

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 51-53/ 57-59 105-107-109-111 Milton St		Owner: Ward I. Graffam		Phone:		Permit No: 971271	
Owner Address: 29 Orchard St		Lessee/Buyer's Name:		Phone:		BusinessName:	
Contractor Name: Silverridge Custom Homes		Address: P.O. Box 437, Raymond, ME 04071		Phone: 655-3136		Permit Issued: PERMIT ISSUED NOV 24 1997	
Past Use: vacant lot		Proposed Use: multi-family dwelling		COST OF WORK: \$ 190,000		PERMIT FEE: \$ 970.00	
<div style="border: 2px solid black; border-radius: 50%; width: 150px; height: 150px; display: flex; align-items: center; justify-content: center; margin: 10px;"> 191-B-3 </div>		2 Duplexes on 2 separate lots		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: E3 Type SA	
				Signature:		Signature:	
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: CBL	
Proposed Project Description: construction of multi-family dwelling		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature:		Date:	
Permit Taken By: Meg Hall		Date Applied For: November 7, 1997					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

call for pick up- 655-3136

Zoning Appeal

- ☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Historic Preservation

- ☐ Not in District or Landmark
☐ Does Not Require Review
☐ Requires Review

Action:

- ☐ Approved
☐ Approved with Conditions
☐ Denied

Date: 11/7/97

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT

ADDRESS:

DATE:

PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE:

CEO DISTRICT

COMMENTS

12-01-97 Owens Haskell - surveyed & laid out foundation locations.

12-05-97 Plumbing Inspection, underground internal-OK.

There is an absence of plans for the holding tank w/force mains, etc. Have told them they can't backfill until HHE200 form pulled and plans submitted and approved. One to be serviced by holding tank.

1-28-98 Plumbing & Framing Inspection - OK Have requested copies of septic holding tank & pump design and truss design for sheet.

3/19/98 Hot water OK - turn down a little. Plumber has not installed the Hot Water Heater, that was done by Larry & Wally. However he did install a garbage disposal. Changed a permit. (new panels) - OK. Trash OK. Right side - hot water only 100.1 should be turned up a little.

4/24/98 - no pitework yet.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

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				Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		
Permit Taken By: Meg Hall		Date Applied For: November 7, 1997				Zoning Approval: <i>OK with conditions</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>N/A</i> <input type="checkbox"/> Flood Zone <i>N/A</i> <input checked="" type="checkbox"/> Subdivision <i>yes</i> <input checked="" type="checkbox"/> Site Plan map <input type="checkbox"/> Minor <input type="checkbox"/> Imm <input type="checkbox"/>

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Stephen Harvey
SIGNATURE OF APPLICANT
owner
ADDRESS: P.O. Box 437 Raymond, Maine 04071
DATE: 11/7/97
PHONE: work 655-3136
STEVE HARVEY
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE
President
work # 655-3136
pager 821-3270
PHONE:

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- ☐ Approved with Conditions
- ☐ Denied

Date: *11/10/97*

CEO DISTRICT

4

A. Powers



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 51 Mitton St

Issued to Ward Graffam

Date of Issue October 2, 1998

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 971270 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Duplex

Limiting Conditions:

None

This certificate supersedes
certificate issued

Approved:

10/2/98
(Date)

Michael H. Gray
Inspector

[Signature]
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

OK for CP,

AR/PC

TO: Code Enforcement

FROM: Kandi Talbot, Planner

DATE: September 16, 1998

SUBJECT: Request for Certificate of Occupancy
51 Mitton Street

I reviewed the site for compliance with the temporary Certificate of Occupancy memo from Jim Wendel.

It is my opinion that all of the conditions of approval have been satisfactorily completed and a **permanent Certificate of Occupancy could be issued** assuming Code Enforcement has no outstanding issues.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Jim Wendel, Development Review Coordinator

DATE: August 7, 1998

SUBJECT: Request for Certificate of Occupancy
51 Mitton Street

On August 6, 1998 a site visit was made to review the completion of the requirements of the site plan approval. In general the site is in good condition. My comments are:

1. I have requested comments from Public Works on the work within the right of way.
2. The landscaping appears complete, however the foundation plants appear very small in size. Kandi Talbot indicated that she needs to review the site with regard to condition 2, i. of the condition of approval.
3. The project owner has installed at grade concrete block patios with stockade fence as a barrier fence for each unit; these improvements were not on the approved site plan. Is an amended site plan required?
4. Based on correspondence in the file the performance guarantee has been fully released and a defect guarantee is now in effect.

It is my opinion that all conditions of the site plan approval has not been satisfactorily completed and a permanent Certificate of Occupancy should not be issued.

Applicant: Steve Harvey

Date: 11/14/97

Address: 51-53 ~~57 59 Mattan St~~
called lot

C-B-L: 191-B-3

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - construct 25' x 38' 2 story duplex - No gas No dead

Sewage Disposal - City

Lot Street Frontage - 50' req - 60' shown

Front Yard - ~~50' req - 60' shown~~ 20' req - 20' shown

Rear Yard - 20' req - 40' + shown

Side Yard - 12' req - using provision to reduce no more than 8' with 4' added to the req 12' on other side OK

Projections - ~~front overhang~~ overhang is on side, not front OK 16' req - 27' shown

Width of Lot - 60' req - 60' shown

Height - 2 story

Lot Area - 6,000 \pm min 6,882 \pm shown

Lot Coverage/ Impervious Surface - 20% or 1376.4

Area per Family - 3,000 \pm / unit - or 6,000 \pm ~~or 6,000 \pm~~

Off-street Parking - 4 spaces req - 4 spaces shown

Loading Bays - N/A

Site Plan - minor site plan

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A

$$25 \times 38 = 950 \text{ } \Phi$$

BUILDING PERMIT REPORT

DATE: 18 Nov. 97 ADDRESS: 51-53 Milton ST.
REASON FOR PERMIT: To Construct one duplex dwelling
BUILDING OWNER: Ward I. Graffam
CONTRACTOR: Silverbridge Custom Homes
PERMIT APPLICANT: Steve Harvey APPROVAL: X1 X2 X3 X6 X7 X8 X10 X12 X16 X26 X27 X28
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, I-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".)
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms

• In each story within a dwelling unit, including basements
In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. No construction or demolition work shall begin until you have obtained permits for dumpsters or containers. A work Stop Order shall be issued if this requirement is not met.
22. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year"
23. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
24. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
25. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
26. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
27. All requirements must be met before a final Certificate of Occupancy is issued.
28. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
29. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993)
30. Please read and implement all site plan requirements.
31. _____
32. _____
33. _____
34. _____


P. Summer Hoffes, Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal

GENERAL ROOF TRUSS DATA SHEET

THESE NOTES ARE IN ADDITION TO THE NOTES THAT APPEAR ON EACH OF THE INDIVIDUAL TRUSS DRAWINGS. FURNISH A COPY OF THIS SHEET TO THE ERECTION CONTRACTOR.

The following trusses were designed/reviewed by MiTek Industries, Inc. based on information provided by specified truss fabricator. All information on the truss drawings should be reviewed by the overall building designer/engineer to insure proper building codes and project requirements have been complied with before fabrication.

Design is based substantially on TPI and NDS standards in effect on the date specified on the drawing.

Erection, Handling, Safety Precautions, Temporary or Permanent Bracing of trusses are not the responsibility of the Truss Designer, Metal Connector Plate Manufacturer or the Truss Manufacturer and therefore are not a part of these engineered drawings. Trusses are designed as individual components. All lateral bracing specified on these truss drawings is intended to provide lateral restraint for individual truss members only. The design, amount and proper installation of additional permanent bracing is the sole responsibility of the designer of the complete structure. Adequate temporary bracing is the sole responsibility of the truss erector. Competent professional advice should always be obtained relative to truss bracing, erection requirements and connections. See HIB-91.

The top chord shall be laterally supported with properly attached sheathing, unless noted otherwise.

The bottom chord shall be laterally supported with properly attached continuous lateral bracing at 10'-0" maximum intervals, unless noted otherwise.

☒ Denotes location of continuous lateral bracing designed by others.

Provisions for adequate drainage should be met on all trusses with any top chords slopes less than a 1/12.

All connector plates are 20-ga. M20 plates applied on both faces, centered and oriented so that the second plate dimension is parallel to the truss chord, unless noted otherwise. All connector plates must be manufactured by MiTek Industries, Inc. or its auxiliaries: Gang-Nail, Hydro-Air, or Panel Clip

Connector Plate Code Approvals: BOCA 86-93, 85-75, 91-28; HUD/FHA TCB 17.08; ICBO 1591, 1329, 4922; SBCCI 87206, 86217, 9190; WISC/DILHR 870040-N, 930013-N, 910080-N.

The drilling of holes, notching, cutting or removing any cross sectional area of any truss member, unless noted otherwise, will VOID the drawing.

The effect of lateral thrust (force) and horizontal movement on the supports of scissors type trusses is not a consideration of this design. The designer and/or builder of the structure must give due consideration to the lateral thrust and horizontal movement created by scissors trusses in the design and construction of adequate truss supports. Neither the truss designer, metal plate manufacturer nor the truss fabricator assumes any responsibility for the design and construction of the truss supports. Professional advice should be obtained relative the strength, construction and design of the truss supports.

Truss to bearing connection to be designed by others.

Trusses should be inspected prior to and after erection to insure their structural integrity. Trusses should be inspected for plate embedment, damage to the lumber (cracks, breaks, crushing, etc.), bow, variation from plumb etc.. For a full list of guidelines see HIB-91 and QST-86.

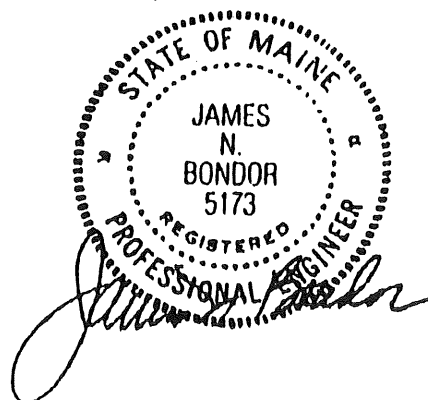
All gable type (non-structural) trusses are to have all vertical studs exceeding 8'-0" in height L-braced to provide lateral restraint. In addition, all these type trusses are not designed for wind exposure to the gable face, unless noted otherwise.

Trusses requiring the usage of a cap (piggyback) truss are to be field spliced together where the base truss meets the cap truss with 2x4x48" #2 scabs on one face only and fastened with 6-10D nails each half, unless noted otherwise on the individual truss drawing. There is a minimum of two scabs required for each truss-cap combination.



MiTek Industries, Inc.

Dwg.# 011497



IMPORTANT: READ ALL NOTES ON THIS DRAWING

GENERAL NOTES

- 1 All plates shown are 20 gauge U.S. plates unless otherwise noted. Plates to be applied on both faces of each joint and centered, unless plate position is dimensioned.
- 2 Provide continuous lateral bracing to bottom chord at maximum intervals of 10'-0".
- 3 Design is based substantially on current applicable standards of T.P.I. and N.D.S. at the date of drawing.
- 4 ■ Denotes continuous lateral bracing in addition to that described in General Notes 2.
- 5 Provide continuous lateral support of top chord by means of plywood sheathing or properly spaced purlins.

DESCRIPTION:

T-BRACE DETAIL

DATE:

SPAN:

DRAWING NO.:

SHT.

OF

PITCH/DEPTH:

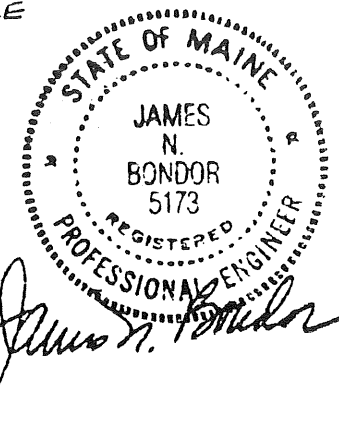
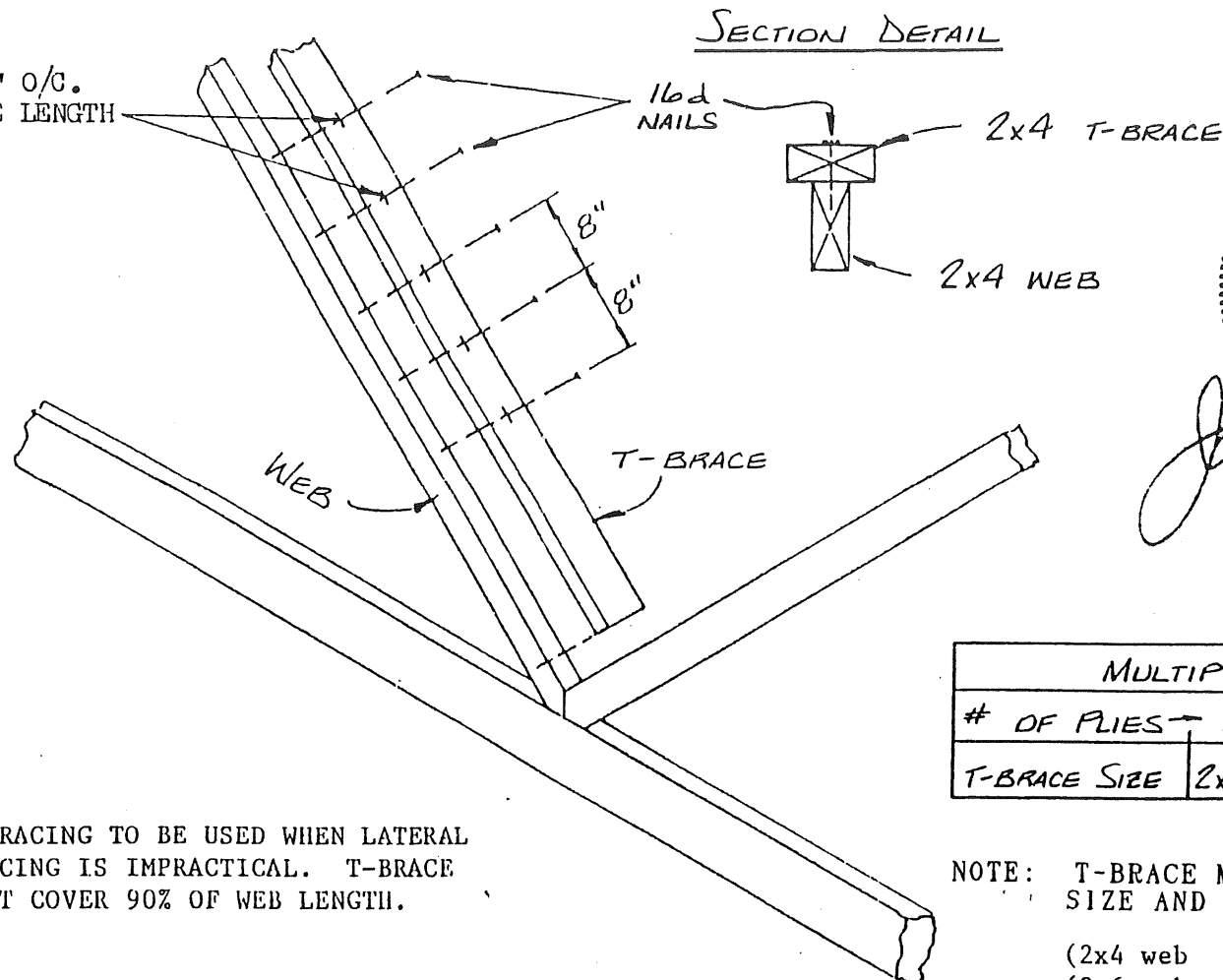
DRAWN BY:

ENG. BY:

CHECKED BY:

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16d NAILS 8" O/C.
ALONG ENTIRE LENGTH
OF T-BRACE.
(EACH PLY)



MULTIPLE PLIES				
# OF PLIES	2	3	4	5
T-BRACE SIZE	2x4	2x6	2x8	2x8

NOTE: T-BRACING TO BE USED WHEN LATERAL BRACING IS IMPRACTICAL. T-BRACE MUST COVER 90% OF WEB LENGTH.

NOTE: T-BRACE MUST BE SAME SIZE AND GRADE AS WEB.

(2x4 web - 2x4 T-Brace)
(2x6 web - 2x6 T-Brace)

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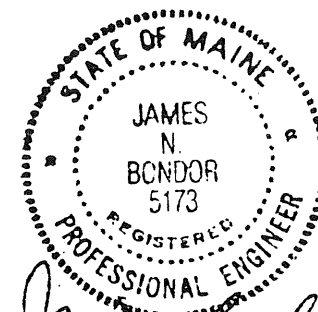
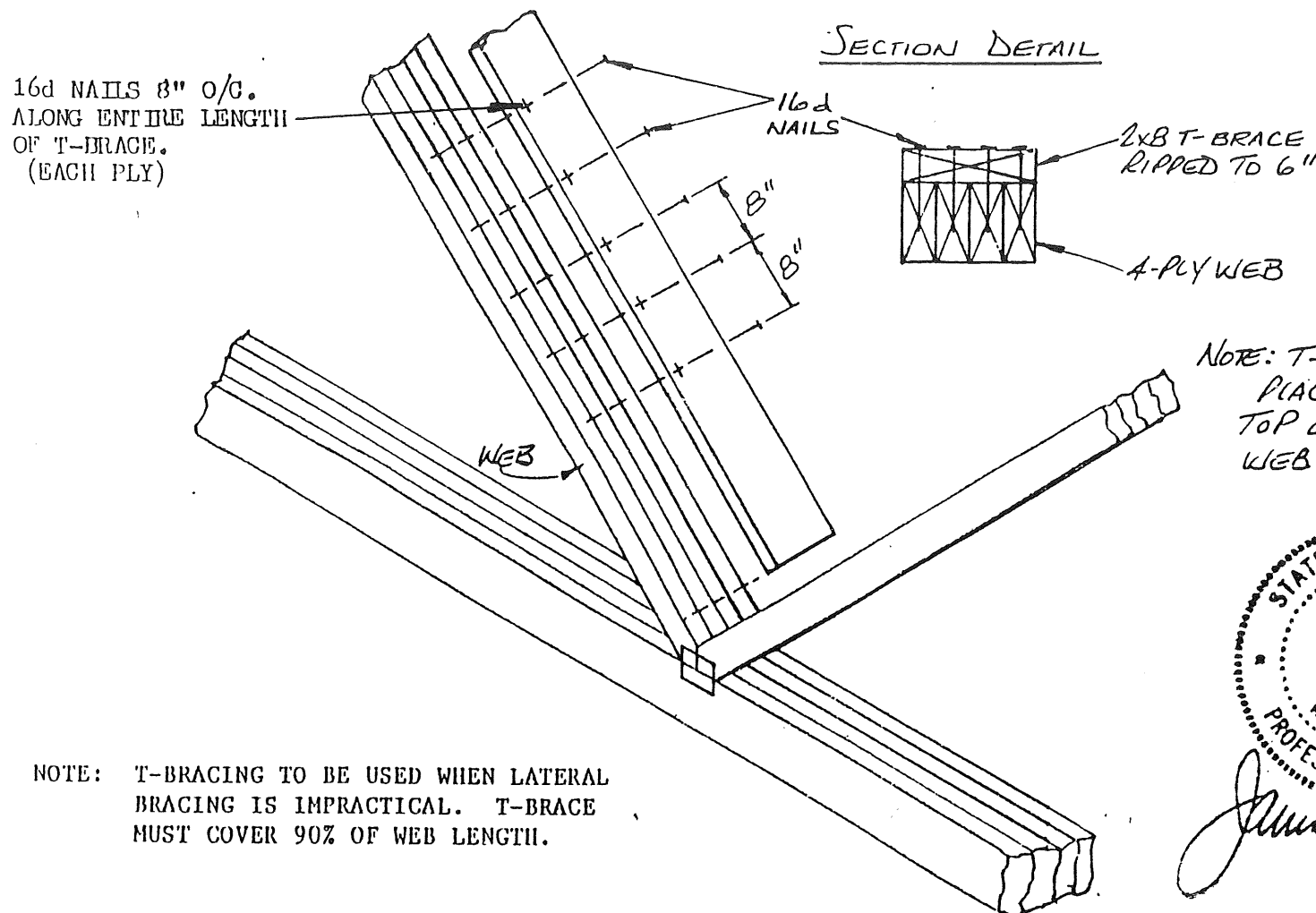
MRS

ENG. BY:

GR

CHECKED BY:

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James N. Bondor



SHIPPING MEMO



1-800-773-4911
Tel.: 207-453-4911
Fax: 207-453-7652
P. O. Box 377
Fairfield, ME 04937

S O L D T O	HANCOCK YARMOUTH	S H I P T O	PORTLAND, ME
	258 MAIN ST PO BOX 420 YARMOUTH, ME 04096 (207) 846-5555		

DATE	12/18/97
PAGE	1
MT ORDER #	006762
MT QUOTE #	
MT CONTACT	DAVE VIENS
ORDER DATE	12/15/97
CUSTOMER PO #	
ORDERED BY	LARRY O'DELL
JOB NAME:	SILVER RIDGE/DUPLEX
DELIVERY DATE	12/24/97
REQ. LAYOUTS	REQ. ENGINEERING
NONE	JOBSITE 1

DELIVERY INSTRUCTIONS:

295 SOUTH TO RTE 22 WEST - GET OFF EXIT, BEAR RIGHT ON OUTER CONGRESS ST (RTE 22) GO PAST THOMPSON'S POINT RD AT THE STOP LIGHT - TAKE 3RD LEFT AFTER THOMPSON PT ONTO MITTON ST - JOBSITE IS ON MITTON ST (SEE ATTACHED MAP)

SPECIAL INSTRUCTIONS:

ROOF TRUSSES

LOADING INFORMATION

TCLL-TCDL-BCLL-BCDL	STRESS INCR
42.0-7.0-0.0-10.0	1.15

ROOF TRUSS SPACING: 24.0 IN. O.C.

PROFILE	ID	QTY	LENGTH	PITCH TOP BOT	OVERHANG LEFT RIGHT	CANTILEVER LEFT RIGHT	NOTES	QTY SHIPPED	COUNTED BY
	A	36	25-00-00	7.00 0.00	01-00-00 01-00-00				
	B	4	25-00-00	7.00 0.00	01-00-00 01-00-00				

ADDITIONAL TRUSS INFORMATION:

QTY	DESCRIPTION	QTY SHIPPED	COUNTED BY
	TPI HBI-91 SUMMARY SHEET		
	GENERAL ROOF TRUSS DATA SHEET		
	GENERAL FLOOR TRUSS DATA SHEET		
	STANDARD GABLE END DETAIL		
	T-BRACE DETAIL		
	HANGER INSTALLATION INSTRUCTIONS		
	ENGINEERED TRUSS DRAWINGS		
	TRUSS LAYOUT PLANS (WHEN REQUIRED)		

ALL ITEMS AND DOCUMENTATION LISTED HAVE BEEN RECEIVED IN GOOD CONDITION.

RECEIVED BY _____

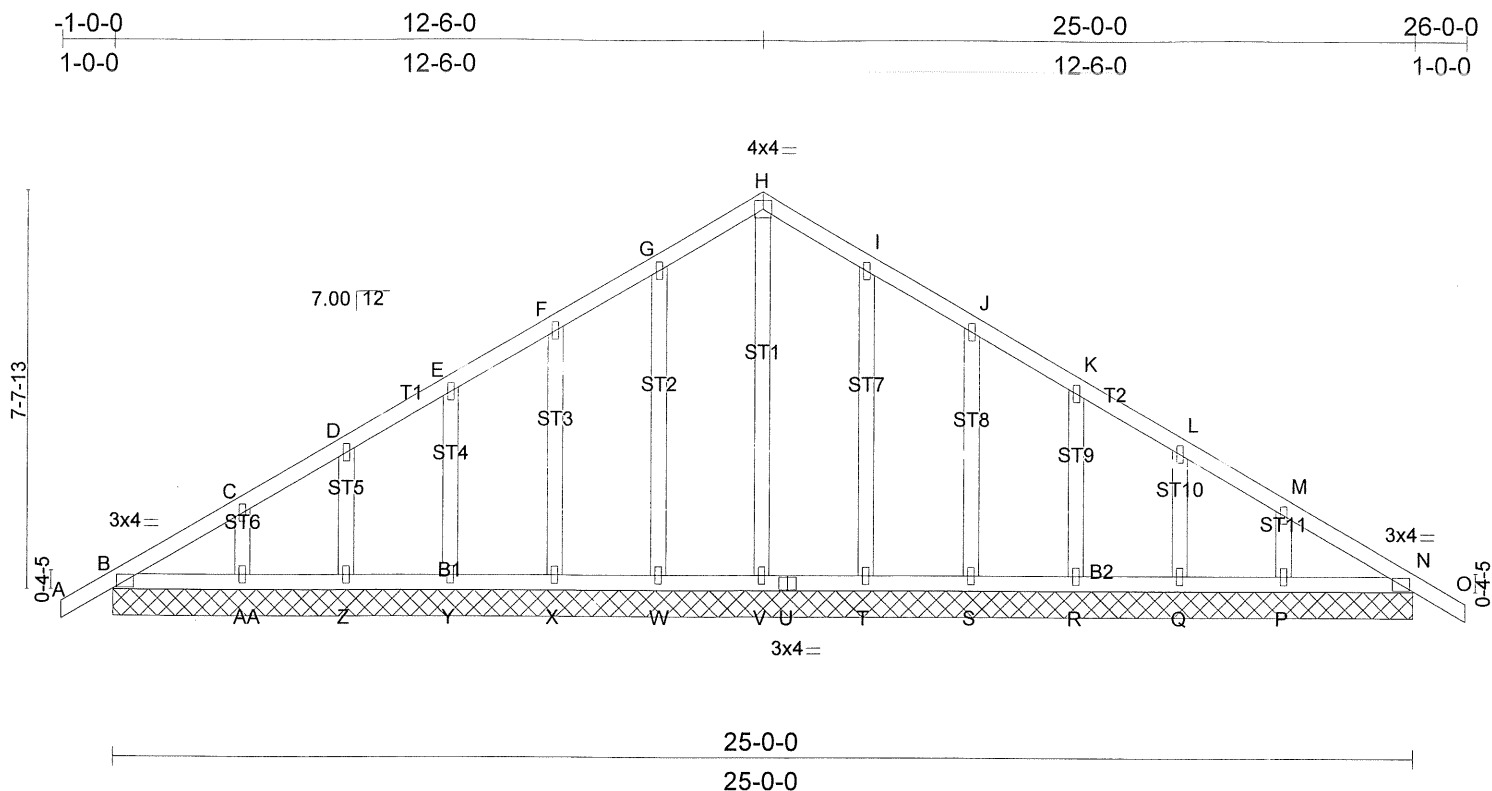
DATE _____

JOBSITE ARRIVAL TIME	
JOBSITE DEPARTURE TIME	
ORDER DELIVERED BY	

Job	Truss	Truss Type	Qty	Ply
006762	B	FINK	4	1

MAINLY TRUSSES, FAIRFIELD, ME 04937

4.0-32 s Aug 29 1997 MiTek Industries, Inc. Tue Dec 16 09:32:14 1997 Page 1



LOADING (psf)	SPACING	CSI	DEFL	PLATES	GRIP
TCLL 42.0	2-0-0	TC 0.16	(in) (loc) l/defl	M20	169/163
TCDL 7.0	Plates Increase 1.15	BC 0.03	Vert(LL) n/a - n/a		
BCLL 0.0	Lumber Increase 1.15	WB 0.21	Vert(TL) 0.01 A-B >999		
BCDL 10.0	Rep Stress Incr YES	(Matrix)	Horz(TL) 0.00 n/a		
	Code BOCA/ANSI95		Min Length / LL defl = 999		Weight: 107 lb

LUMBER

TOP CHORD 2 X 4 SPF No.2
BOT CHORD 2 X 4 SPF No.2
OTHERS 2 X 4 SPF-S Stud

BRACING

TOP CHORD Sheathed or 6-0-0 on center purlin spacing.
BOT CHORD Rigid ceiling directly applied or 0-6-0 on center bracing.

REACTIONS (lb/size) B=288/25-0-0, U=10/25-0-0, N=288/25-0-0, V=177/25-0-0, W=235/25-0-0, X=237/25-0-0, Y=237/25-0-0, Z=232/25-0-0, AA=250/25-0-0, T=231/25-0-0, S=238/25-0-0, R=237/25-0-0, Q=232/25-0-0, P=250/25-0-0
Max Horz B=307(load case 2), N=-307(load case 2)
Max Uplift W=-125(load case 2), X=-150(load case 2), Y=-143(load case 2), Z=-141(load case 2), AA=-169(load case 2), T=-127(load case 2), S=-150(load case 2), R=-143(load case 2), Q=-141(load case 2), P=-169(load case 2)
Max Grav U=10(load case 4), N=288(load case 1), V=177(load case 1), W=244(load case 3), X=237(load case 1), Y=237(load case 3), Z=232(load case 1), AA=251(load case 3), T=240(load case 4), S=238(load case 1), R=237(load case 4), Q=232(load case 1), P=251(load case 4)

FORCES (lb)

TOP CHORD A-B=48, B-C=-119, C-D=-104, D-E=-102, E-F=-102, F-G=-103, G-H=-101, H-I=-101, I-J=-103, J-K=-102, K-L=-102, L-M=-104, M-N=-119, N-O=48
BOT CHORD B-AA=0, Z-AA=0, Y-Z=0, X-Y=0, W-X=0, V-W=0, U-V=0, T-U=0, S-T=0, R-S=0, Q-R=0, P-Q=0, N-P=0
WEBS H-V=-146, G-W=-193, F-X=-197, E-Y=-197, D-Z=-192, C-AA=-208, I-T=-193, J-S=-197, K-R=-197, L-Q=-192, M-P=-208

NOTES

- 1) This truss has been checked for unbalanced loading conditions.
- 2) All plates are M20 plates unless otherwise indicated.
- 3) All plates are 1.5x4 M20 unless otherwise indicated.
- 4) Gable requires continuous bottom chord bearing.
- 5) Gable studs spaced at 2-0-0 on center.
- 6) For studs exposed to wind, see MiTek "Standard Gable End Detail"
- 7) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 125 lb uplift at joint W, 150 lb uplift at joint X, 143 lb uplift at joint Y, 141 lb uplift at joint Z, 169 lb uplift at joint AA, 127 lb uplift at joint T, 150 lb uplift at joint S, 143 lb uplift at joint R, 141 lb uplift at joint Q and 169 lb uplift at joint P.
- 8) This truss has been designed with ANSI/TPI 1-1995 criteria.

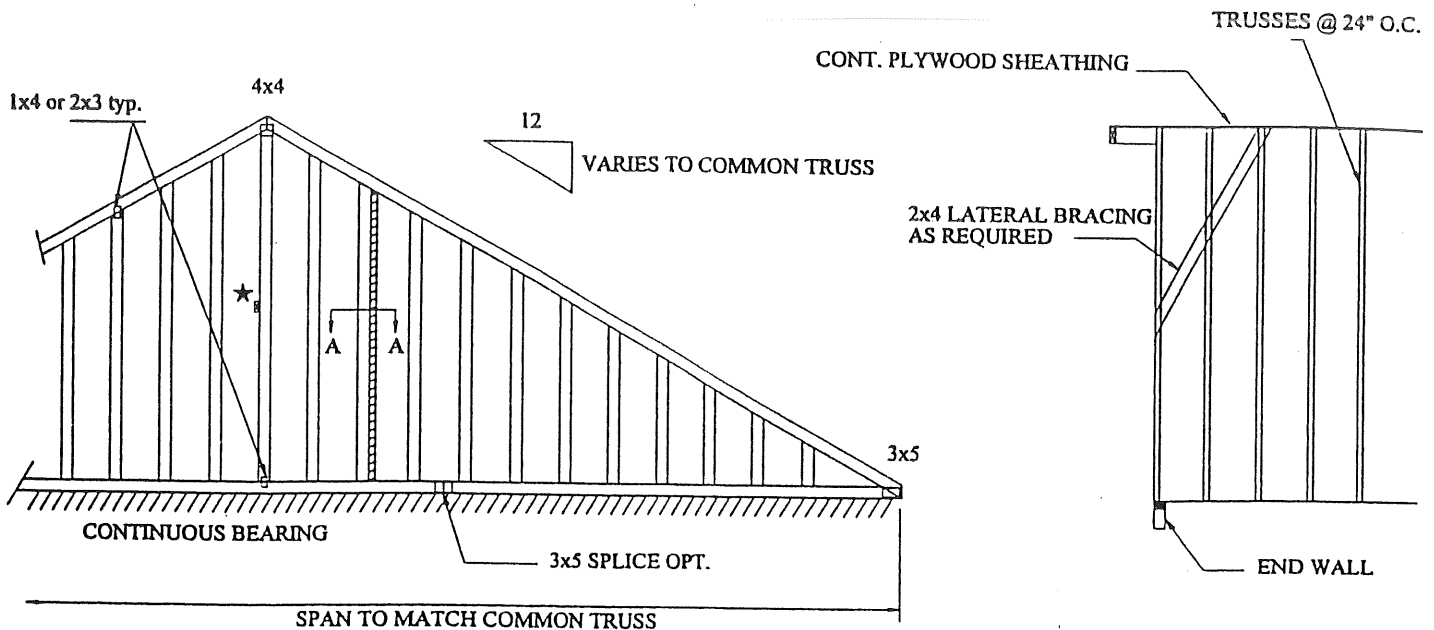
LOAD CASE(S) Standard

CUSTOMER COPY

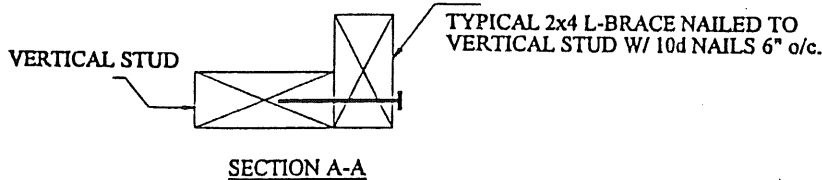
STANDARD GABLE END DETAIL

WIND SPEED 90 MPH, MEAN WALL HEIGHT OF 50 FT.

FORM #SGE-003-032394



★ - DENOTES DIAGONAL OR L-BRACING
REFER TO TABLE BELOW.



LATERAL BRACING NAILING SCHEDULE	
VERT. HEIGHT	# NAILS @ END
UP TO 7'-0"	2 - 16d
7'-0" - 8'-5"	3 - 16d
OVER 8'-5"	4 - 16d

MAXIMUM VERTICAL STUD HEIGHT			
SPACING OF VERTICALS	WITHOUT BRACE	WITH LATERAL BRACE	WITH L-BRACE
12 INCH O.C.	3-2-0	7-2-7	5-6-7
16 INCH O.C.	2-11-2	6-3-0	4-9-8
24 INCH O.C.	2-6-6	5-1-12	3-11-0

NOTE:

1. VERTICALS HAVE BEEN CHECKED FOR 90 MPH WIND LOAD, MEAN WALL HEIGHT OF 50', AND L/240 DEFL. CRITERIA.
2. CONNECTION BETWEEN BOTTOM CHORD OF GABLE END TRUSS AND WALL TO BE PROVIDED BY THE PROJECT ENGR. OR ARCHITECT.

3. FURNISH A COPY OF THIS DRAWING TO THE CONTRACTOR FOR BRACING INSTALLATION.

4. BRACING SHOWN IS FOR AN INDIVIDUAL TRUSS ONLY. CONSULT THE BLDG. ENGR. OR ARCHITECT FOR TEMPORARY AND PERMANENT BRACING OF THE ROOF SYSTEM.

MINIMUM LUMBER GRADE DESIGN CRITERIA

T.C. 2x4 no. 2 SYP
B.C. 2x4 no. 2 SYP
WEBS 2x4 STUD SPF

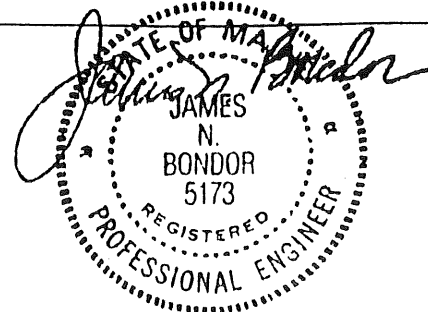
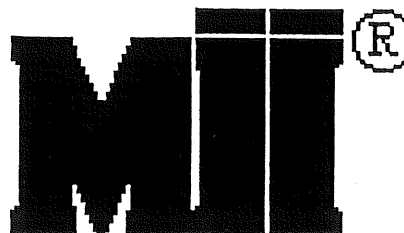
ANSI/TPI 1-1995
NDS 1991
SSBC-91

LOADING PSF

TCLL 40
TCDL 07
BCLL 00
BCDL 10

SPACING 24" O.C.
STRESS INCR. 1.33
REP. STRESS YES

DRAWN BY: DJR



PLUMBING APPLICATION

Department of Human Services
Division of Health Engineering

PROPERTY ADDRESS

Town Or Plantation	Portland
Street Subdivision Lot #	51-53 Mitten St.

PROPERTY OWNERS NAME

Last:	Graffum	First:	Ward
Applicant Name:	James E. Bolduc		
Mailing Address of Owner/Applicant (If Different)	299 Main St. Cumberland, ME 04021		

PORTLAND Date Permit Issued:	12-4-97	PERMIT #	6323	STATE COPY	<input checked="" type="checkbox"/> FEE Double Fee Charged
Local Plumbing Inspector Signature			L.P.I. #	0124	

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Signature of Owner/Applicant	(RFB)	Date	12-4-97
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Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature	DATE APPROVED
------------------------------------	---------------

PERMIT INFORMATION

This Application is for 1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	Type Of Structure To Be Served: 1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER — SPECIFY _____	Plumbing To Be Installed By: 1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # 025411
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Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Number	Column 2 Type of Fixture	Number	Column 1 Type of Fixture
OR HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. HOOK-UP: to an existing subsurface wastewater disposal system. PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	0.2	Hosebibb / Sillcock	0.2	Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal	0.1	Sink
		Drinking Fountain	0.2	Wash Basin
		Indirect Waste	0.2	Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	0.2	Clothes Washer
		Grease / Oil Separator	0.2	Dish Washer
		Dental Cuspidor		Garbage Disposal
		Bidet		Laundry Tub
		Other:	0.2	Water Heater
OR TRANSFER FEE [\$6.00]		Fixtures (Subtotal) Column 2	1.3	Fixtures (Subtotal) Column 1
			0.2	Fixtures (Subtotal) Column 2
			1.5	Total Fixtures
			\$	Fixture Fee
			\$	Transfer Fee
		\$	Hook-Up & Relocation Fee	
		\$60-	Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE
FOR CALCULATING FEE

PLUMBING APPLICATION

191-B-003

Department of Human Services
Division of Health Engineering

PROPERTY ADDRESS

Town Or Plantation	Portland
Street Subdivision Lot #	51-53 Mitton Street
PROPERTY OWNERS NAME	
Last: Graffam	First: Ward
Applicant Name:	Caron & Waltz
Mailing Address of Owner/Applicant (If Different)	P.O. Box 2400 So. Portland, Me. 04106

PORTLAND Date Permit Issued: 3.2.98	PERMIT # 6387	STATE COPY	□ If Double Fee charged
L.P.I. # 0124		FEE	
452 Local Plumbing Inspector Signature			

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector to deny a Permit.

Walter C. Masker
Signature of Owner/Applicant

2-26-98
Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

This Application is for	Type Of Structure To Be Served:	Plumbing To Be Installed By:
1. <input checked="" type="checkbox"/> NEW PLUMBING 2. <input type="checkbox"/> RELOCATED PLUMBING	1. <input type="checkbox"/> SINGLE FAMILY DWELLING 2. <input type="checkbox"/> MODULAR OR MOBILE HOME 3. <input checked="" type="checkbox"/> MULTIPLE FAMILY DWELLING 4. <input type="checkbox"/> OTHER — SPECIFY _____	1. <input checked="" type="checkbox"/> MASTER PLUMBER 2. <input type="checkbox"/> OIL BURNERMAN 3. <input type="checkbox"/> MFG'D. HOUSING DEALER / MECHANIC 4. <input type="checkbox"/> PUBLIC UTILITY EMPLOYEE 5. <input type="checkbox"/> PROPERTY OWNER LICENSE # 0, 1, 5, 2, 6

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2 Number Type of Fixture	Column 1 Number Type of Fixture
HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District. OR HOOK-UP: to an existing subsurface wastewater disposal system.	Hosebibb / Sillcock	Bathtub (and Shower)
	Floor Drain	Shower (Separate)
	Urinal	Sink
	Drinking Fountain	Wash Basin
	Indirect Waste	Water Closet (Toilet)
PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	Water Treatment Softener, Filter, etc.	Clothes Washer
	Grease / Oil Separator	Dish Washer
	Dental Cuspidor	Garbage Disposal
	Bidet	Laundry Tub
	Other: _____	2 Water Heater
OR TRANSFER FEE [\$6.00]	Fixtures (Subtotal) Column 2	Fixtures (Subtotal) Column 1
	10	2
SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE		Fixtures (Subtotal) Column 2
		2
		Total Fixtures
		Fixture Fee
		Transfer Fee
		Hook-Up & Relocation Fee
		Permit Fee (Total)
		\$ 12

- 1.) All water heaters with storage capacity shall be provided with an approved self-closing levered water pressure relief valve and temperature relief valve or combination thereof with a rating equal to or exceeding the heater BTU input [see paragraphs below for valve ratings]. Such valves shall be installed in the shell of the water heater tank or may be installed in the hot water outlet provided the thermo bulb extends into the shell of the tank and in all cases installed at the highest practical point. For installation with separate storage tanks, said valves shall be installed on the tank and there shall not be any type of valve installed between the water heater and the storage tank. Where in the opinion of the local plumbing inspector, safety valves are required they shall be installed in accordance therewith. Relief valves shall comply with all construction testing and installation requirements of the current ANSI Std. Z21.22. Temperature relief valves shall be so located in the tank as to be actuated by the water in the top one-eighth (1/8) of the tank served and in no case more than three (3) inches away from such tank. Pressure-relief valves may be located adjacent to the equipment they serve.

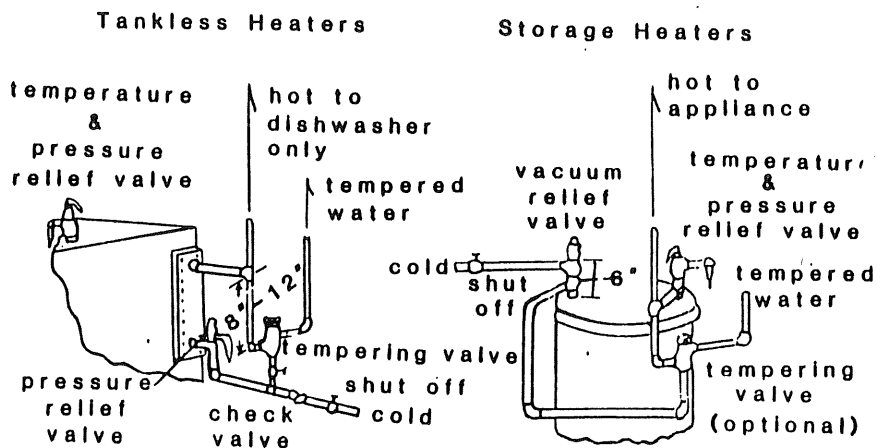


Fig. 11-2

- 11.) For a storage type heater with a capacity of less than 200,000 BTU/HR input the relief valve shall have a minimum AGA temperature steam rating equal to or greater than the BTU input to the heater.
- 111.) For a heater over 200,000 BTU/HR there shall be one or more combination temperature and pressure relief valves, the sum of whose AGA temperature steam rating equals or exceeds the heating capacity of the system or 250,000 BTU per hour, whichever is less, and shall have a minimum one (1) inch inlet and outlet pipe size connection. In addition, the temperature relieving element of the valve shall have a water rated discharge capacity based on 1,250 BTU's for each gallon per hour of