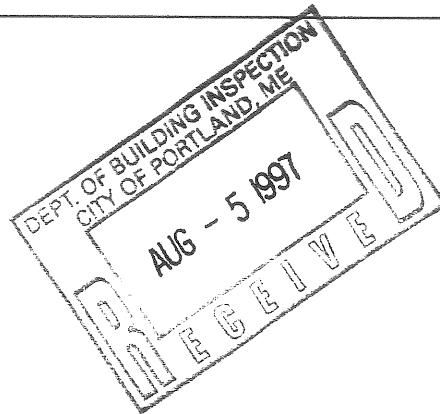
1. Letter from Applicant
2. Letter of Financial Capability
3. Utility Letters
4. Site Plan

- Lot # 1 - elevation needs to be spruced up on the north side

Ward I. Graffam, Jr.
29 Orchard Street
Portland, ME 04102
828-4663

August 5, 1997

Mr. Alex Jaegerman, Chief Planner
City of Portland
389 Congress Street
Portland, ME 04101



RE: Plan for two duplexes on Mitton Street

Dear Mr. Jaegerman:

I am submitting the attached plan for the construction of two duplex buildings on Mitton street. The plan includes the subdivision of a 13,709 square foot lot into two lots, 6,827 s.f. and 6,882 s.f. respectively.

The two building will be identical in design and have a foundation size of 24 x 38 with second story dimensions of 25 x 38. Each building will have two townhouse style units with two bedrooms each. The buildings will be wood frame construction with vinyl siding and trim. It will be served by public water, sewer and natural gas. Each building will have paved parking for 4 cars.

To assist me with the project, I am working with John Swan of Owen Haskell, Inc. and Steve Harvey of Silver Ridge Homes. If you have any questions or need additional information, please feel free to contact me at the above phone number. I look forward to working with the City of Portland on this project.

Sincerely,

Ward I. Graffam, Jr.

Attachment 1a

Ward I. Graffam, Jr.
29 Orchard Street
Portland, ME 04102
828-4663

August 21, 1997

Mr. Alex Jaegerman, Chief Planner
City of Portland
389 Congress Street
Portland, ME 04101

RE: Waiver for sidewalks and granite curbing for two duplexes on Mitton Street

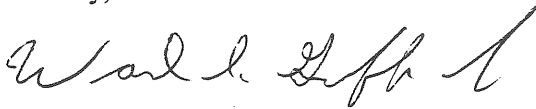
Dear Mr. Jaegerman:

This letter is an addendum to my letter of August 5th describing my project for building two duplexes on Mitton Street.

Due to the fact that sidewalks and granite curbing are not currently present on the street, I am requesting that I be waived from having to provide them for this property.

Thank you for your time and consideration.

Sincerely,



Ward I. Graffam, Jr.

TOTAL P.01

***** -COMM. JOURNAL- ***** DATE SEP-25-1997 TIME 20:46 P.01

MODE = MEMORY TRANSMISSION

START=SEP-25 20:45

END=SEP-25 20:46

FILE NO. = 204

STN NO.	COM	ABBR NO.	STATION NAME/TEL.NO.	PAGES	DURATION
001	OK	S	7721510	001/001	00:00'25"

-FIRST FINANCIAL

***** -207 775 0049 - ***** 207 775 0049- *****

First Financial Mortgage

BRUCE K. BROWN III

Date: September 05, 1997

To: Ward Graffam

RE: Loan Application

Subject: Progress Report

Please accept this letter as written confirmation that based on the information provided at application I don't anticipate any problems with your construction financing.

If you have any questions please feel free to call.

**WARD I. GRAFFAM, JR.
29 ORCHARD ST.
PORTLAND, ME 04102**

Re: 56 Milton Street

BSM

CONFIDENTIAL

Page 1



Central Maine Power, Customer Service Center
162 Canco Road, Portland, Maine 04103

1-800-750-4000

August 25, 1997

Mr. Ward Graffam
29 Orchard St.
Portland, Maine 04102

Subject: 2 Duplex Project 51 Mitton St., Portland, Maine

Dear Mr. Graffam:

This letter is to advise that Central Maine Power Company has sufficient single phase electrical capacity in the area to serve the subject project.

When plans are available, please forward them to me so that I can coordinate our utilities with your project. If you have any questions, or if you need any further information, please call me at 207-828-2869.

Sincerely,

A handwritten signature in cursive script that reads "Steve Daniels".

Steve Daniels
Technical Services Advisor

SD/tr

3a



Northern Utilities, Inc.

August 20, 1997

Mr. Ward Graffam, Jr.
29 Orchard Street
Portland, ME 04102

RE: GAS SUPPLY FOR 51 MITTON ST., PORTLAND

Dear Ward:

This letter is confirmation that Northern Utilities has adequate gas supply for heat, hot water and all other gas appliances for the above referenced project.

Please contact us when your plans are finalized and we can discuss the gas service and meter installation in more detail. Thank you.

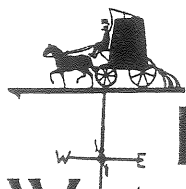
Sincerely,

NORTHERN UTILITIES

A handwritten signature in cursive script that reads "Bill Howard".

Bill Howard
Sales Representative

3b



Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553

August 27, 1997

Customer Service Hotline (207) 761-8310
(207) 774-5961
FAX (207) 761-8307

Ward Graffan, Jr.
29 Orchard St.
Portland, Me. 04102

Re: 51 Mitton St. -Portland

Dear Ward,

There should be an adequate supply of clean and healthful water to supply a domestic water service to the property mentioned above. The only thing in question is, the existing water main in Mitton Street must extend to the center line of the property or the center line of the proposed building in order for the District to serve the property.

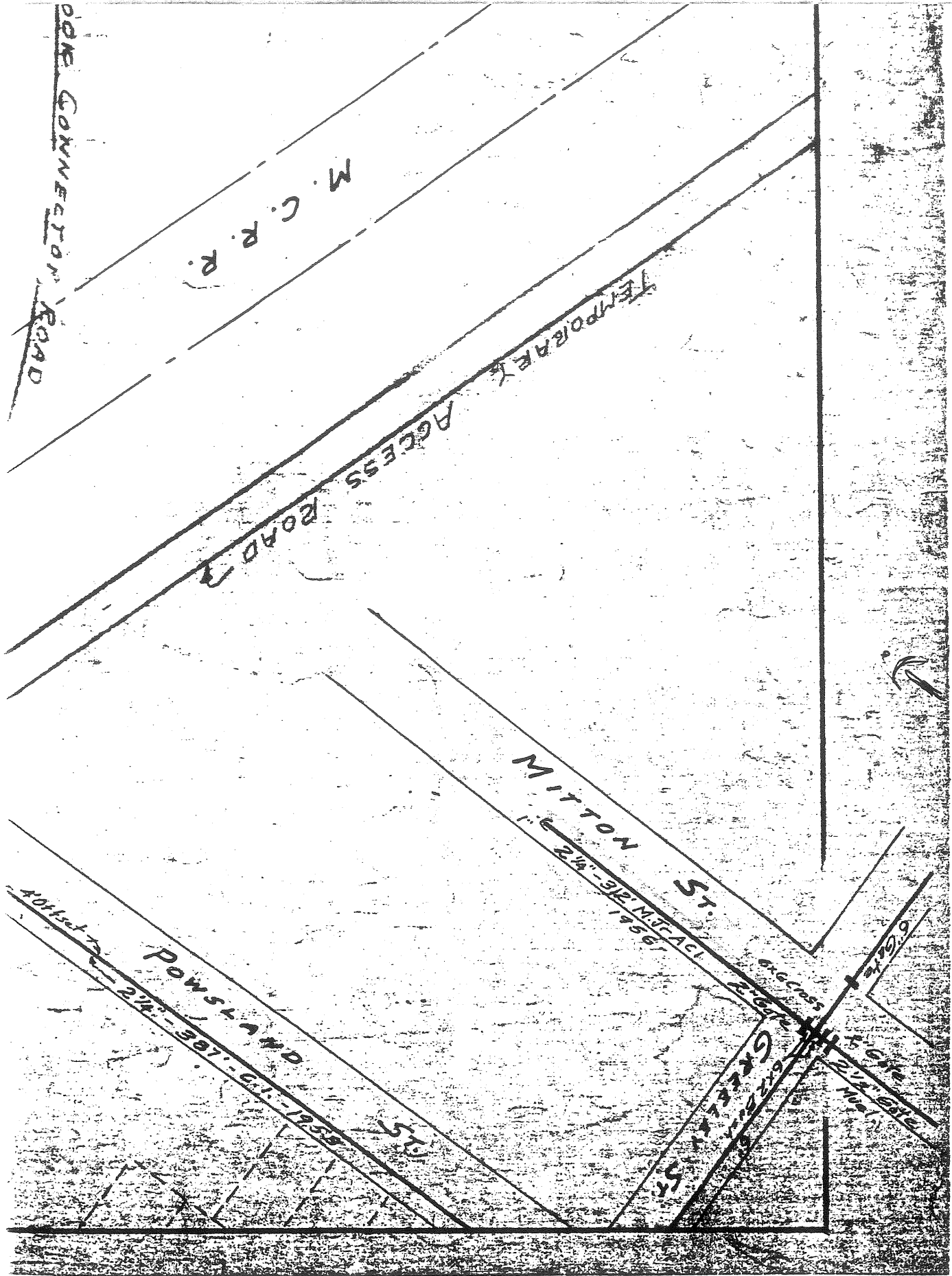
The nearest hydrant (1083), Congress St. @ Mitton St. has a static pressure of 82PSI and a flow rate of 1311Gpm. Please bear in mind the main at the lower end of Mitton St. is only 2 1/4 in size.

If you have further questions please let me know.

Sincerely,
Portland Water district

Jim Pandiscio
Means Coordinator

Encl/map



1" = 100' (+)

City of Portland, Maine Planning Department

City Hall
389 Congress Street, 4th Floor
Portland, Maine 04101
Fax Number: 756-8258

FAX TRANSMISSION COVER SHEET

TO: Ward Graffam

COMPANY: _____

FROM: Kandi Talbot

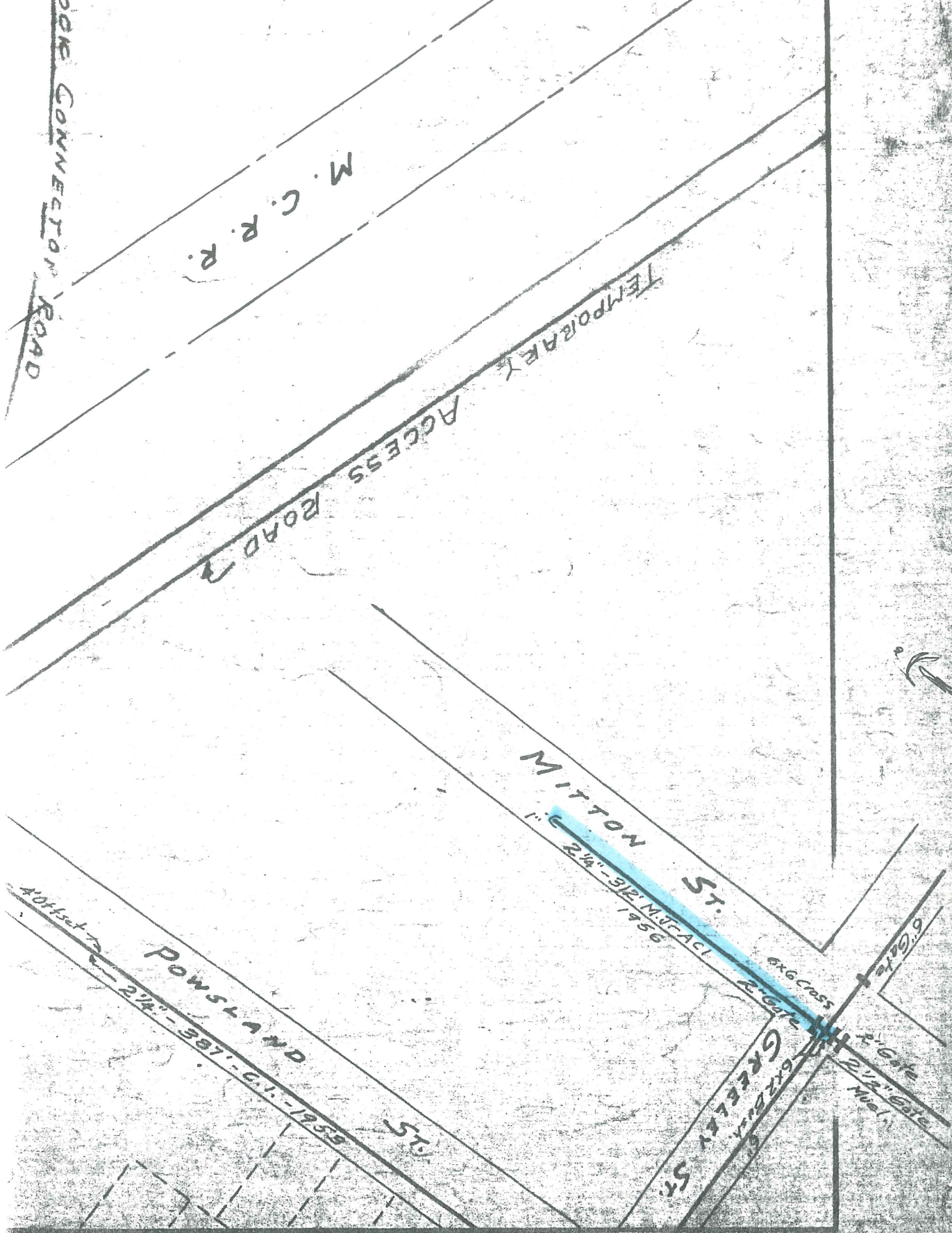
FAX #: 772-1510

OF PAGES: 2

DATE: October 3, 1997

RE: Comments regarding
Milton Street

If you do not receive all of the pages, please call 874-8721 or 874-8719.



1" = 100' (±)

Ward I. Graffam, Jr.
29 Orchard Street
Portland, ME 04102
828-4663

August 5, 1997

Mr. Alex Jaegerman, Chief Planner
City of Portland
389 Congress Street
Portland, ME 04101

RE: Plan for two duplexes on Mitton Street

Dear Mr. Jaegerman:

I am submitting the attached plan for the construction of two duplex buildings on Mitton street. The plan includes the subdivision of a 13,709 square foot lot into two lots, 6,827 s.f. and 6,882 s.f. respectively.

The two building will be identical in design and have a foundation size of 24 x 38 with second story dimensions of 25 x 38. Each building will have two townhouse style units with two bedrooms each. The buildings will be wood frame construction with vinyl siding and trim. It will be served by public water, sewer and natural gas. Each building will have paved parking for 4 cars.

To assist me with the project, I am working with John Swan of Owen Haskell, Inc. and Steve Harvey of Silver Ridge Homes. If you have any questions or need additional information, please feel free to contact me at the above phone number. I look forward to working with the City of Portland on this project.

Sincerely,



Ward I. Graffam, Jr.



OWEN HASKELL, INC.

Professional Land Surveyors

16 CAROL Street • Portland, Maine 04101 • 2979 • 207/774-0424 • FAX 774-0511

October 8, 1997

Kandy Talbot
Planning Department
City of Portland
Portland, ME 04101

RE: 97132 P Ward Graffam, Site and Subdivision Plan, Mitton Street

Dear Kandy,

The fire hydrant on Powsland Street, which is noted on the above referenced plan, is less than 800 feet from the proposed development.

If you have any questions, please contact this office.

Very truly yours,

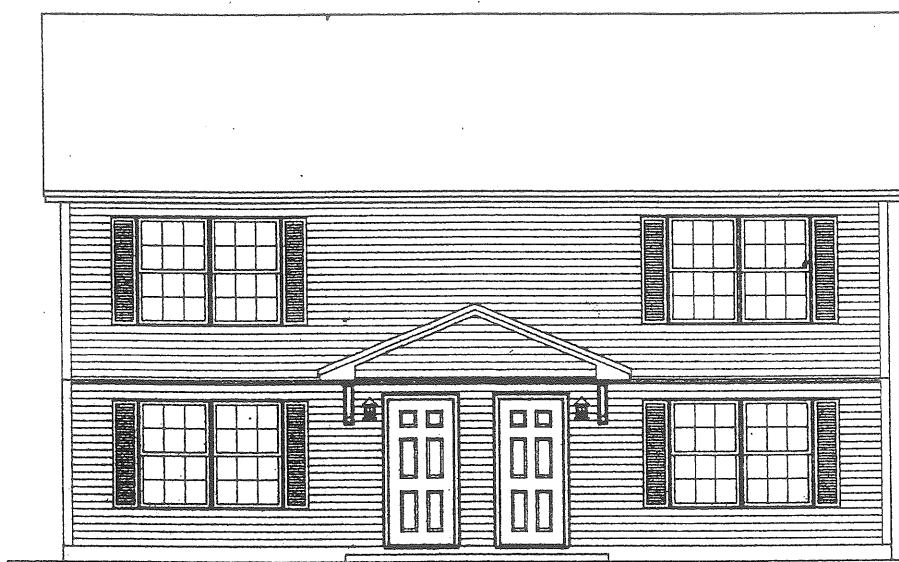
OWEN HASKELL, INC.

Handwritten signature of John C. Schwanda, PLS #1252

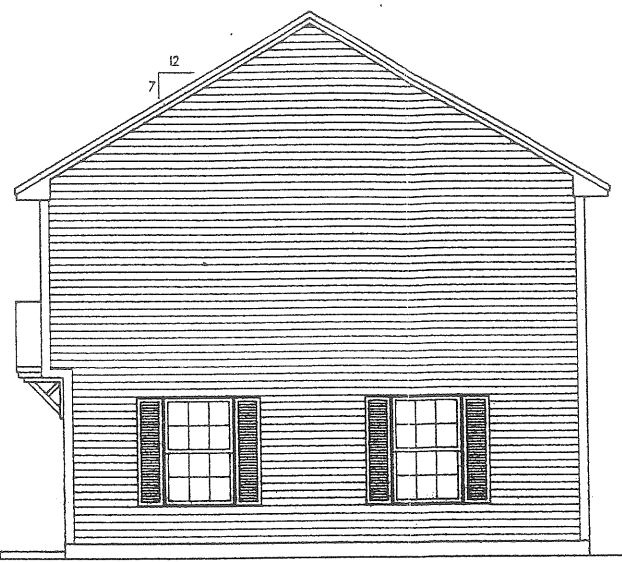
John C. Schwanda

JCS:brc

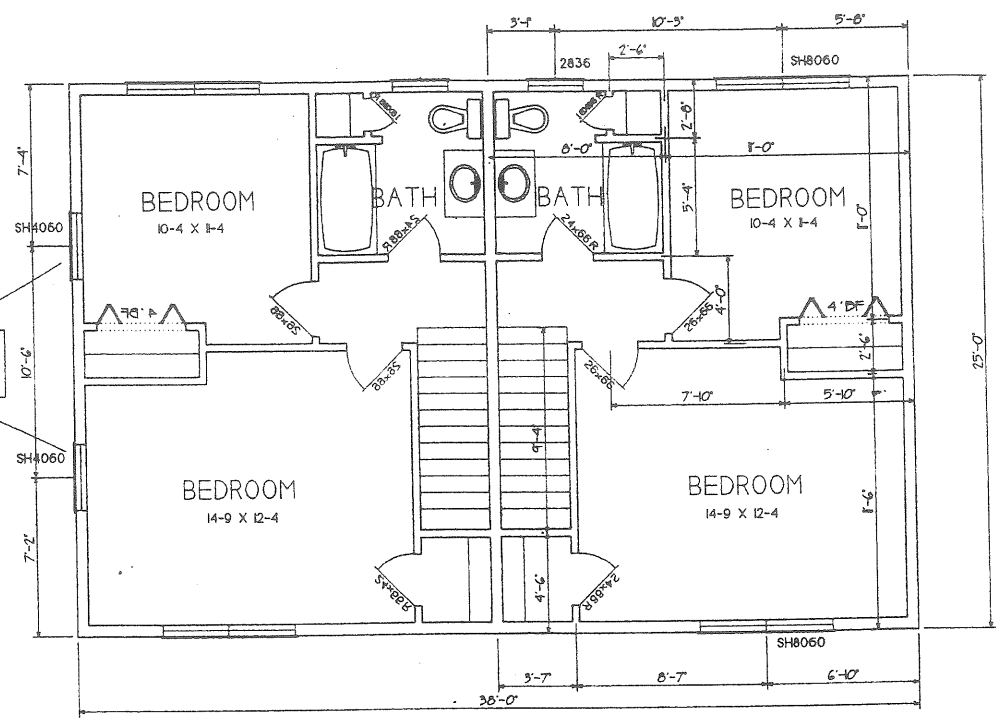
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FRONT ELEVATION

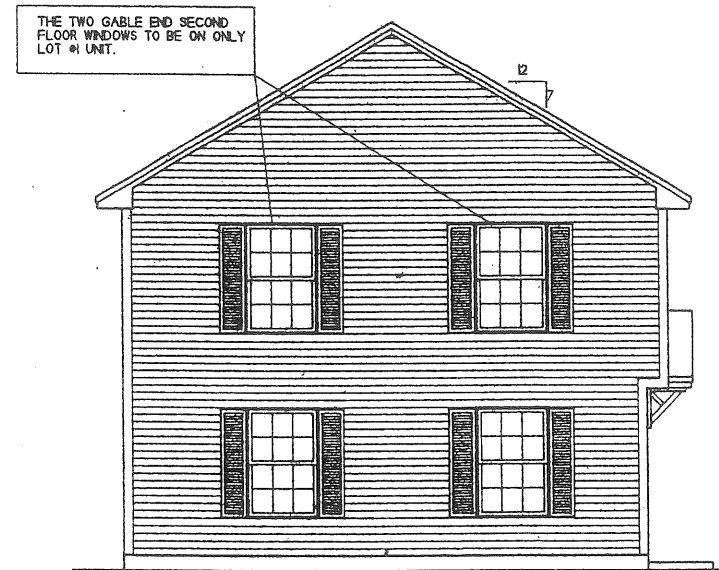


RIGHT SIDE ELEVATION

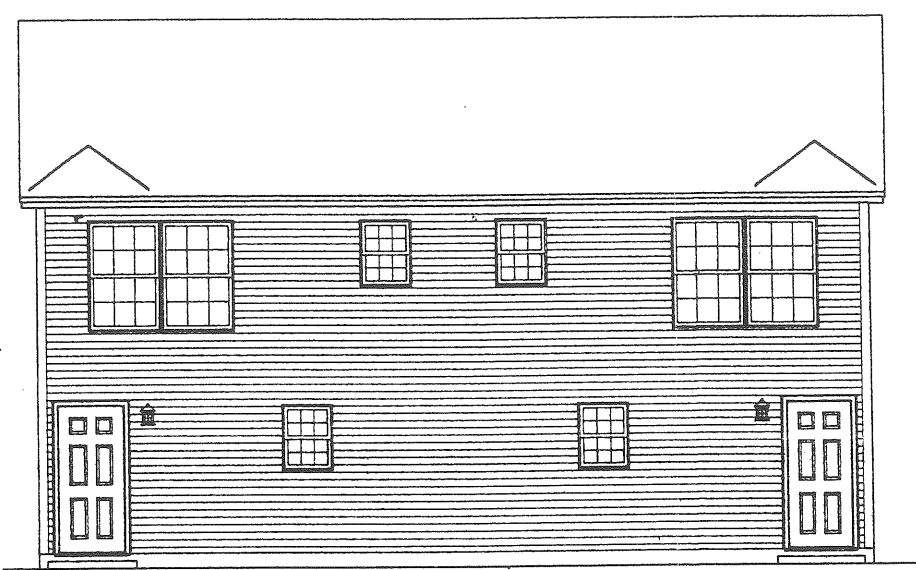


SECOND FLOOR PLAN

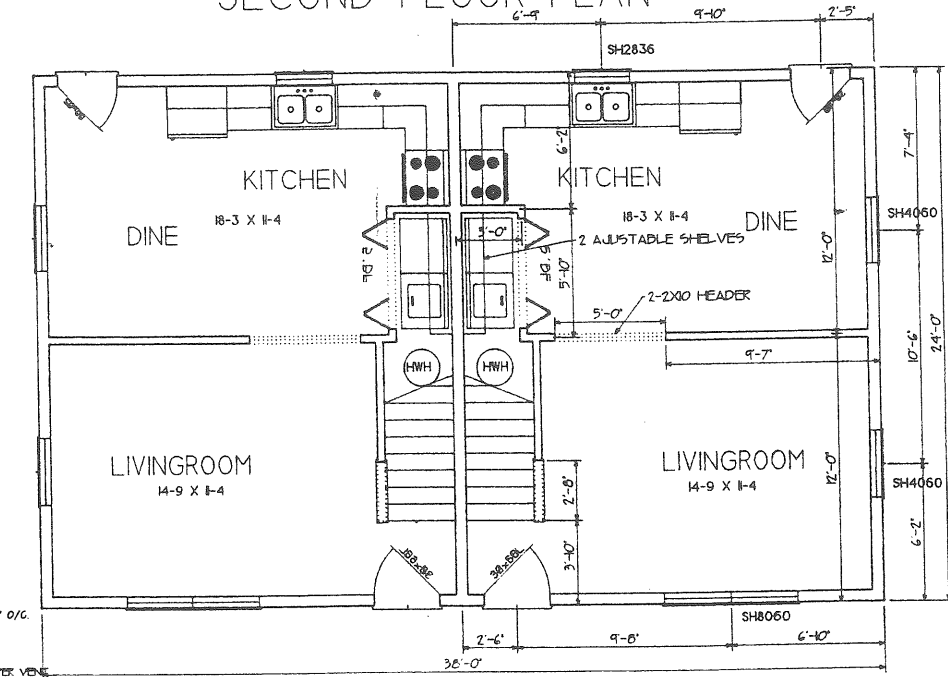
THE TWO GABLE END SECOND FLOOR WINDOWS TO BE ON ONLY LOT #1 UNIT.



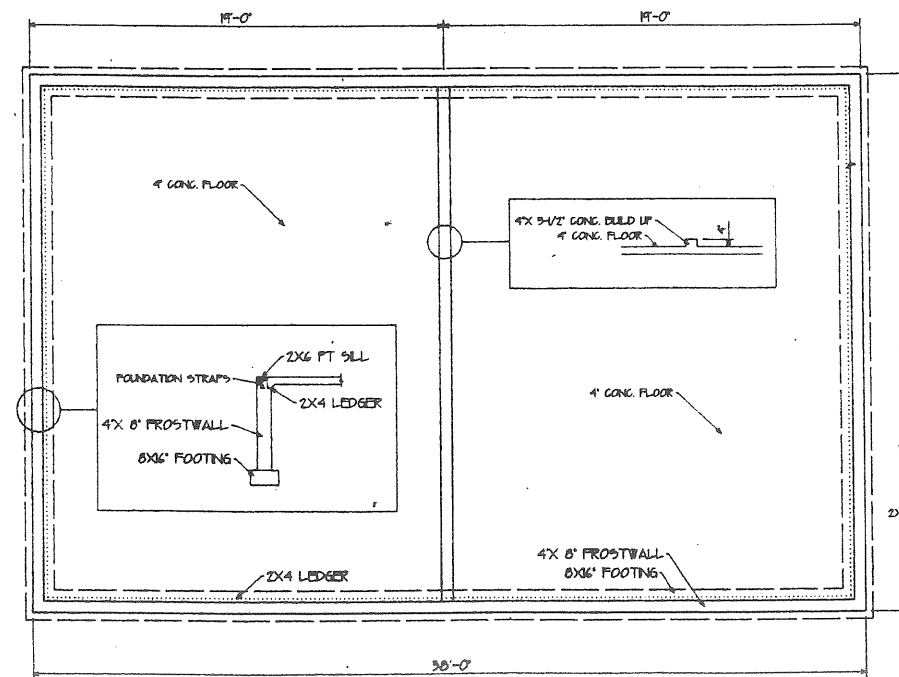
LEFT SIDE ELEVATION



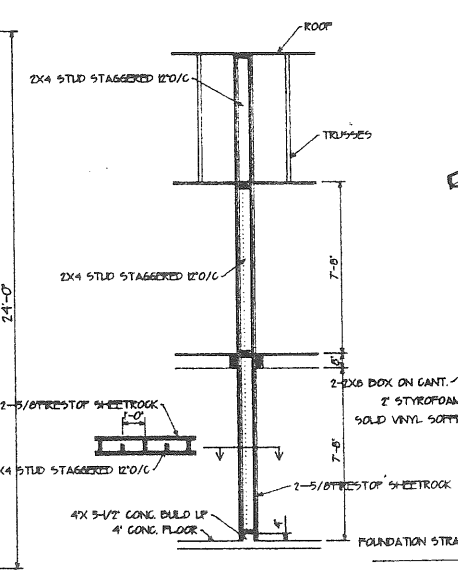
FRONT ELEVATION



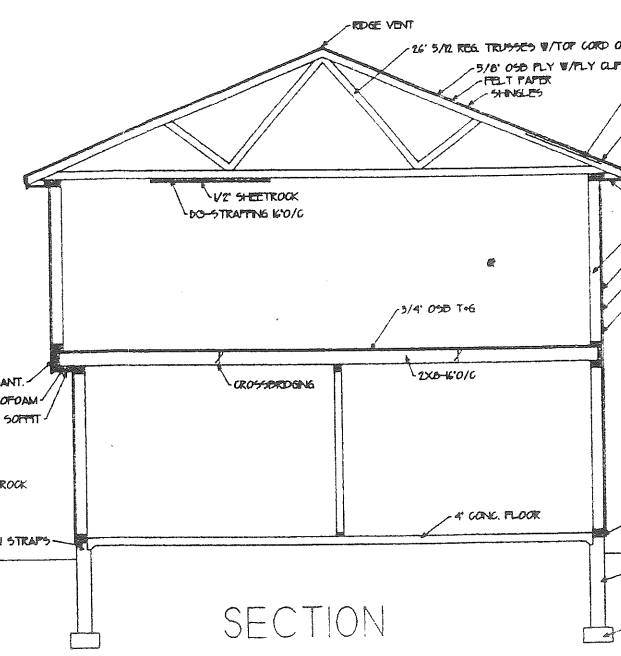
FIRST FLOOR PLAN



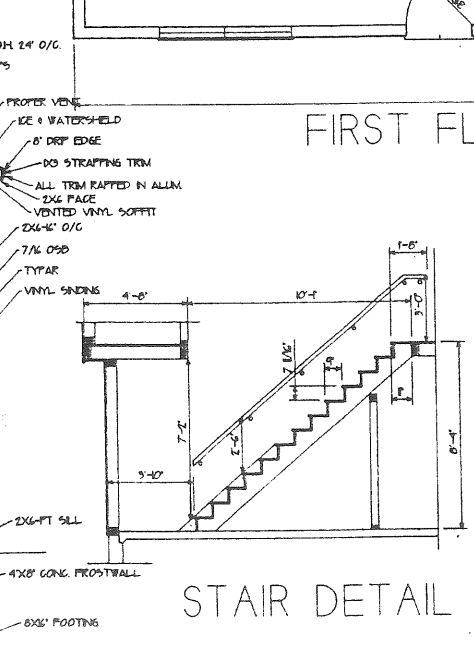
FOUNDATION PLAN



FIREWALL



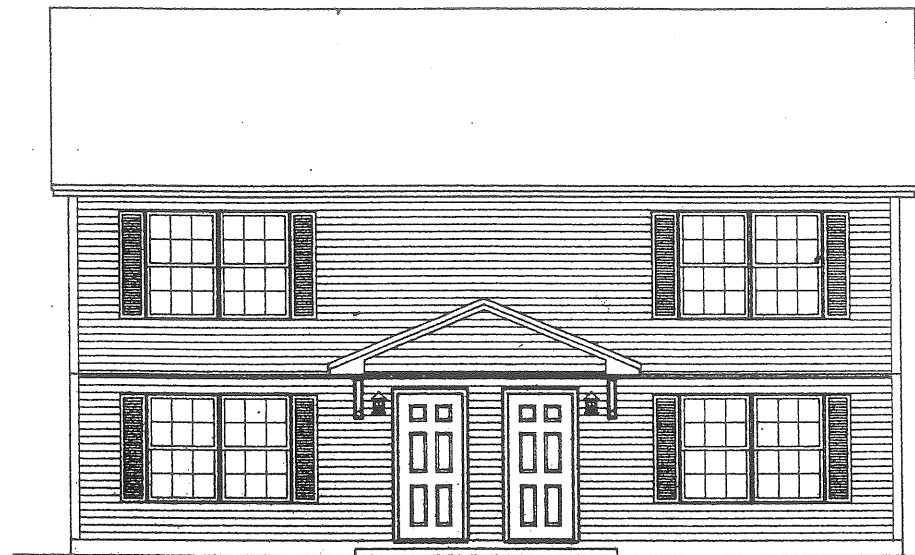
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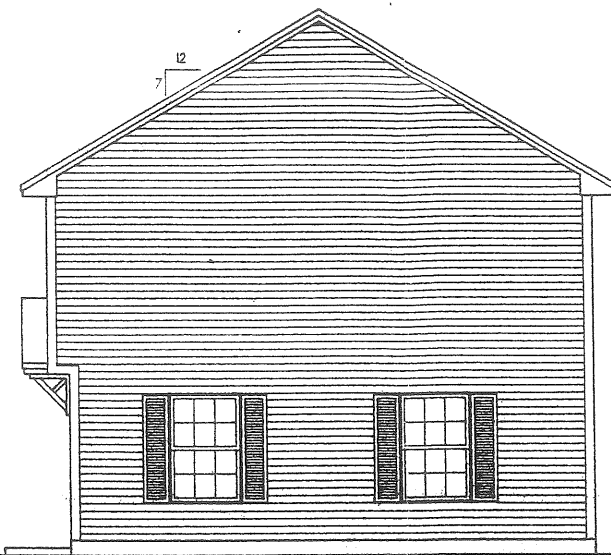
STAIR DETAIL

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF SILVER RIDGE CUSTOM HOMES INC. CUSTOMERS SHOULD APPRECIATE HOWEVER THAT THIS INFORMATION IS NOT THE PRODUCT OF ANY ARCHITECT. NEITHER SILVER RIDGE CUSTOM HOMES INC. DESIGN OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT BY PROVIDING YOU WITH THIS INFORMATION SILVER RIDGE CUSTOM HOMES INC. DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.

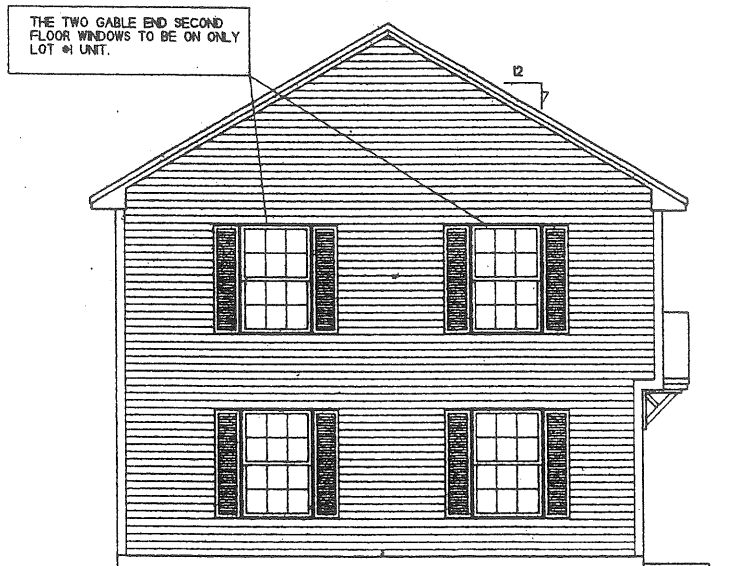
DATE	DATE	DATE
2 UNIT TOWNHOUSE	1 OF 1	
SILVER RIDGE CUSTOM HOMES INC.		
SCALE: 1/4" = 1'-0"	RAYMOND, ME. 207-655-3136	
DATE: 9/23/97	DRAWN BY:	
PRELIMINARY PLAN	APPROVED:	



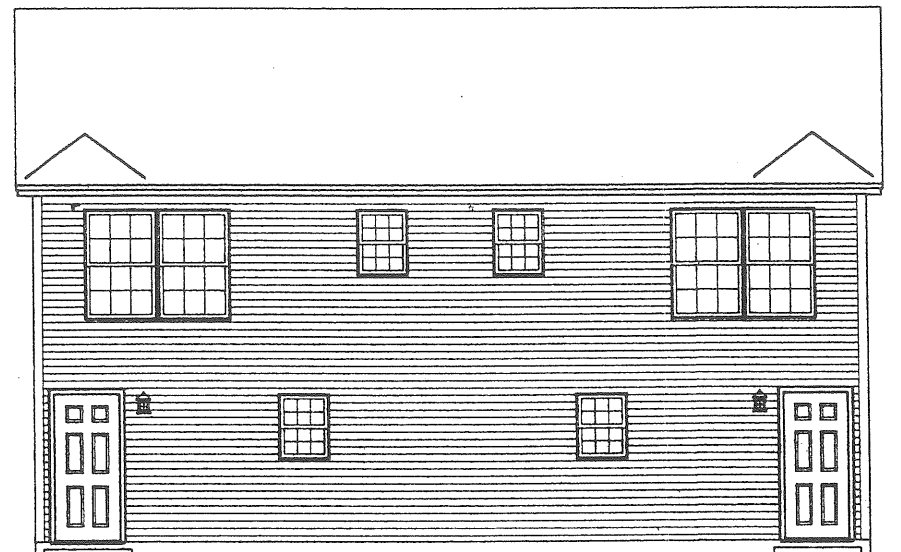
FRONT ELEVATION



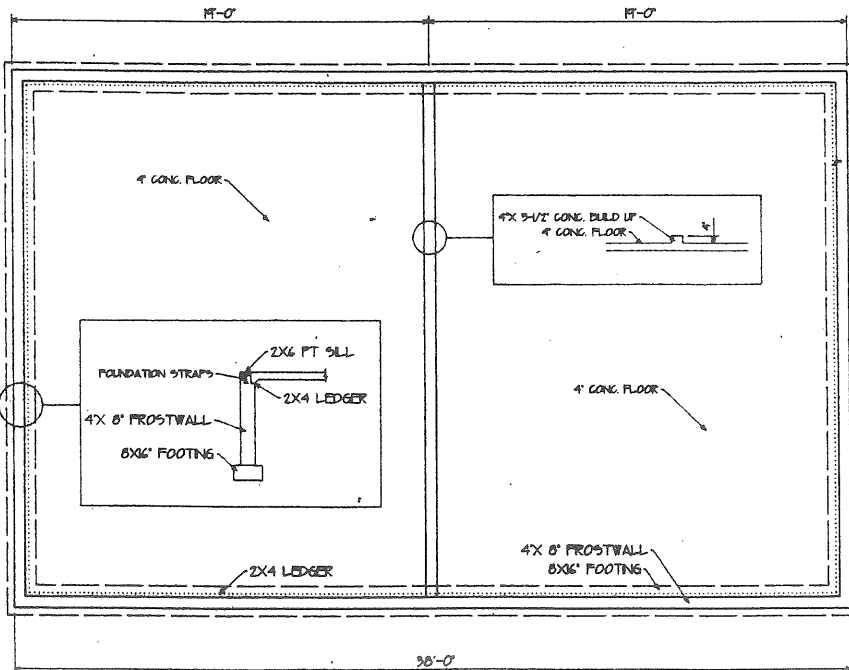
RIGHT SIDE ELEVATION



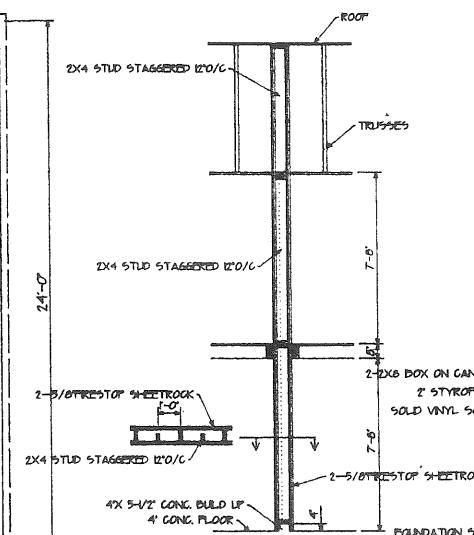
LEFT SIDE ELEVATION



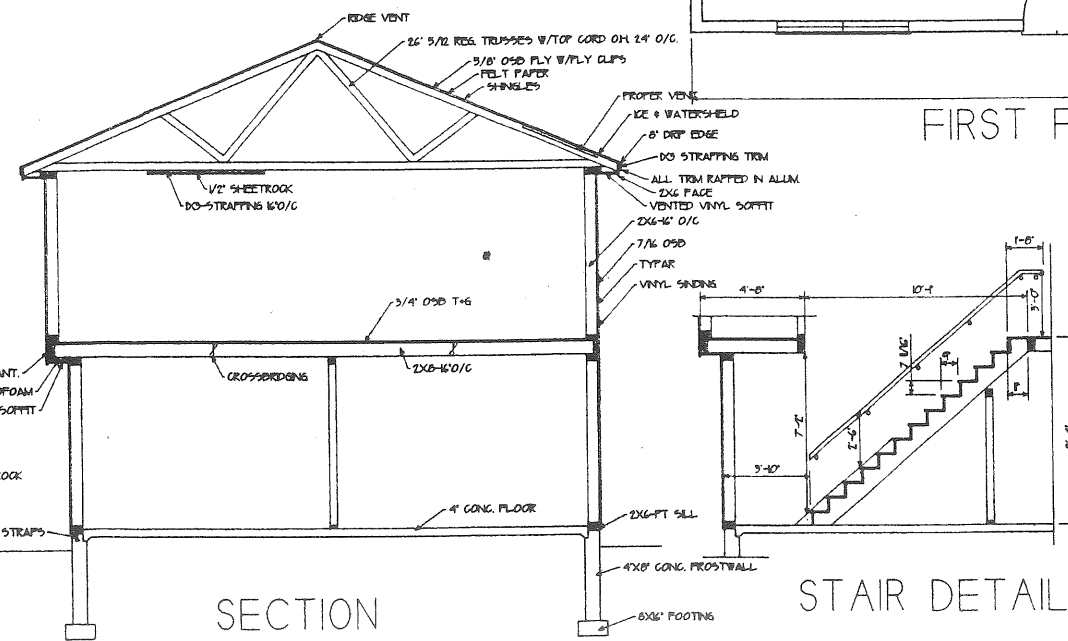
FRONT ELEVATION



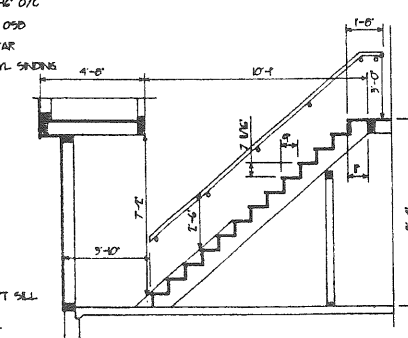
FOUNDATION PLAN



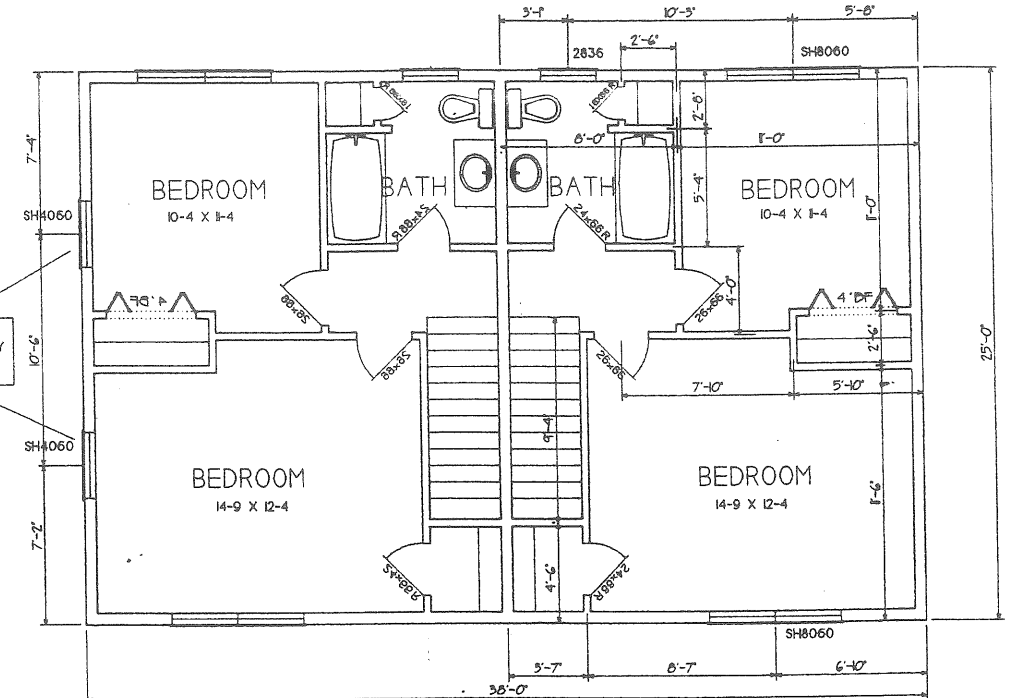
FIREWALL



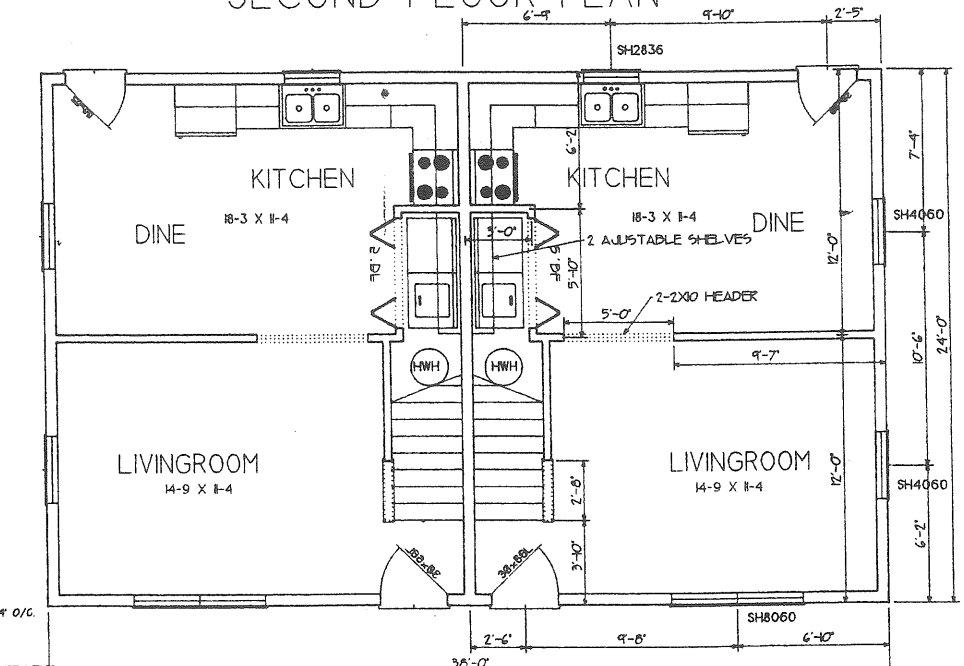
SECTION



STAIR DETAIL



SECOND FLOOR PLAN



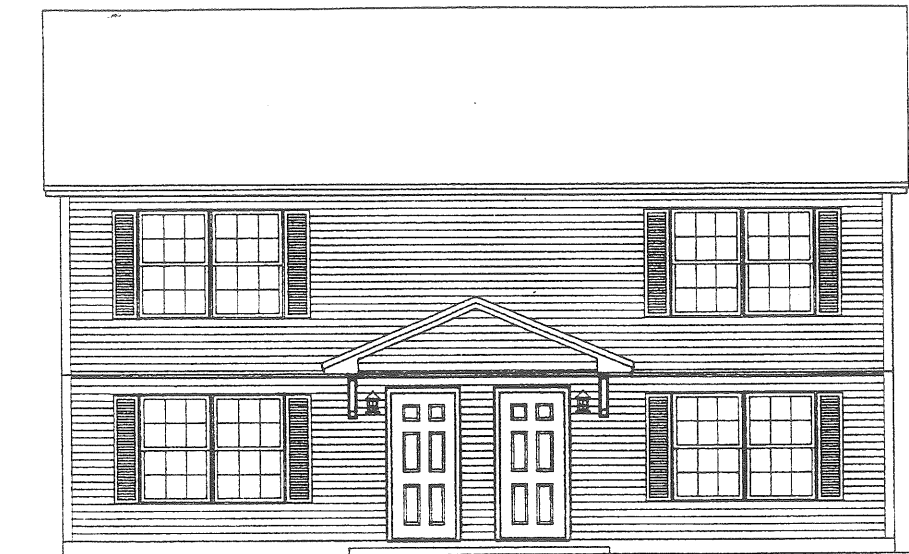
FIRST FLOOR PLAN

THE TWO GABLE END SECOND FLOOR WINDOWS TO BE ON ONLY LOT #1 UNIT.

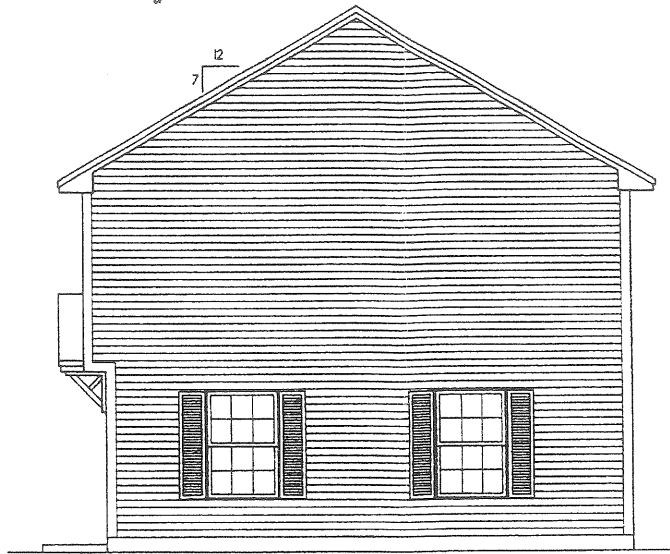
THE TWO GABLE END SECOND FLOOR WINDOWS TO BE ON ONLY LOT #1 UNIT.

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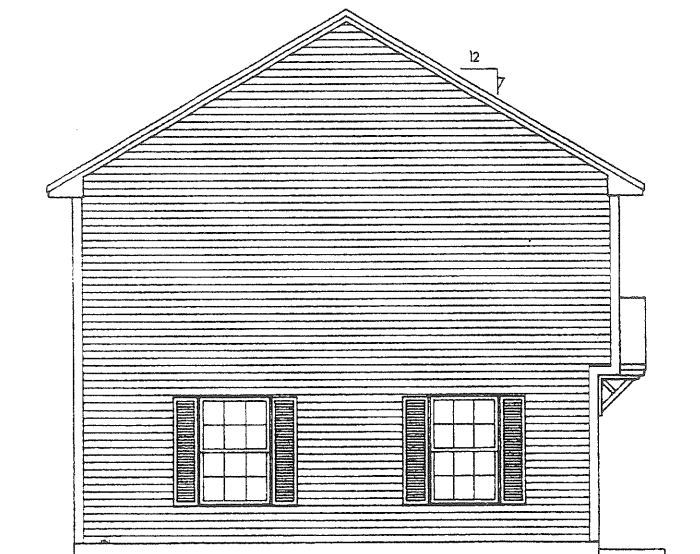
DATE _____	DATE _____	DATE _____
2 UNIT TOWNHOUSE		1 OF 1
SILVER RIDGE CUSTOM HOMES INC.		
SCALE: 1/4" = 1'-0"	RAYMOND, ME. 207-655-3136	
DATE: 9/23/97	DRAWN BY: _____	
PRELIMINARY PLAN	APPROVED: _____	



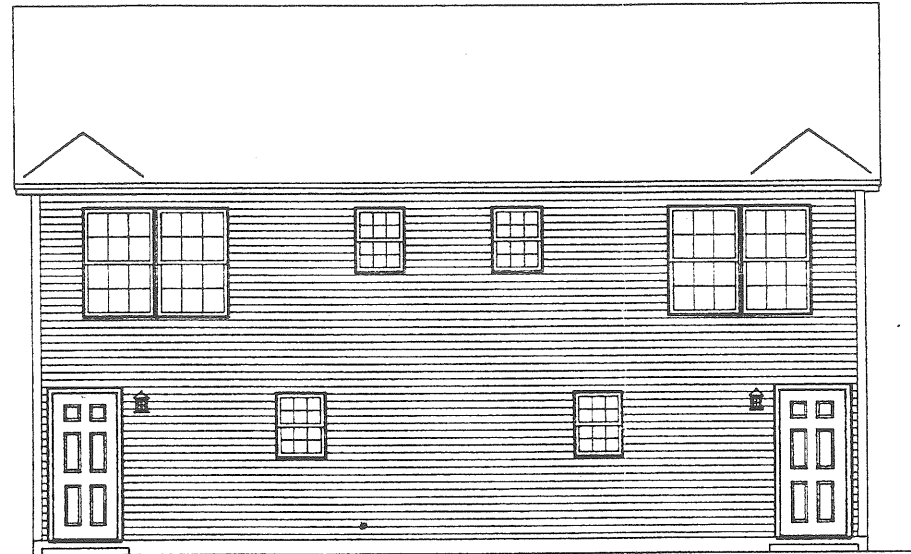
FRONT ELEVATION



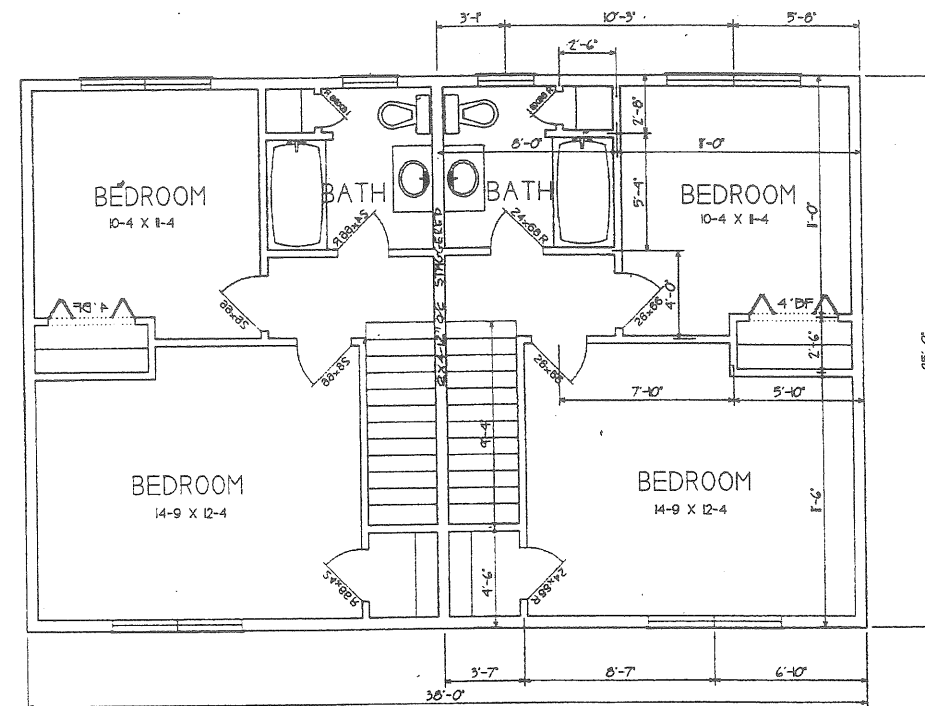
RIGHT SIDE ELEVATION



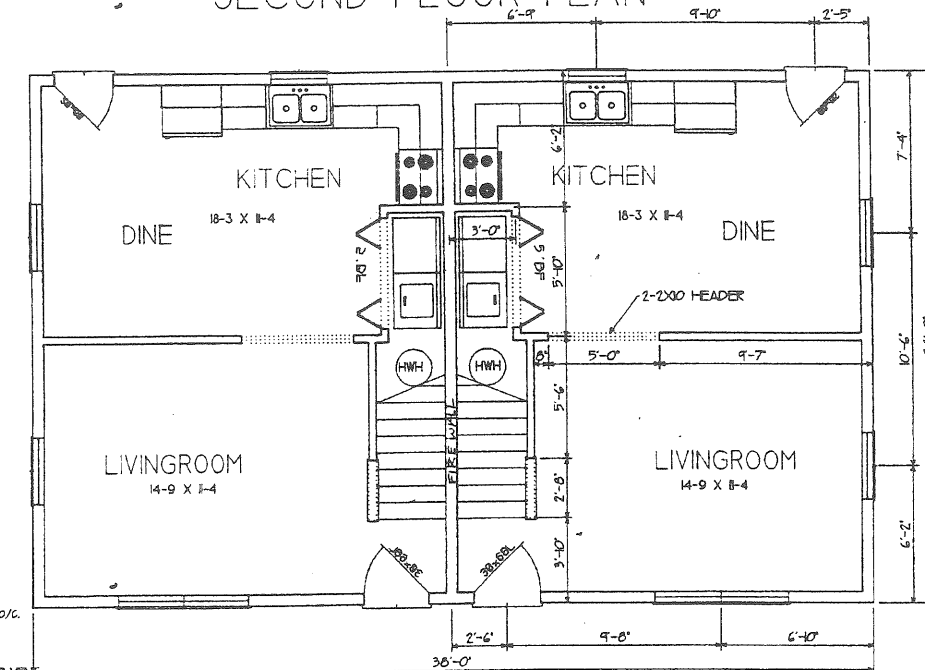
LEFT SIDE ELEVATION



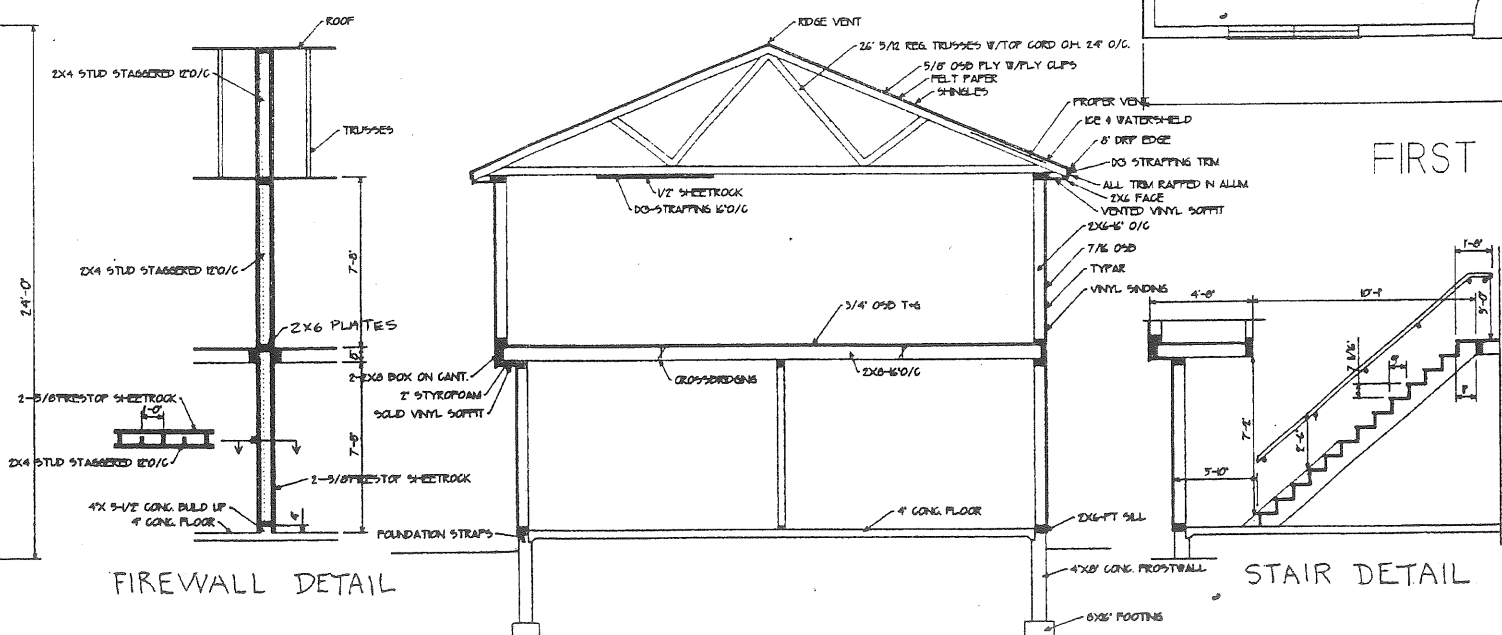
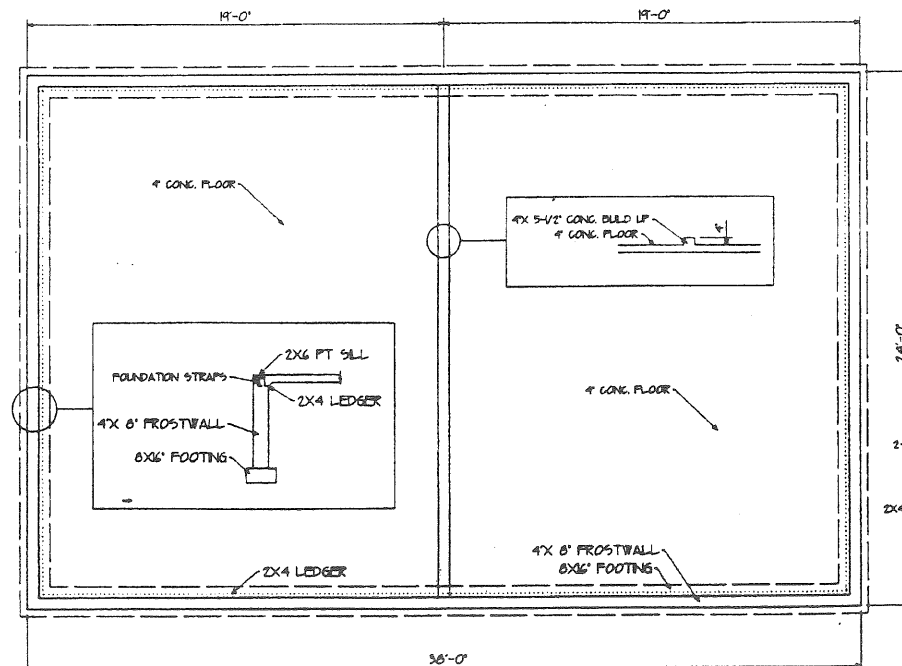
FRONT ELEVATION



SECOND FLOOR PLAN



FIRST FLOOR PLAN

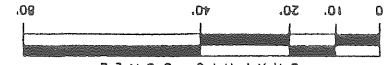


FIREWALL DETAIL

STAIR DETAIL

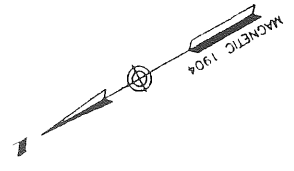
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DATE _____	DATE _____	DATE _____
2 UNIT TOWNHOUSE		1 OF 1
SILVER RIDGE CUSTOM HOMES INC.		
SCALE: 1/4" = 1'-0"	RAYMOND, ME. 207-655-3136	
DATE: 9/23/97	DRAWN BY: _____	
PRELIMINARY PLAN		APPROVED: _____



- LEGEND:**
- ⊗ UTILITY POLE
 - SEWER MANHOLE
 - ⊙ GAS VALVE
 - W WATER MAIN
 - C GAS LINE
 - S SANITARY SEWER
 - OP OVERHEAD POWER
 - SETBACK LINE
 - EXISTING SPOT ELEVATION
 - EXISTING 1' CONTOUR LINE
 - DESIGN CONTOUR

- PLANTINGS:**
- ⊗ 2' RED MAPLE (4)
 - ⊗ YEW (4)
 - ⊗ MT LAUREL (4)

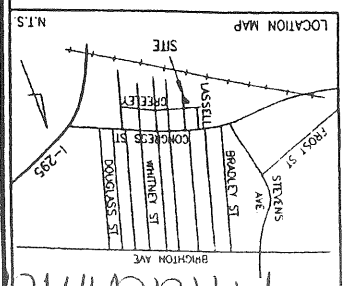


PLAN REFERENCE:
 PLAN OF LAND, STANDARD BOUNDARY SURVEY, ON LASSELL STREET, PORTLAND, MAINE, FOR TERRY BROWN DATED JUNE 19, 1987, REV. 5, BY OWEN HASKELL, INC.

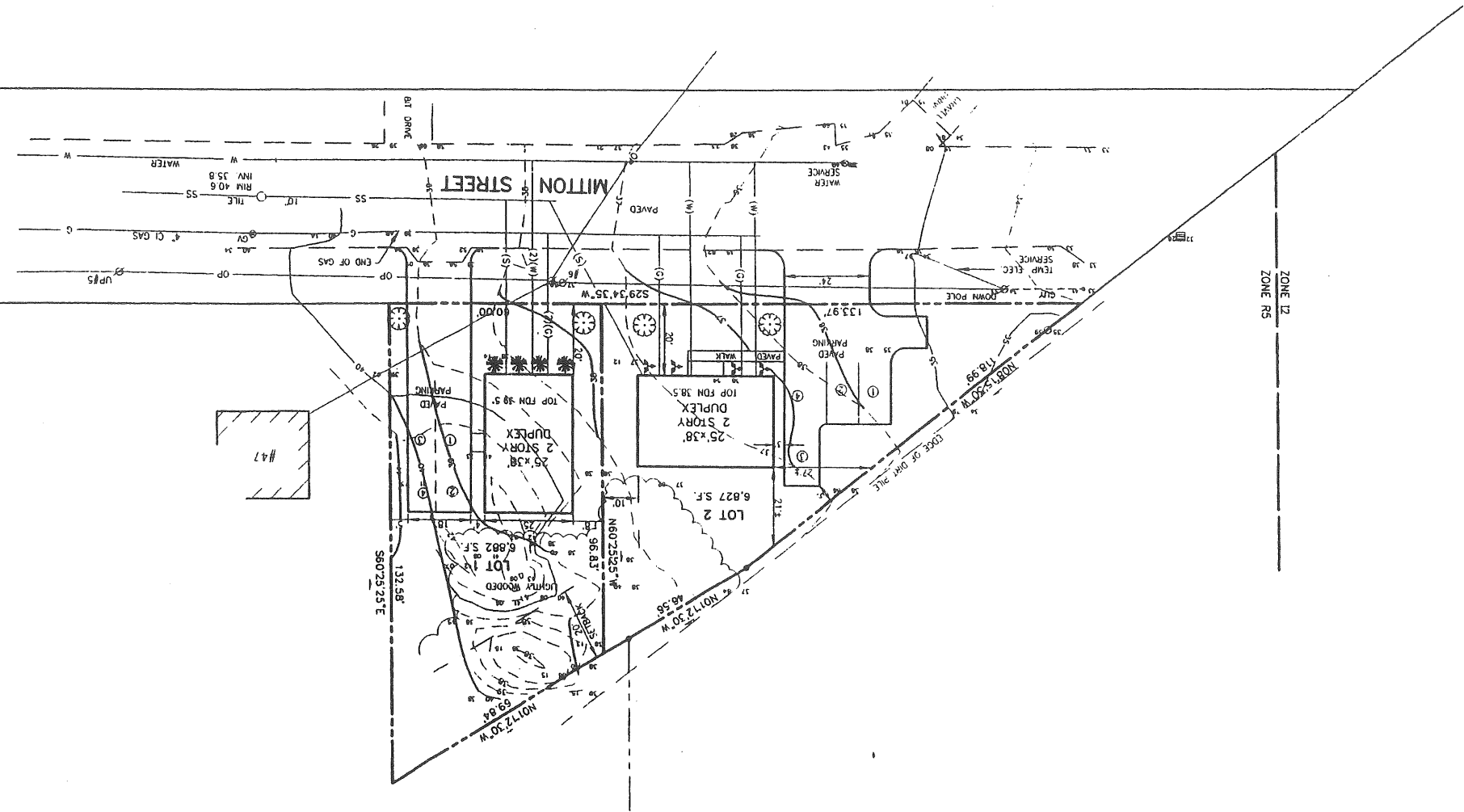
- NOTES:**
1. OWNER OF RECORD: LEONARD J. & FRANCIS REGAN C.R.D. BOOK 2754, PAGE 366
 2. BENCH MARK: P.K. NAIL IN POLE J-4, LASSELL STREET, BASED ON CITY DATUM.
 3. UNDERGROUND UTILITIES ARE APPROXIMATE ONLY.
 4. ALL ELEVATIONS BASED ON CITY DATUM.
 5. LOAM AND SEED ALL DISTURBED AREAS
 6. NEAREST HYDRANT ON POMLANDS STREET

ZONING: R-5
 DIMENSIONAL REQUIREMENTS:
 LOT SIZE: 6,500 S.F.
 LOT WIDTH: 60 FT.
 SETBACKS:
 FRONT - 20 FT.
 REAR - 20 FT.
 SIDE - 12 FT.

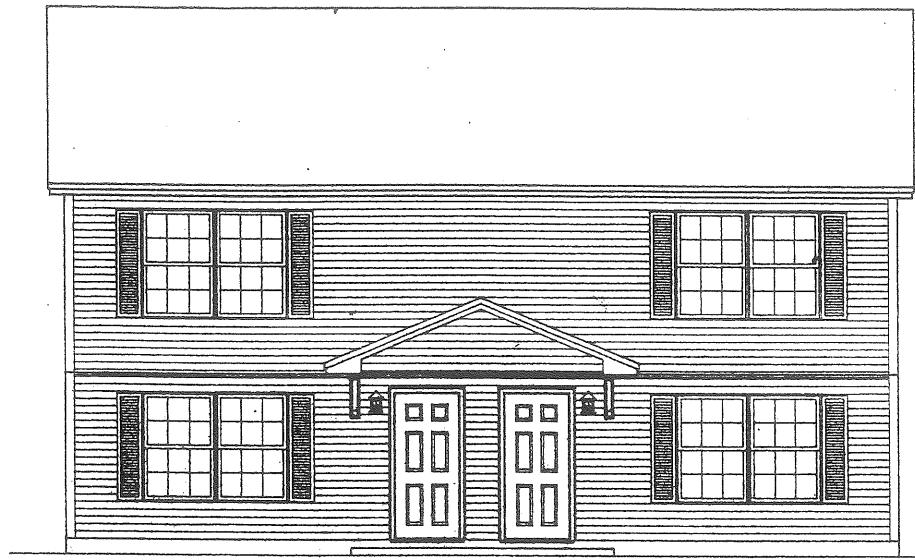
8/19/97 REVISED LAYOUT FOR LOT 1	
8/15/97	MISC. REVISIONS
SITE & SUBDIVISION PLAN	
ON MITTON STREET, PORTLAND, MAINE	
MADE FOR WARD I. GRAFFAM, JR.	
29 ORCHARD STREET, PORTLAND, MAINE	
OWEN HASKELL, INC.	
PROFESSIONAL LAND SURVEYORS 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424	
Job No.: JCS	Date: JULY 30, 1997
Drawn By: JCS	Checked By: JCS
Scale: 1" = 20'	Book No.: 014
Drwg. No.: 97132P	



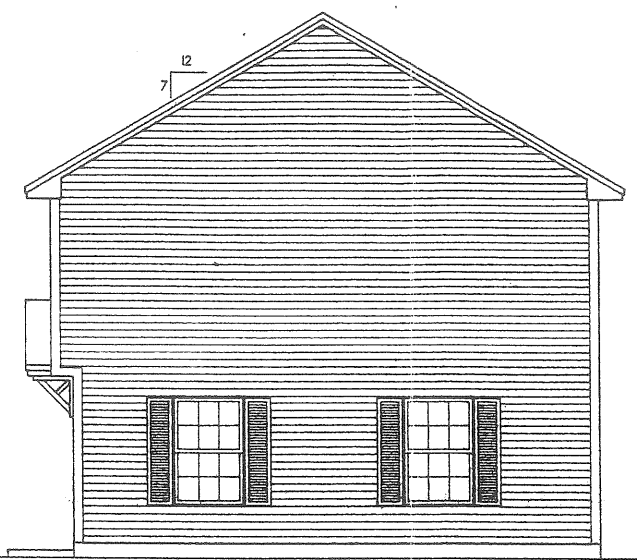
GREILEY STREET TO LASSELL ST



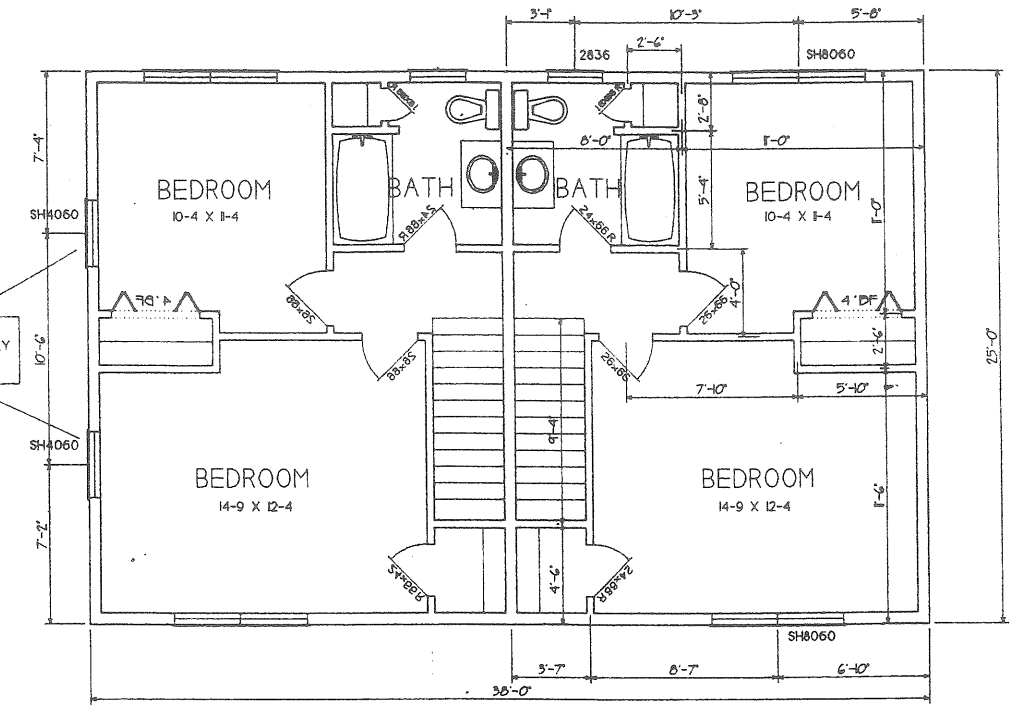
Attachment 4



FRONT ELEVATION

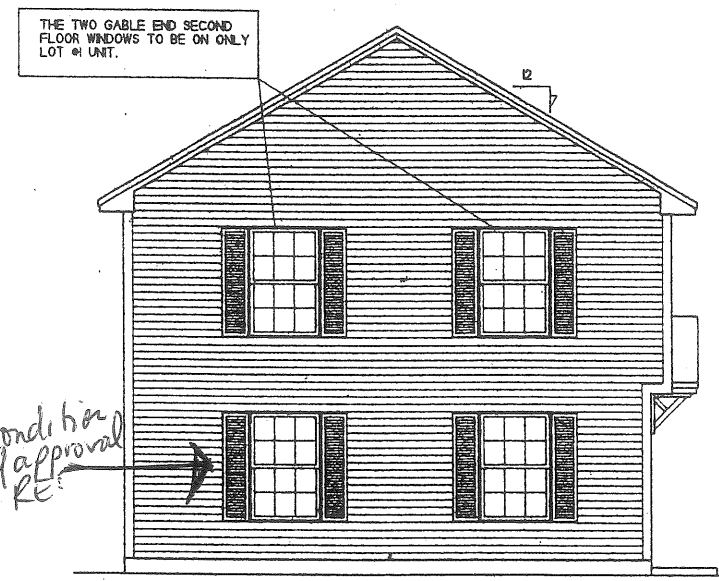


RIGHT SIDE ELEVATION



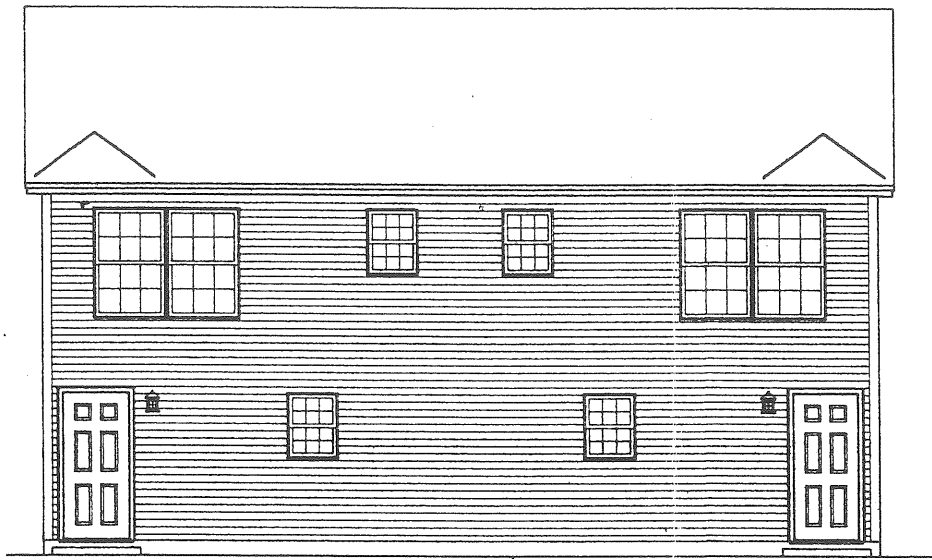
SECOND FLOOR PLAN

THE TWO GABLE END SECOND FLOOR WINDOWS TO BE ON ONLY LOT #1 UNIT.

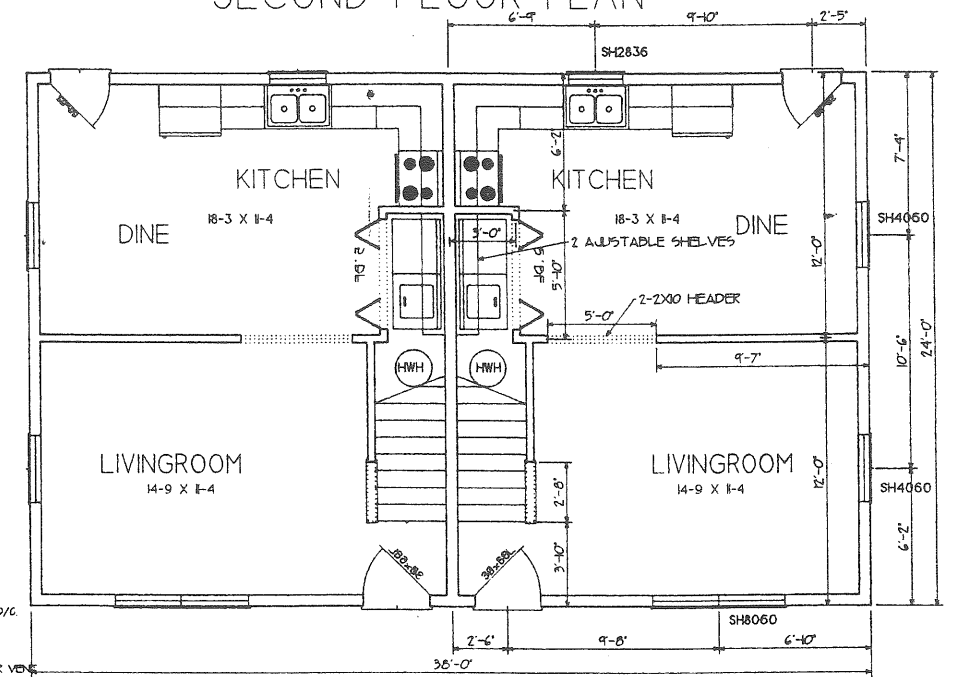


condition of approval RE: [arrow pointing to window]

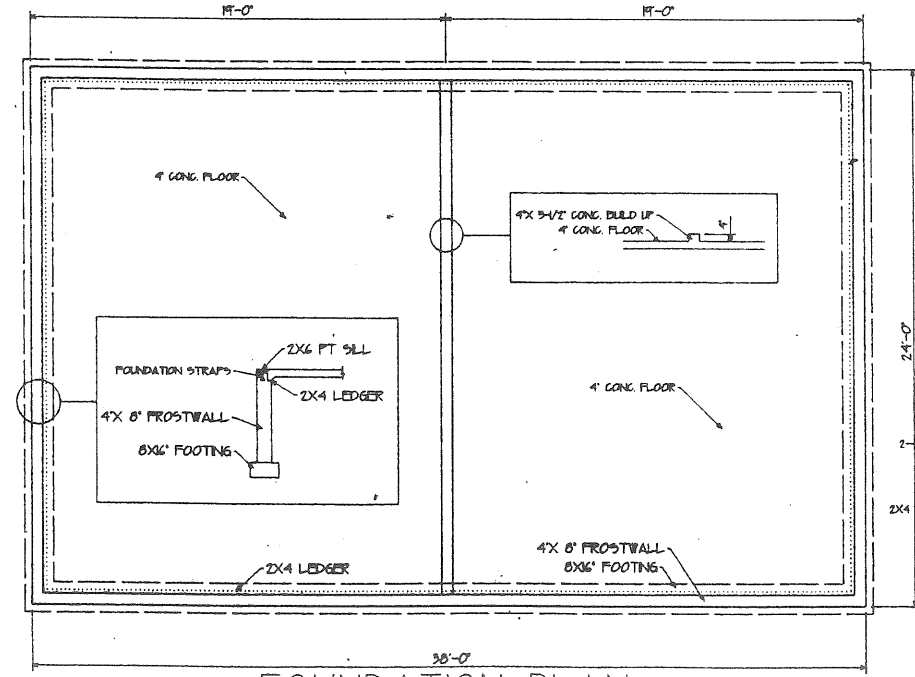
LEFT SIDE ELEVATION



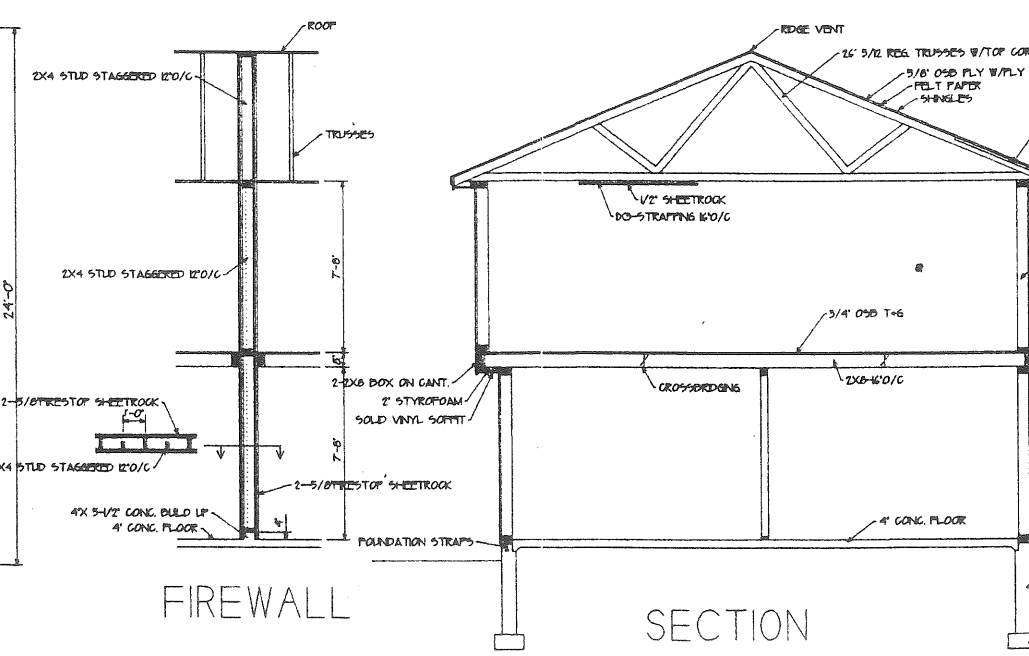
FRONT ELEVATION



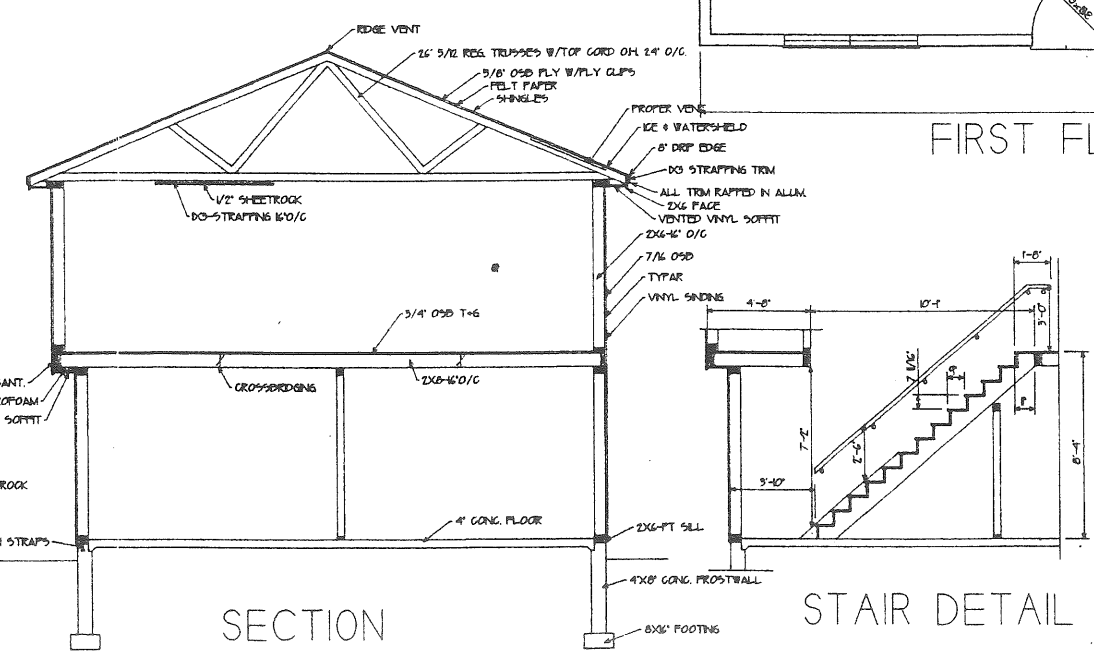
FIRST FLOOR PLAN



FOUNDATION PLAN



FIREWALL SECTION

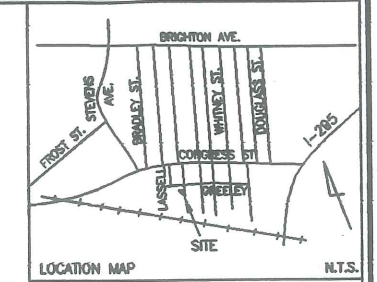
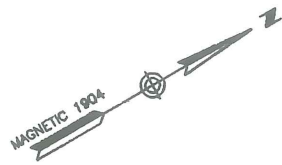


STAIR DETAIL

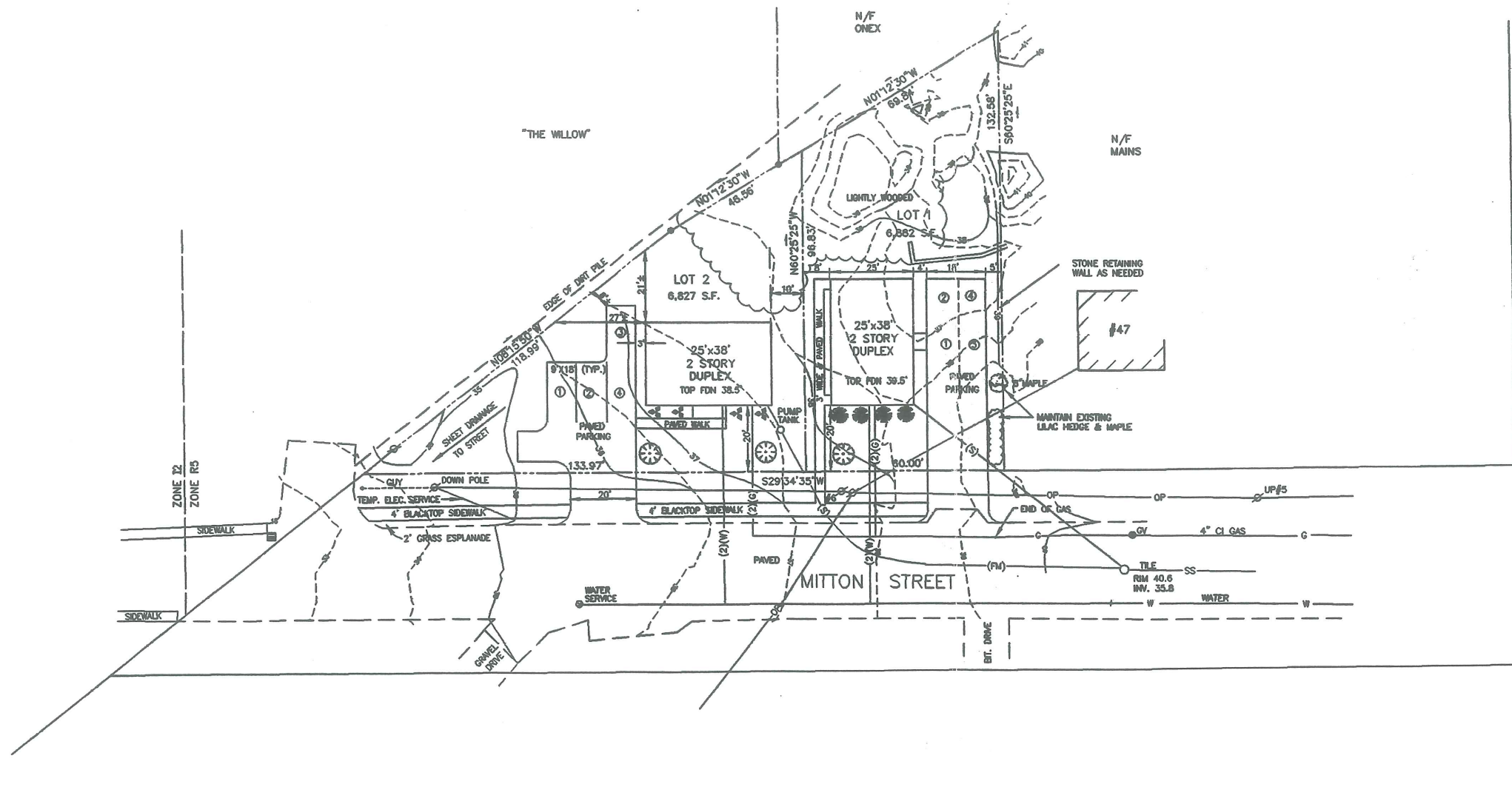
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DATE _____
 DATE _____
 DATE _____

2 UNIT TOWNHOUSE	1 OF 1
SILVER RIDGE CUSTOM HOMES INC.	
SCALE: 1/4" = 1'-0"	RAYMOND, ME. 207-655-3136
DATE: 9/23/97	
PRELIMINARY PLAN	DRAWN BY: _____ APPROVED: _____



Attachment 8



TO LASSELL ST. ↑
GREELEY STREET

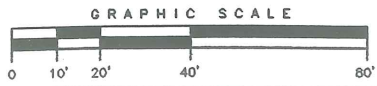
- PLANTINGS:**
- 2" RED MAPLE (4)
 - YEW (4)
 - MT LAURAL (4)

- LEGEND:**
- UTILITY POLE
 - SEWER MANHOLE
 - GAS VALVE
 - WATER MAIN
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 - OVERHEAD POWER
 - SETBACK LINE
 - EXISTING SPOT ELEVATION
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ZONING:
 ZONING IS R-5
 DIMENSIONAL REQUIREMENTS:
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 LOT WIDTH: 60 FT.
 SETBACKS: FRONT - 20 FT.
 REAR - 20 FT.
 SIDE - 12 FT.



9/26/97	ADDITIONAL LOCATION, TOPO	
8/10/97	REVISED LAYOUT FOR LOT 1	
8/15/97	MISC. REVISIONS	
SITE & SUBDIVISION PLAN		
ON MITTON STREET, PORTLAND, MAINE MADE FOR WARD I. GRAFFAM, JR. 29 ORCHARD STREET, PORTLAND, MAINE		
OWEN HASKELL, INC. 16 CASCO ST., PORTLAND, ME 04101 (207) 774-0424 PROFESSIONAL LAND SURVEYORS		
Drawn By JCS	Date July 30, 1997	Job No. 97132P
Trace By JLW	Scale 1" = 20'	Drawn No. 1
Check By JCS		
Book No. 814		