

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 01-0864	Issue Date: AUG 21	CBL: 191 A016001
-----------------------	-----------------------	---------------------

Location of Construction: 34 Lassell St	Owner Name: Onex Co	Owner Address: 440 Forest Ave	Phone:
Business Name: n/a	Contractor Name: Onex Co.	Contractor Address: 440 Forest Ave. Portland	Phone: 2077755600
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: Residential / 2 Units	Proposed Use: Same: Amendment to Permit # 01-0745	Permit Fee: \$276.00	Cost of Work: \$46,000.00	CEO District: 3
------------------------------------	--	-------------------------	------------------------------	--------------------

Proposed Project Description: Amendment to Permit # 01-0864 to Bring Both Units Up to Code.  2 units of perm on fiche  8x12' Decks on side of per 14-433	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: 513 PERMIT ISSUED WITH REQUIREMENTS DEC 13/1991 Signature: [Signature]
	Signature: [Signature]	

Permit Taken By: cih	Date Applied For: 07/16/2001	<b>Zoning Approval</b>
-------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: [Signature]	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]
---	---	---	--

per revised plans dated 8/30/01  
8/30/01

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

01.0864

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 32-34 CASSELL ST

Total Square Footage of Proposed Structure 1,800 Square Footage of Lot 5,500

Tax Assessor's Chart, Block & Lot  
Chart# 191 Block# A Lot# 16 Owner: ONEX CO. Telephone: 774-7811

Lessee/Buyer's Name (If Applicable) N/A Applicant name, address & telephone: 440 FOREST AVE. 04101 Cost of Work: \$ ~~46,000~~ Fee: \$ 276

Current use: RESIDENTIAL  
If the location is currently vacant, what was prior use: RESIDENTIAL  
Approximately how long has it been vacant: MAY 31, 2001  
Proposed use: RESIDENTIAL  
Project description: RENOVATE BOTH UNITS TO CODE  
AMENDMENT TO PERMIT # 010743

PAID  
6/22/01

Contractor's name, address & telephone: ONEX CO. 440 FOREST AVE 04101  
Who should we contact when the permit is ready: MICHAEL ROGERS  
Mailing address:   
Phone: 775-5600

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 7/16/01

This is not a permit, you may not commence ANY work until the permit is issued

BUILDING PERMIT REPORT

DATE: 18 July 2001 ADDRESS: 34 Lassel ST. CBL: 191-A-016

REASON FOR PERMIT: To Amend permit # 01-0864

BUILDING OWNER: Onex Co.

PERMIT APPLICANT: /CONTRACTOR Onex Co.

USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: 46,000 PERMIT FEES: 226.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

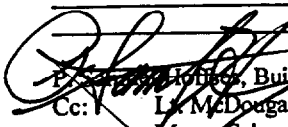
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: \*1, \*11, \*13, \*16, \*17, \*18, \*20, \*28, \*30, \*31, \*33, \*36, \*38, \*39

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6" O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete and masonry.
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'0".
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
17. Each apartment shall have access to two (2) separate, remote and approved means of egress.
18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment.

7/11

- X 20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
- 21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
- 23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- 24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
- 25. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 28. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 29. All requirements must be met before a final Certificate of Occupancy is issued.
- X 30. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
- X 31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 32. Please read and implement the attached Land Use Zoning report requirements.
- X 33. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- 34. Bridging shall comply with Section 2305.16.
- 35. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- X 36. All flashing shall comply with Section 1406.3.10.
- X 37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code. (The BOCA National Building Code/1999).
- X 38. a one hour Fire separation is required between dwelling units.
- X 39. (Sec. 1214.0) Sound Transmission shall comply with Section 1214.0.

  
 L. McDougall, Building Inspector  
 Cc: L. McDougall, PFD  
 Marge Schmuckal, Zoning Administrator  
 Michael Nugent, Inspection Service Manager

PSH 10/100

**\*\*This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

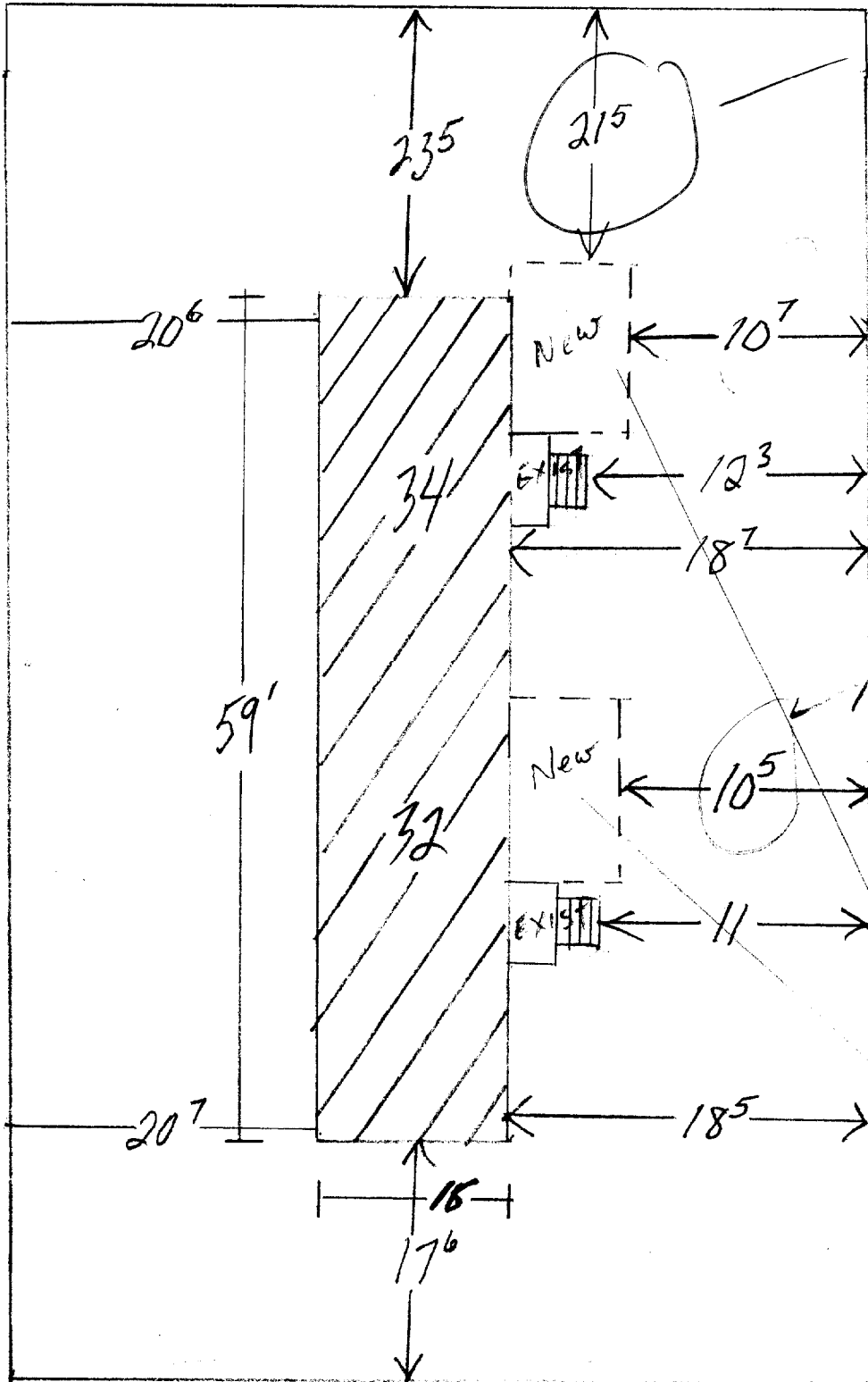
**...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. ( You Shall Call for Inspections )**

**\*\*\*\*ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

**\*\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

# 32-34 LASSELL ST

R-5 zone



20'  
min.  
Allowed

G  
R  
E  
E  
L  
E  
S  
T.

OK  
per  
14-433

(PAPER  
STREET)

PROPOSED  
DECKS  
8'x12'

100

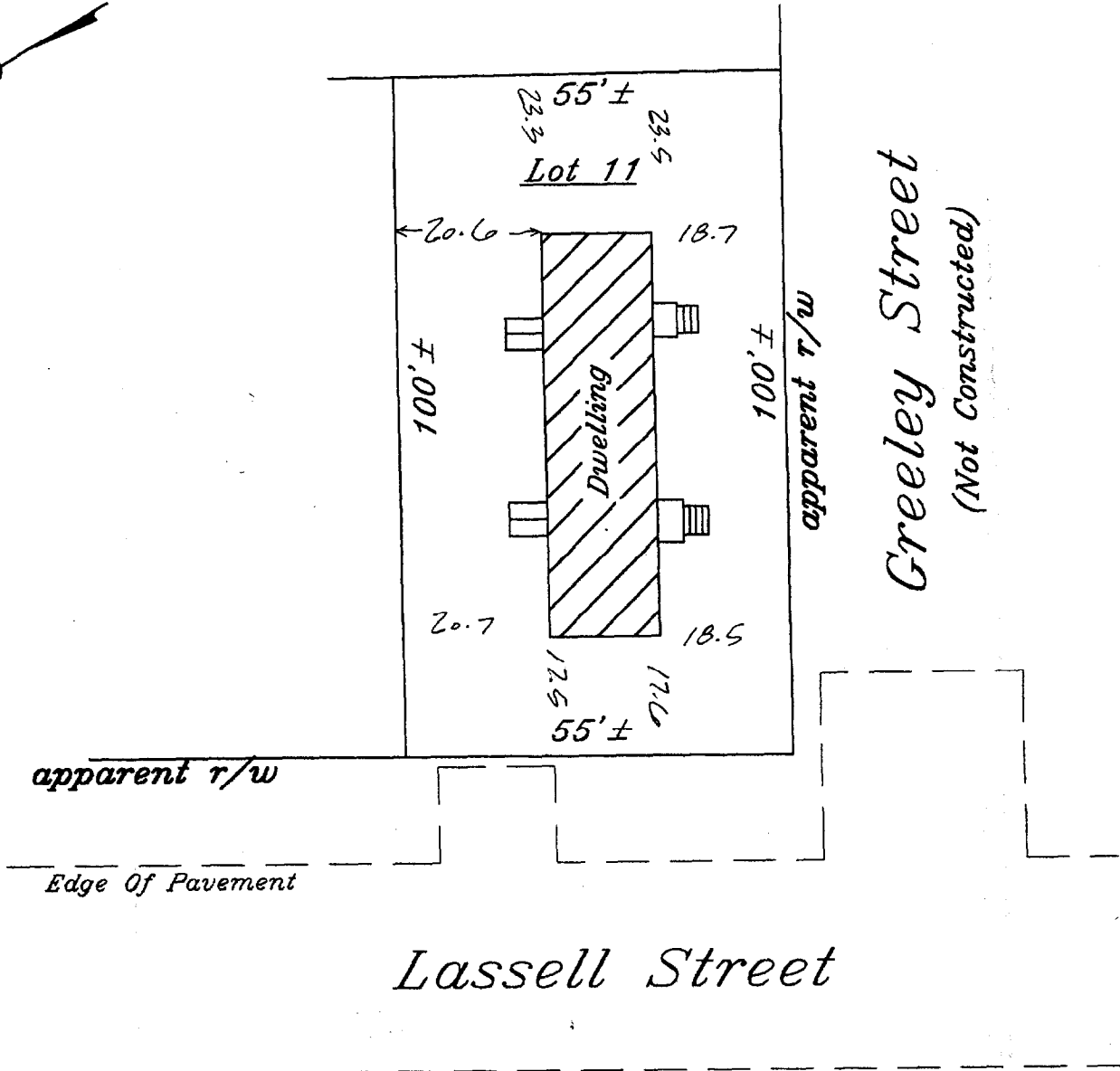
55

LASSELL ST

received  
8/30/01

8/30/01  
MICHAEL  
ROGERS

COPY



1" = 20'

Received  
8/30/01

421

# 32-34 LASSELL ST. PLOT PLAN

R-5 ZONE

see revised  
REAR

No less than 20'

NOTE:  
Will be  $\geq 20'$   
FROM REAR  
BOUNDARY LINE.

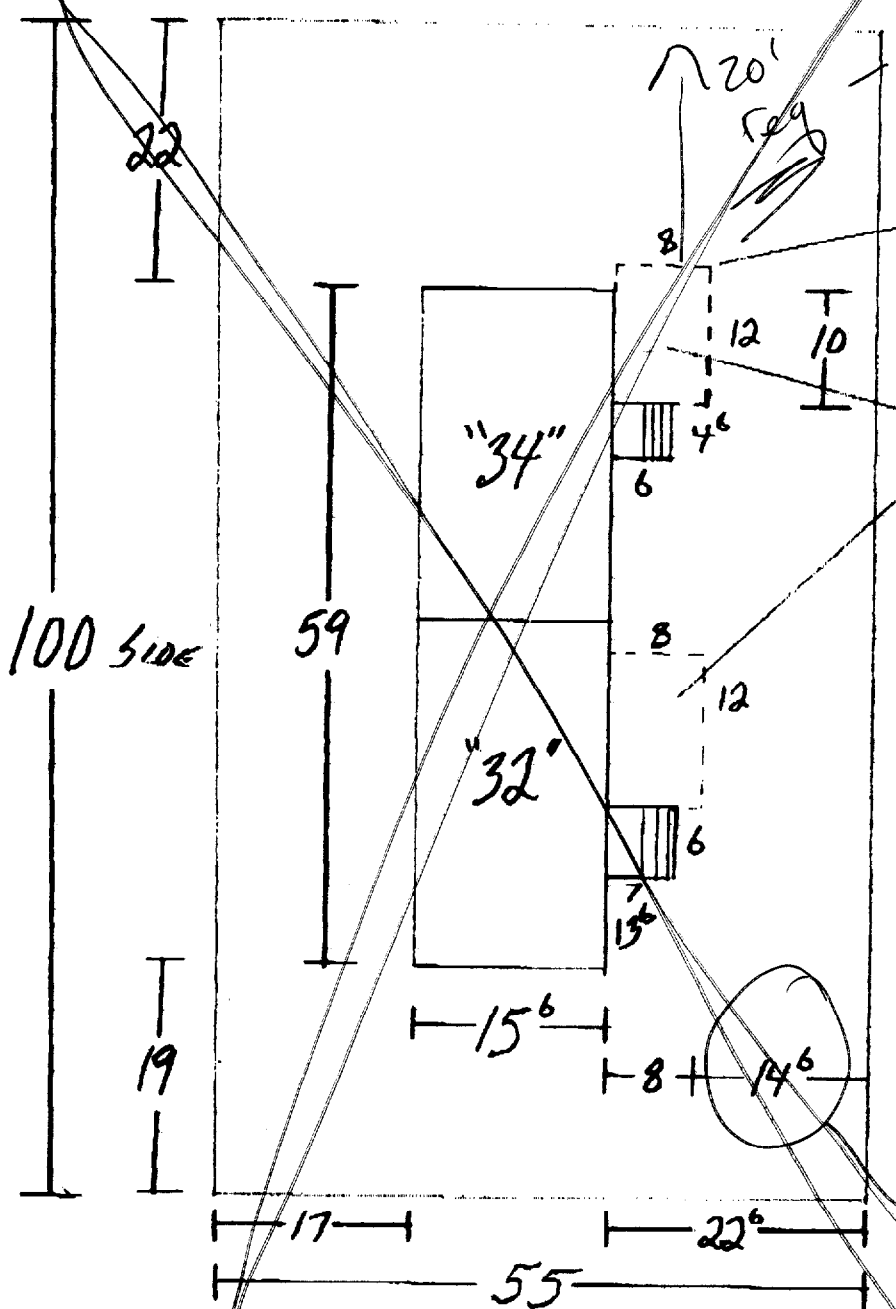
PROPOSED  
DECKS

SIDE

Greely  
Street

15' required

MICHAEL ROGER,  
8/1/01



1 SHEET OF 5 SHEETS  
 2 SHEETS OF 5 SHEETS  
 3 SHEETS OF 5 SHEETS  
 4 SHEETS OF 5 SHEETS  
 5 SHEETS OF 5 SHEETS  
 6 SHEETS OF 5 SHEETS  
 7 SHEETS OF 5 SHEETS  
 8 SHEETS OF 5 SHEETS  
 9 SHEETS OF 5 SHEETS  
 10 SHEETS OF 5 SHEETS  
 11 SHEETS OF 5 SHEETS  
 12 SHEETS OF 5 SHEETS  
 13 SHEETS OF 5 SHEETS  
 14 SHEETS OF 5 SHEETS  
 15 SHEETS OF 5 SHEETS  
 16 SHEETS OF 5 SHEETS  
 17 SHEETS OF 5 SHEETS  
 18 SHEETS OF 5 SHEETS  
 19 SHEETS OF 5 SHEETS  
 20 SHEETS OF 5 SHEETS  
 21 SHEETS OF 5 SHEETS  
 22 SHEETS OF 5 SHEETS  
 23 SHEETS OF 5 SHEETS  
 24 SHEETS OF 5 SHEETS  
 25 SHEETS OF 5 SHEETS  
 26 SHEETS OF 5 SHEETS  
 27 SHEETS OF 5 SHEETS  
 28 SHEETS OF 5 SHEETS  
 29 SHEETS OF 5 SHEETS  
 30 SHEETS OF 5 SHEETS  
 31 SHEETS OF 5 SHEETS  
 32 SHEETS OF 5 SHEETS  
 33 SHEETS OF 5 SHEETS  
 34 SHEETS OF 5 SHEETS  
 35 SHEETS OF 5 SHEETS  
 36 SHEETS OF 5 SHEETS  
 37 SHEETS OF 5 SHEETS  
 38 SHEETS OF 5 SHEETS  
 39 SHEETS OF 5 SHEETS  
 40 SHEETS OF 5 SHEETS  
 41 SHEETS OF 5 SHEETS  
 42 SHEETS OF 5 SHEETS  
 43 SHEETS OF 5 SHEETS  
 44 SHEETS OF 5 SHEETS  
 45 SHEETS OF 5 SHEETS  
 46 SHEETS OF 5 SHEETS  
 47 SHEETS OF 5 SHEETS  
 48 SHEETS OF 5 SHEETS  
 49 SHEETS OF 5 SHEETS  
 50 SHEETS OF 5 SHEETS  
 51 SHEETS OF 5 SHEETS  
 52 SHEETS OF 5 SHEETS  
 53 SHEETS OF 5 SHEETS  
 54 SHEETS OF 5 SHEETS  
 55 SHEETS OF 5 SHEETS  
 56 SHEETS OF 5 SHEETS  
 57 SHEETS OF 5 SHEETS  
 58 SHEETS OF 5 SHEETS  
 59 SHEETS OF 5 SHEETS  
 60 SHEETS OF 5 SHEETS  
 61 SHEETS OF 5 SHEETS  
 62 SHEETS OF 5 SHEETS  
 63 SHEETS OF 5 SHEETS  
 64 SHEETS OF 5 SHEETS  
 65 SHEETS OF 5 SHEETS  
 66 SHEETS OF 5 SHEETS  
 67 SHEETS OF 5 SHEETS  
 68 SHEETS OF 5 SHEETS  
 69 SHEETS OF 5 SHEETS  
 70 SHEETS OF 5 SHEETS  
 71 SHEETS OF 5 SHEETS  
 72 SHEETS OF 5 SHEETS  
 73 SHEETS OF 5 SHEETS  
 74 SHEETS OF 5 SHEETS  
 75 SHEETS OF 5 SHEETS  
 76 SHEETS OF 5 SHEETS  
 77 SHEETS OF 5 SHEETS  
 78 SHEETS OF 5 SHEETS  
 79 SHEETS OF 5 SHEETS  
 80 SHEETS OF 5 SHEETS  
 81 SHEETS OF 5 SHEETS  
 82 SHEETS OF 5 SHEETS  
 83 SHEETS OF 5 SHEETS  
 84 SHEETS OF 5 SHEETS  
 85 SHEETS OF 5 SHEETS  
 86 SHEETS OF 5 SHEETS  
 87 SHEETS OF 5 SHEETS  
 88 SHEETS OF 5 SHEETS  
 89 SHEETS OF 5 SHEETS  
 90 SHEETS OF 5 SHEETS  
 91 SHEETS OF 5 SHEETS  
 92 SHEETS OF 5 SHEETS  
 93 SHEETS OF 5 SHEETS  
 94 SHEETS OF 5 SHEETS  
 95 SHEETS OF 5 SHEETS  
 96 SHEETS OF 5 SHEETS  
 97 SHEETS OF 5 SHEETS  
 98 SHEETS OF 5 SHEETS  
 99 SHEETS OF 5 SHEETS  
 100 SHEETS OF 5 SHEETS

5500 # x 40% = 2200 FRONT

15.5 x 59 = 914.5  
 8 x 12 x 2 = 192  
 7 x 6 = 42  
 4.5 x 6 = 27  
 1176.5

ok  
received 8/1/01

440 Forest Avenue  
Portland, Maine 04101  
207 775-5600  
207 774-6848 Fax  
mcr@maine.com

**MCR Real Estate**

---

8/1/01

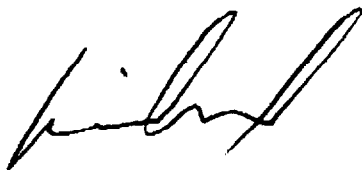
DEAR MARGE:

7:01 P.M.

THE FOLLOWING IS THE PLOT PLAN  
FOR 32-34 CASSELL ST SHOWING  
THE PROPOSED DOCKS.

PLEASE CALL SHOULD YOU HAVE  
ANY QUESTIONS.

THANK YOU





# 32-34 LASSELL PLOT PLAN

10 SHEETS BY 14 1/2" X 22" (10 SHEETS)  
 11 SHEETS BY 14 1/2" X 22" (11 SHEETS)  
 12 SHEETS BY 14 1/2" X 22" (12 SHEETS)  
 13 SHEETS BY 14 1/2" X 22" (13 SHEETS)  
 14 SHEETS BY 14 1/2" X 22" (14 SHEETS)  
 15 SHEETS BY 14 1/2" X 22" (15 SHEETS)  
 16 SHEETS BY 14 1/2" X 22" (16 SHEETS)  
 17 SHEETS BY 14 1/2" X 22" (17 SHEETS)  
 18 SHEETS BY 14 1/2" X 22" (18 SHEETS)  
 19 SHEETS BY 14 1/2" X 22" (19 SHEETS)  
 20 SHEETS BY 14 1/2" X 22" (20 SHEETS)

National Enrichment

156'



204'  
 59'

(A)  
 PROPOSED  
 BATHROOM  
 SHED  
 DORMER

139'

17'

226'

EXISTING  
 SHED  
 DORMER

32  
 LASSELL

19'

(B)  
 PROPOSED  
 STAIRWELL,  
 BEDROOM  
 SHED  
 DORMER

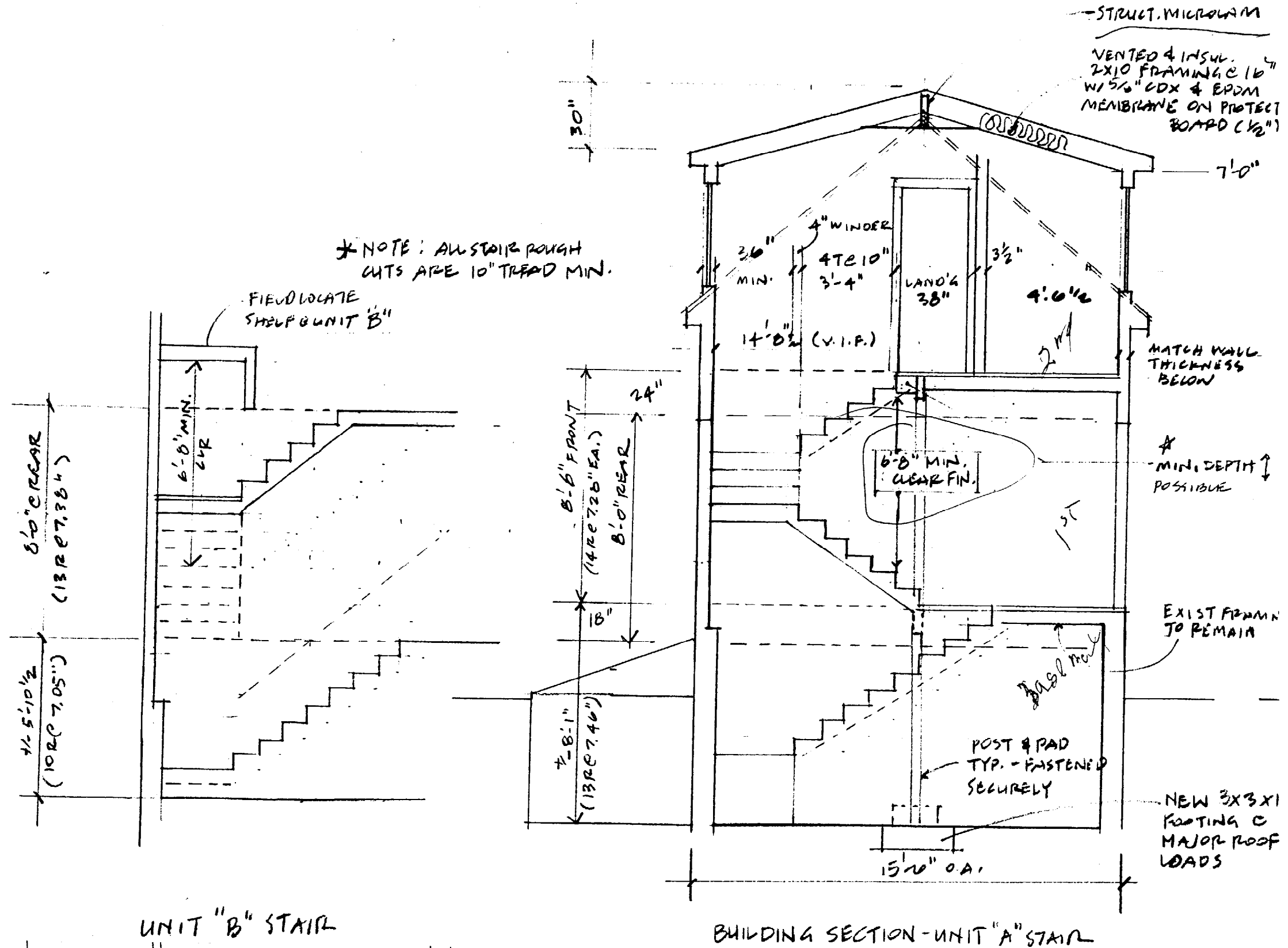
DRIVEWAY

14'

LASSELL STREET

Michael Rogers  
 6/20/01

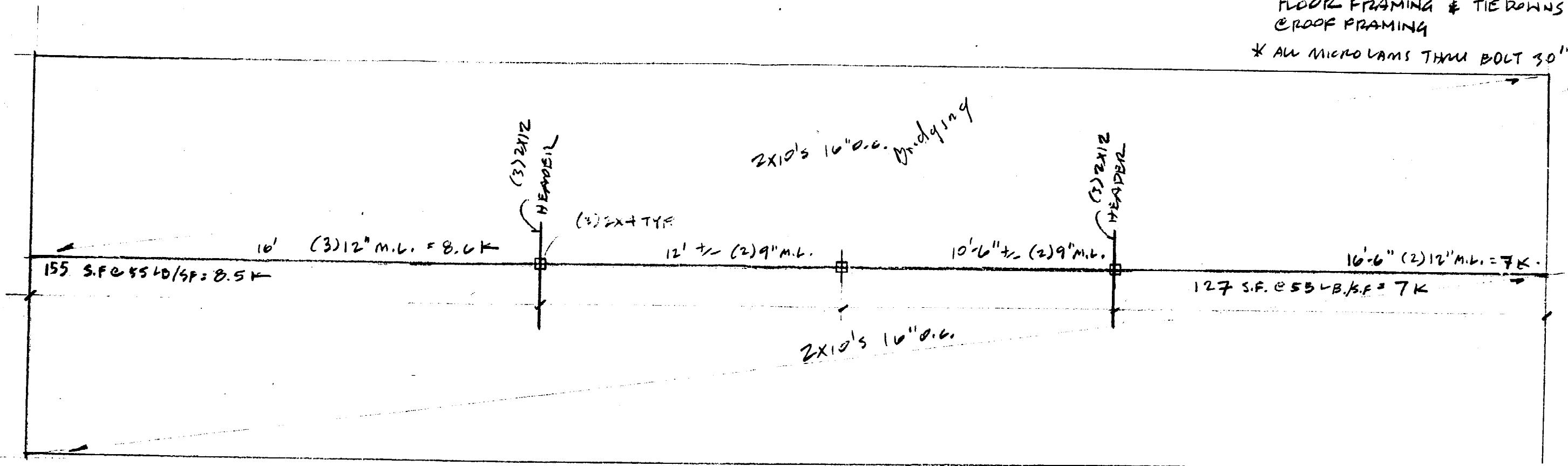
ROOF FRAMING



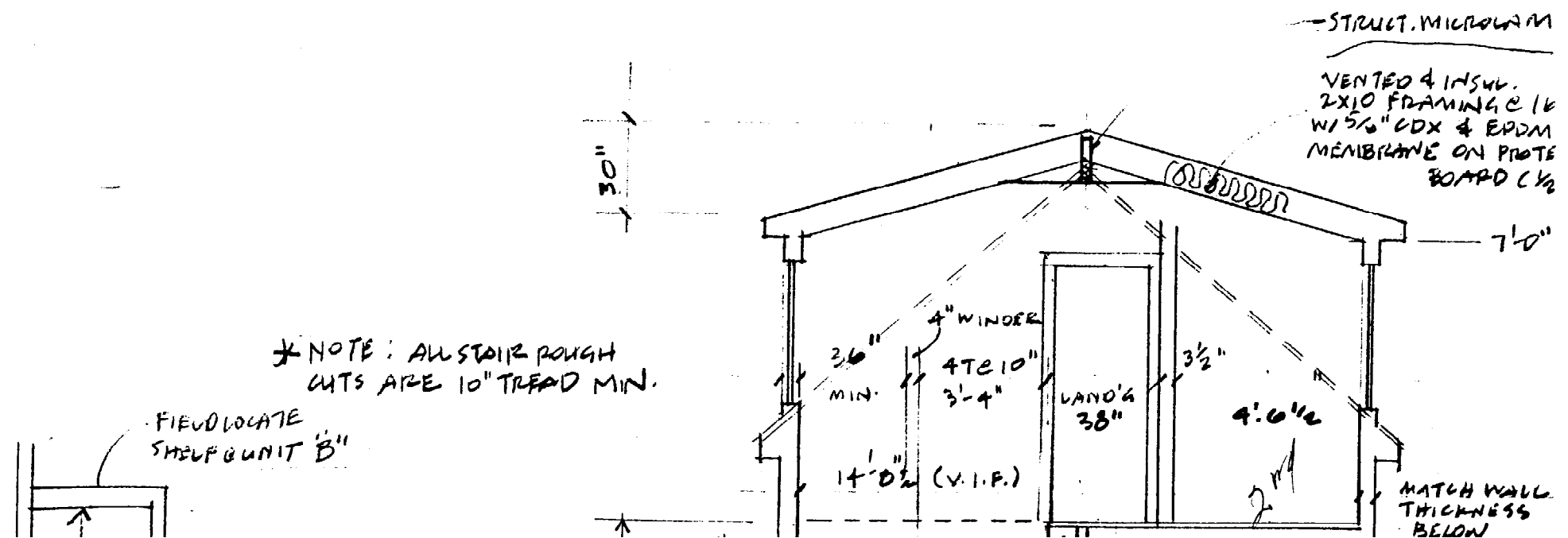
\* FIRST FLOOR FRAMING  
TO REMAIN

\* INSTALL JOIST HANGERS @ ALL  
FLOOR FRAMING & TIE ROWNS  
& ROOF FRAMING

\* ALL MICRO LAMS THRU BOLT 30" O.C. STAG  
W/ 1/2" CAP  
BOLTS

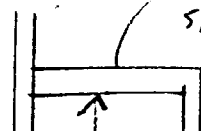


ROOF FRAMING

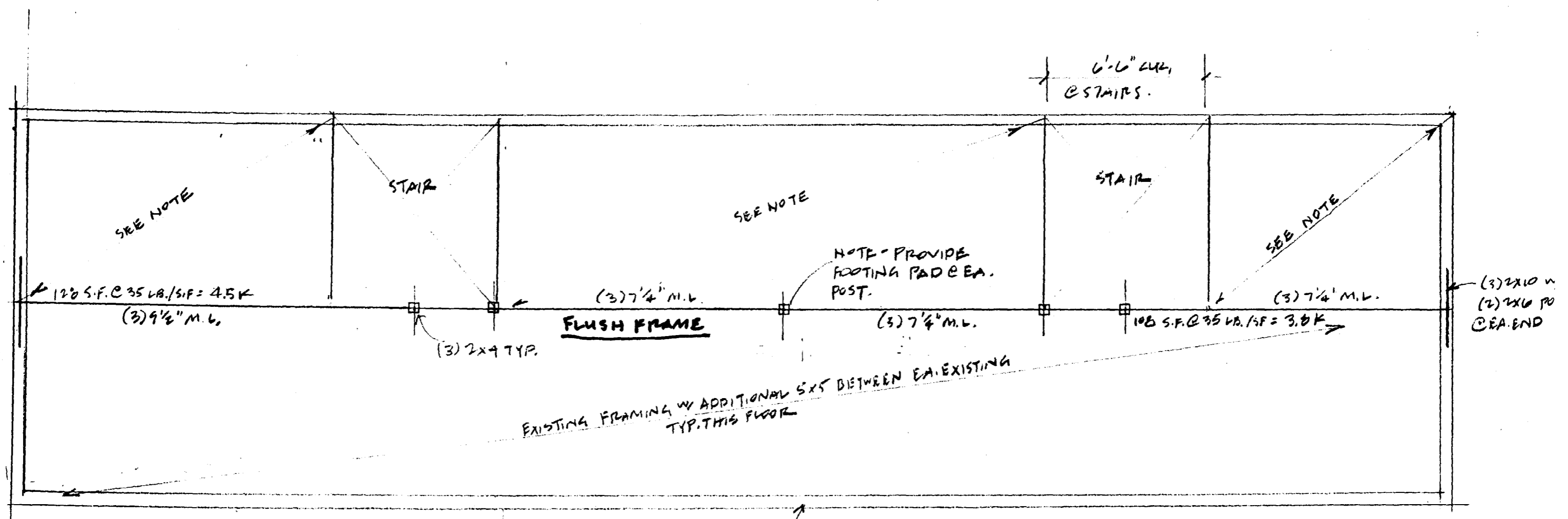
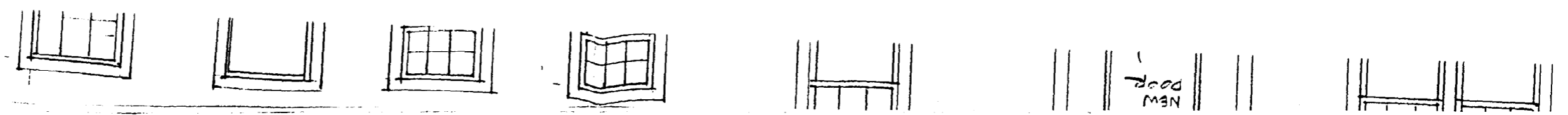


\* NOTE: ALL STAIR ROUGH  
CUTS ARE 10" TREAD MIN.

FIELD LOCATE  
SHELF UNIT 'B'

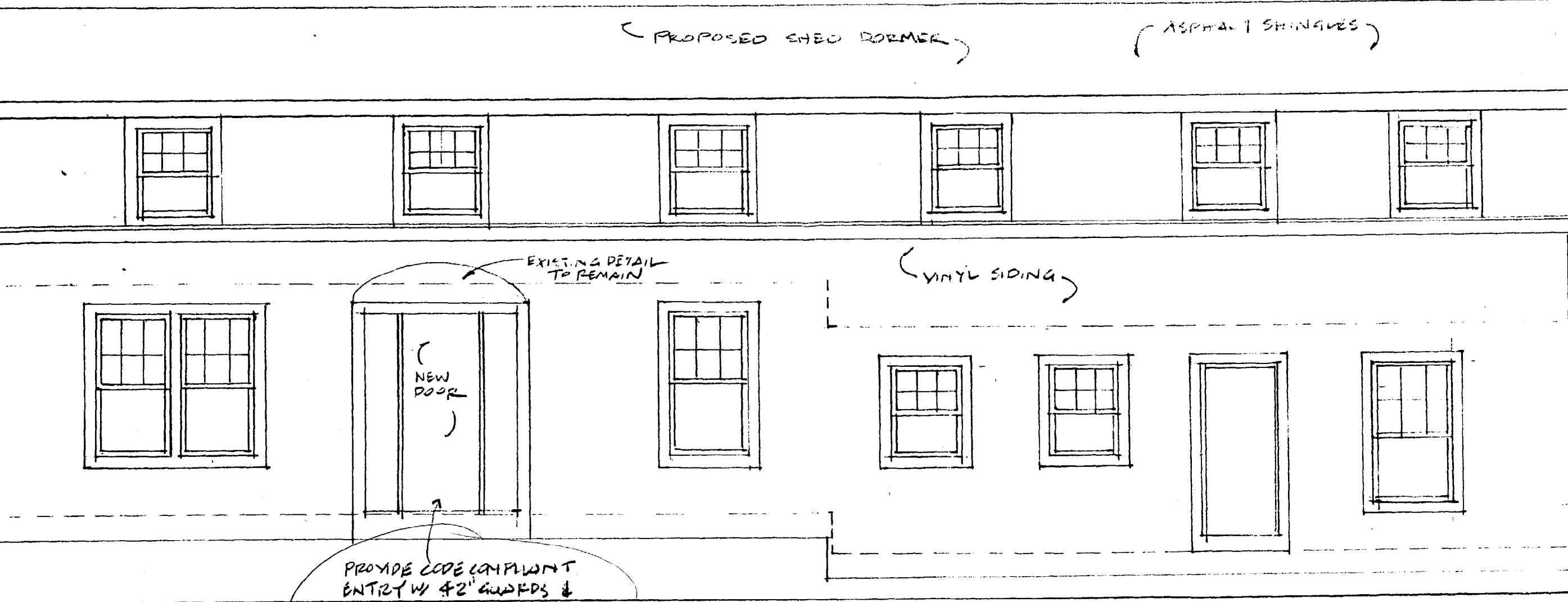
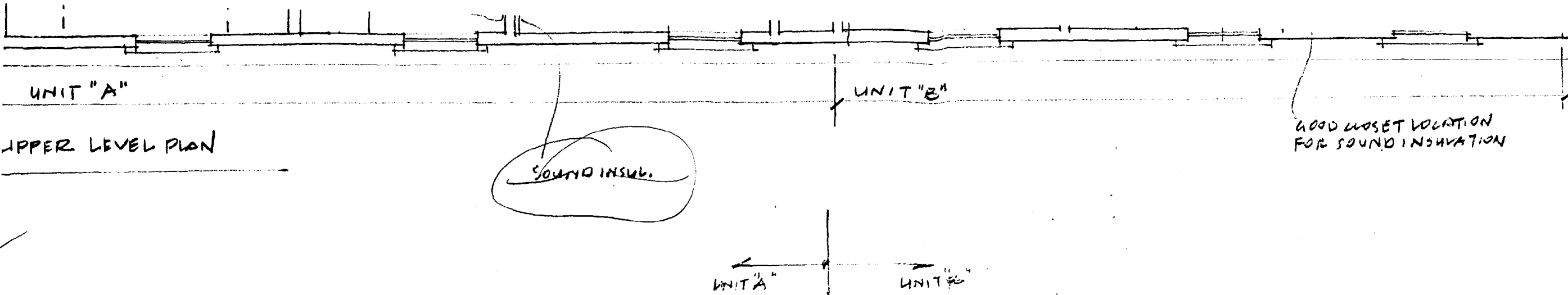


MATCH WALL  
THICKNESS  
BELOW



SECOND FLOOR FRAMING

- \* FIRST FLOOR FRAMING TO REMAIN
- \* INSTALL JOIST HANGERS @ ALL FLOOR FRAMING & TIE DOWNS @ ROOF FRAMING
- \* ALL MICRO LAMS THRU BOLT 30" O.C. STA.



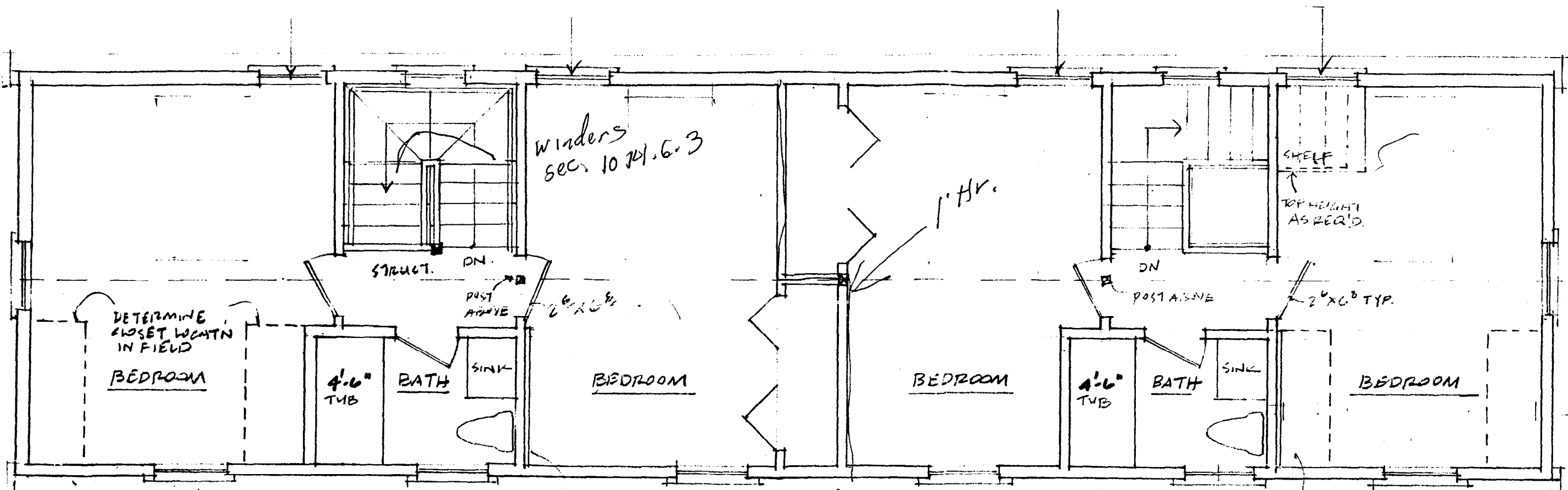
DEPT. OF BUILDING INSP.  
CITY OF PORTLAND

JUL 13 2001

RECEIVED

FRONT ELEVATION

CONDO CONVERSION FOR 32-34 LASELL ST  
THE ONEX COMPANY  
7/17/01      1/4" = 1'-0"



UNIT "A"

UNIT "B"

UPPER LEVEL PLAN

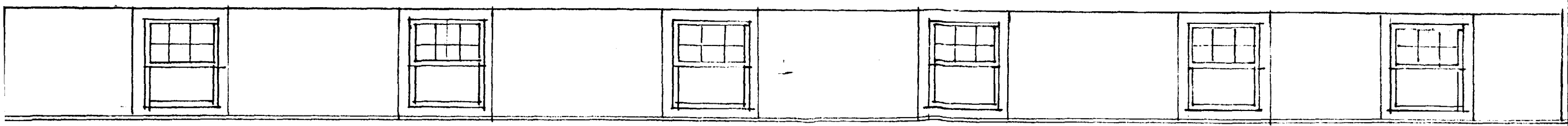
SOUND INSUL.

GOOD CLOSET LOCATION FOR SOUND INSULATION

UNIT "A"      UNIT "B"

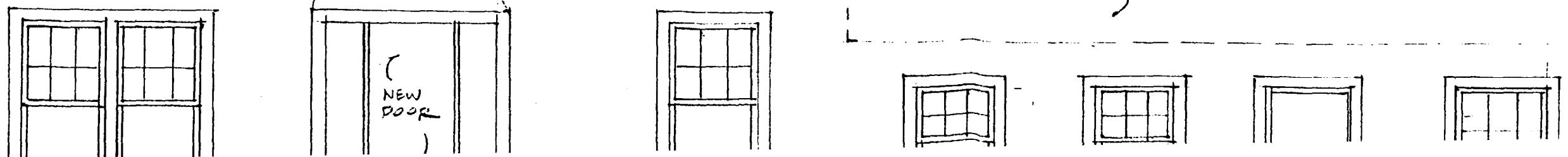
PROPOSED SHEET ROOFING

ASPHALT SHINGLES



EXISTING DETAIL TO REMAIN

VINYL SIDING



DEPT. OF BUILDING INSP.  
CITY OF PORTLAND

1000

