

190-F-8

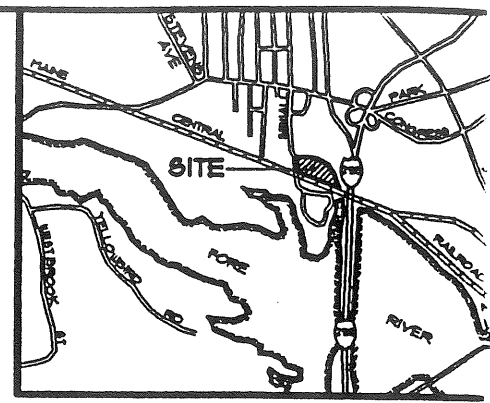
# 2004-0116

91 Sewall St.

Bus Garage - Concord Trailways  
Langdon St. Real Estate

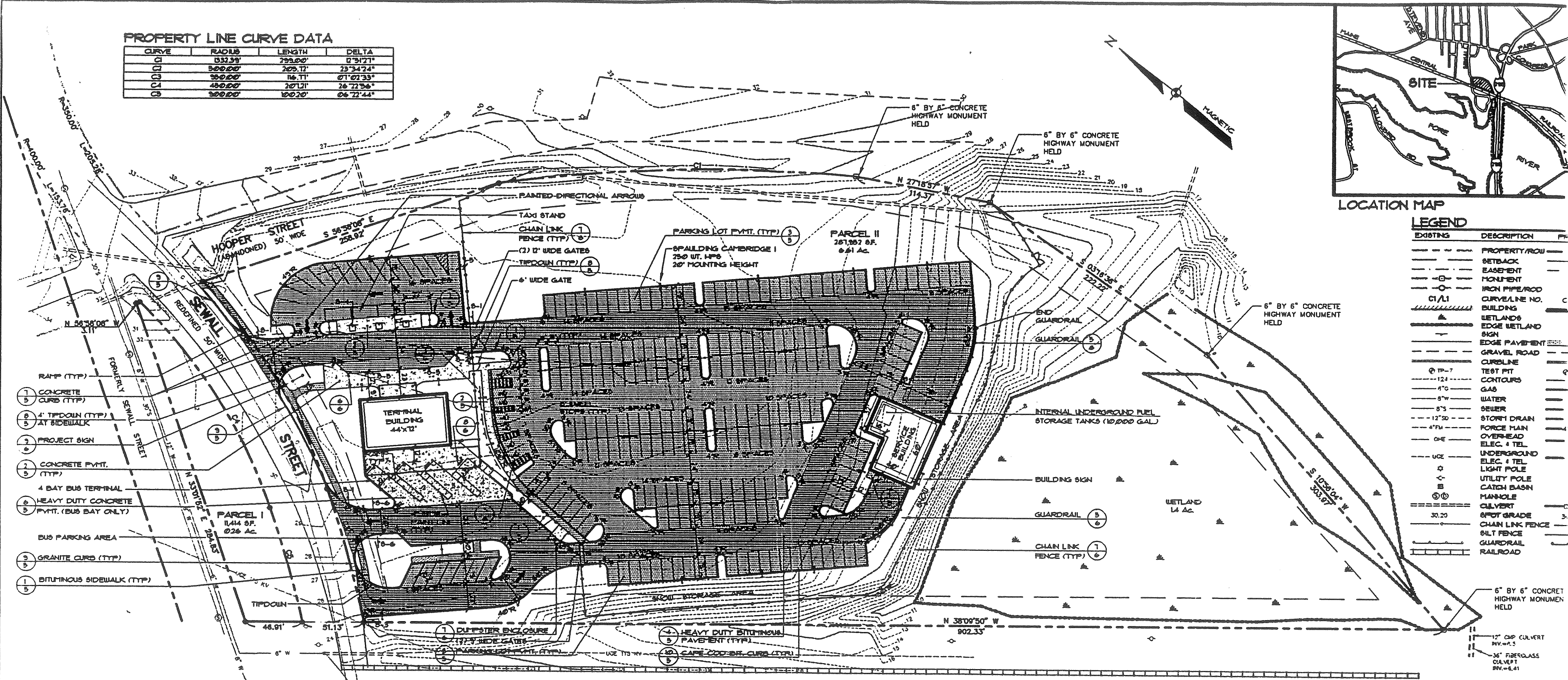
**PROPERTY LINE CURVE DATA**

CURVE	RADIUS	LENGTH	DELTA
1	1332.39'	793.00'	0°31'27"
2	500.00'	209.17'	23°34'24"
3	500.00'	16.11'	07°02'33"
4	480.00'	207.12'	26°22'36"
5	500.00'	100.20'	06°22'44"



**LEGEND**

EXISTING	DESCRIPTION	FF
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
○	MONUMENT	---
○	IRON PIPE/ROD	---
---	CURVE/LINE NO. BUILDING	C
▲	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURVE/LINE	---
○ TP-7	TEST PIT	---
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. TEL	---
---	UNDERGROUND ELEC. TEL	---
○	LIGHT POLE	---
---	UTILITY POLE	---
---	CATCH BASIN	---
○	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	SILT FENCE	---
---	GUARDRAIL	---
---	RAILROAD	---



- 1 CONCRETE CURB (TYP)
- 2 4" TYPDOWN (TYP) AT SIDEWALK
- 3 PROJECT SIGN
- 4 CONCRETE P.V.M.T. (TYP)
- 5 4 BAY BUS TERMINAL
- 6 HEAVY DUTY CONCRETE P.V.M.T. (BUS BAY ONLY)
- 7 BUS PARKING AREA
- 8 GRANITE CURB (TYP)
- 9 BITUMINOUS SIDEWALK (TYP)

**GENERAL NOTES**

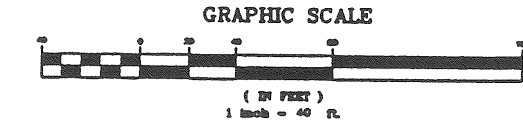
- Owner: Record owner of the property is Peterson Corp. by deed dated September 25, 1958 and recorded at the Cumberland County Registry of Deeds in Book 12302, Page 130.
- Applicant: Concord Trailways, 7 Langdon Street, Concord, NH 03301.
- Assessors Reference: Tax Map No. T1, Lot 1; Tax Map 193, Lots 61-20, 41-11; Tax Map 192, Lots C1-7, 15, 16, P3-13 and includes a portion of Jose Street, a paper street.
- Plan References:
  - Topography: Field survey performed by Sebago Technics, Inc. June 1956.
  - Wetlands: Field survey performed by Sebago Technics, Inc. June 1956.
- A. Plan showing land and House Lots belonging to the West End Land Co. and P. H. and J. M. Brown, surveyed in 1887 by E. C. Jordan, C.E., being filed in the City of Portland engineering files as drawing 398/4.
- B. Maine State Highway Commission Right of Way Map 541C, File No. 3-126, Sheets 39 & 40 of T3 dated May 1967 and recorded at CCRD in Plan Book 12, Pages 41 & 42.
- C. Property and Topographic Plan for Beacon Street Development Trust dated through August 20, 1986 by HTA-OEST Associates, Inc.
- For purposes of reconstructing the boundaries of the property shown herein, the four concrete monuments were held as shown on the M&M Right of Way Maps referenced above. The property is a portion of land formerly purchased by the Portland Terminal Co. in 192 and was created by a conveyance from Portland Terminal Co. to Thompson's Point, Inc. dated August 23, 1955 and recorded in Book 6880, Page 274. The location of Beacon Street and the Portland Terminal Co. station

TBM  
CATCH BASIN EL. 19.24  
ACQUIRED FROM A PROPERTY AND TOPOGRAPHIC PLAN BY HTA-OEST ASSOCIATES, INC. DATED AUG. 1986

- Based on the plan for West End Land Co. dated in 1887 by E. C. Jordan, it appears that a portion of the property formerly consisted of tidal flats that were filled presumably during the construction of Route 228 sometime around 1867. Any submerged or intertidal lands subject to the State of Maine's ownership in public trust that were filled on October 1, 1978 were declared and released to owners of such filled lands by the State free of any claimed ownership in public trust to the extent the areas of these properties and lands were not submerged or intertidal lands on that date. See MRSBA Title II, Chapter 202, Section 559. We recommend a legal opinion be rendered that there are no public interests in the property due to filled intertidal lands.
- The plan by E. C. Jordan for West End Land Co. also depicts two "paper streets" named Jose Street and Beth Street portions of which cross the property. No public acceptance of these streets were found in City of Portland records. We recommend a legal opinion be rendered as to what residual rights may or may not exist into these streets.
- This plan is based on a Standard Boundary Survey performed in accordance with the State of Maine Board of Licensure for Professional Land Surveyors Standards of Practice Category 1, Condition 2 with the following exceptions:
  - A. No new deed description has been prepared.
  - B. No report of survey separate from this plan was completed.
  - C. No monumentation has been set at this time.

II. Use	Bus Terminal
1. Space and Bulk Requirements:	
Minimum Lot Size	None
Minimum Street Frontage	60' PL
Minimum Yard Dimensions:	
Front Yard	25' PL
Side/Rear Yard	Principal buildings or structures and accessory buildings or structures: One (1) PL for each foot of height up to a maximum of 25' PL. 45' PL (4 stories)
Maximum Building Height	
B. Building Summary:	
Terminal	3,168 SF. (44 x 72)
Service Garage	232 SF.
Total Sq. PL	6,000 SF.
14. Parking Space Requirements:	
Terminal	1 space/400 SF (3,168 SF + 400 SF) = 8 spaces
Service Garage	1 space/1,000 SF Buildings over 3,000 SF = 0 spaces
Total Required	8 spaces
Total Proposed	236 spaces (incl. 1 handicap)
B. The project will be serviced by city sewer, water, underground electric, telephone, cable and gas.	
16. Methods and materials used in the construction of the improvements herein shall conform to the current city construction standards and specifications and/or current PDOT standards and specifications.	
17. The contractor or developer is required to notify the City of Portland Parks and Public Works Inspection Services Division in writing three (3) days prior to the beginning of construction (874-8300 ext. 2638). Should the improvements be of significant concern or in a sensitive area a pre-	

- An approved set of plans and all applicable permits must be available at the construction site. The developer, or authorized agent, must be available at all times during construction.
- Warning signs, markers, barricades or flagmen, appropriate for the type of construction, must be employed to regulate traffic.
- Construction debris shall be containerized and disposed of in accordance with City of Portland's Solid Waste Ordinance Chapter 12.
- Any damage to public or private property resulting from construction activities shall be repaired by the developer/contractor at their expense.
- Property markers and street line monuments shall be properly protected at all times during construction to insure their integrity. If disturbed they shall be replaced by a surveyor registered in the State of Maine at the contractor/developer's expense.
- Notification shall be given to the Portland Water District prior to construction of water mains. Information should also be obtained from the Water District concerning permit and regulations.
- All sanitary sewers and appurtenances shall be constructed in accordance with the current standards and specifications of the City of Portland Parks and Public Works Sewer Division.
- All new connections, reconstructions etc. to sanitary or storm sewers shall require a connection permit prior to beginning any work. The City of Portland Parks and Public Works Department must be notified at least 24 hours prior to commencement to allow for inspection.

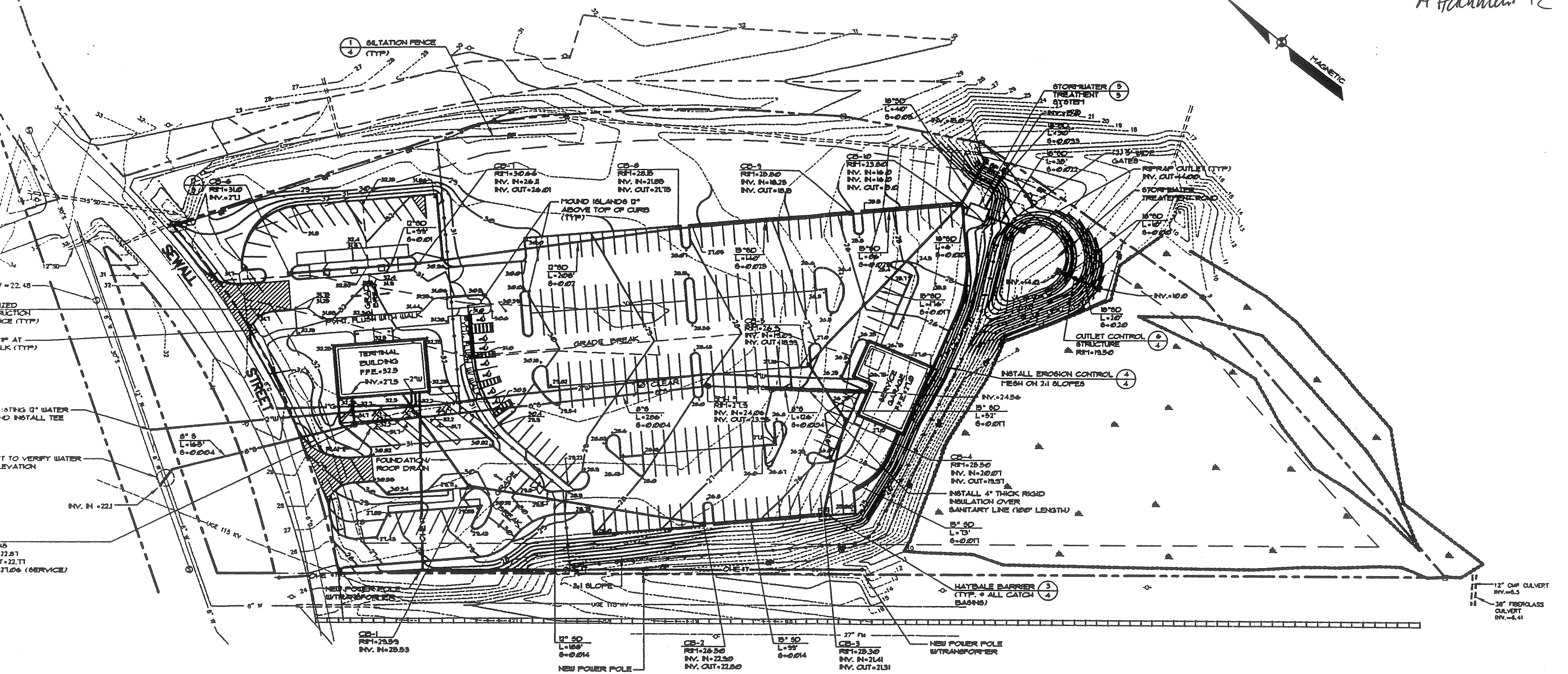
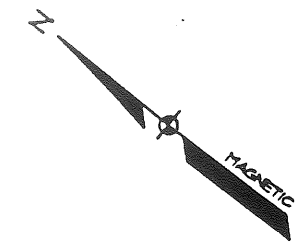


**SIGNAGE LEGEND**

8-1	STOP SIGN (24"x24")
8-2	SHORT TERM PARKING ← LONG TERM + HC PARKING ↑ (24"x36")
8-3	BUS + EMPLOYEE ENTRANCE ONLY (24"x24")
8-4	TAXI STAND (10"x30")
8-5	CUSTOMER DROP OFF - NO PARKING (12"x36")
8-6	DO NOT ENTER (24"x24")

REV.	BY:	DATE:	STATUS:
A	SCD	6-18-96	ISSUED FOR PLANNING BOARD REVIEW
<b>SITE PLAN/STANDARD BOUNDARY SU</b>			
OF: <b>CONCORD TRAILWAYS TRANSPORTATIC CENTER</b> SEWALL STREET PORTLAND, MAINE FOR: <b>CONCORD TRAILWAYS</b> 7 LANGDON STREET CONCORD, NH 03301			
			DESIGN BY: DRAWN BY: CHECKED BY: DATE:

Attachment 1

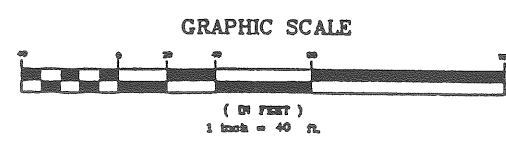


**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
	BUILDING	
▲	WETLANDS	▲
-----	EDGE WETLAND	-----
-----	EDGE PAVEMENT	-----
---	GRAVEL ROAD	---
---	CURBLINE	---
⊙ TP-7	TEST PIT	⊙
124	CONTOURS	124
6" G	GAS	6" G
6" W	WATER	6" W
6" S	SEWER	6" S
12" SD	STORM DRAIN	12" SD
4" FM	FORCE MAIN	4" FM
--- CHE	OVERHEAD ELEC. & TEL.	--- CHE
--- UOE	UNDERGROUND ELEC. & TEL.	--- UOE
◇	UTILITY POLE	◇
■	CATCH BASIN	■
⊙	MANHOLE	⊙
---	CULVERT	---
30.20	SPOT GRADE	30.00
---	CHAIN LINK FENCE	---
---	SILT FENCE	---
---	GUARDRAIL	---
---	RAILROAD	---

**GRADING AND DRAINAGE NOTES**

- The approval of erosion and sedimentation control measures described in these plans in no way relieves the developer and/or his agent from the responsibilities contained in the Land Use Code.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, silt dust, and take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
- Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 25 M.R.S.A. §360-A.
- The contractor/developer shall be responsible for the preservation of all trees and shrubs within the city right-of-way which have not been specifically designated for removal or modification.



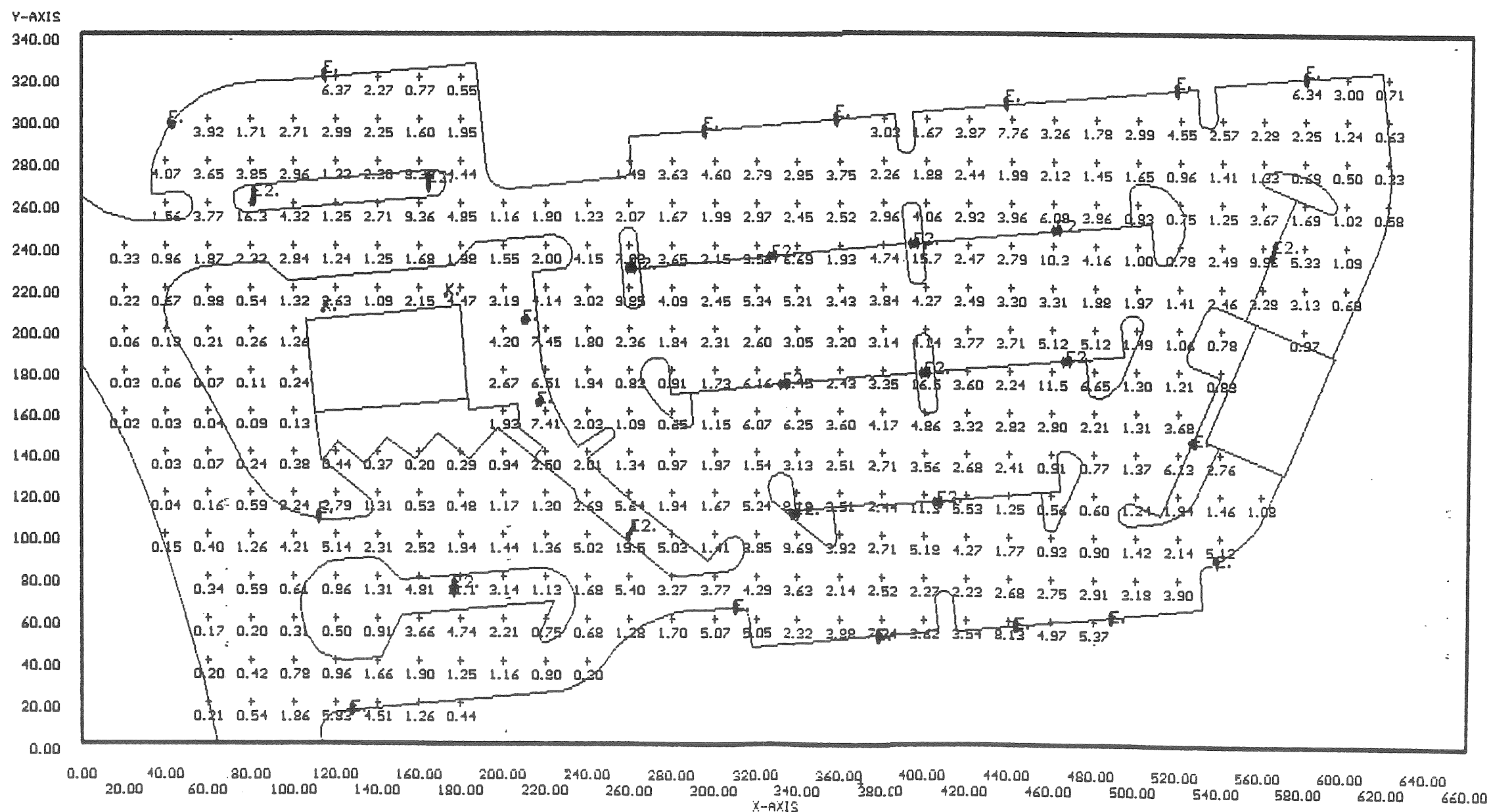
A	SCD	6-18-96	ISSUED FOR PLANNING BOARD REVIEW
REV. BY:	DATE:	STATUS:	
<b>GRADING, DRAINAGE &amp; UTILITY PLAN</b> OF: <b>CONCORD RAILWAYS TRANSPORTATION CENTER</b> SEWALL STREET PORTLAND, MAINE FOR: <b>CONCORD RAILWAYS</b> 7 LANGDON STREET CONCORD, NH 03301			
DESIGN BY:	SCD		
DRAWN BY:	JLB		
CHECKED BY:			
DATE:	6-18-96		
SCALE:	1"=40'		
FIELD BK:	480		
PROJ. NO.:	92091		
DRAWING:	92091GU		
<b>Sebago Technics</b> Engineering & Planning for the Future 12 WESTBROOK COMMON WESTBROOK, ME 04098-1336 TEL (207) 858-0277			
		<b>SHEET 2 OF 6</b>	

CPM's LITE\*PRO V3.00 Point-By-Point Numeric Output 09:46 25-Jun-96  
PROJECT: OTD00R10 AREA: CONCORD TRAILWS GRID: lot area  
VALUES ARE FC, SCALE: 1 IN= 60.0FT, HORZ GRID (U), HORZ CALC, Z= 0.0

Computed in accordance with IES recommendations

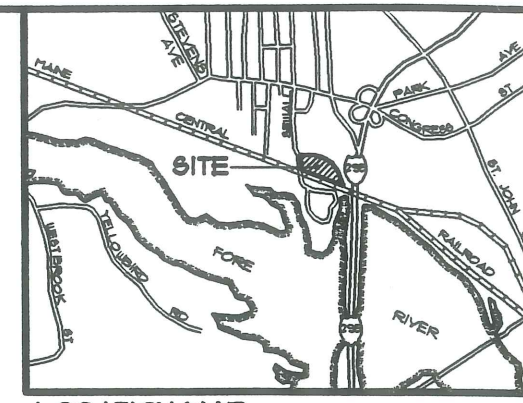
+ MIN=0.02 MAX=19.5 AVE=2.82 AVE/MIN= 123.17 MAX/MIN= 851.65

E. <17> = SPAULDING CEI S150 III, 20', .  
E2. <14> = SPAULDING CEI S150 US 2, 20', .  
K. <2> = AAL SLFH 22T S100, 12', .



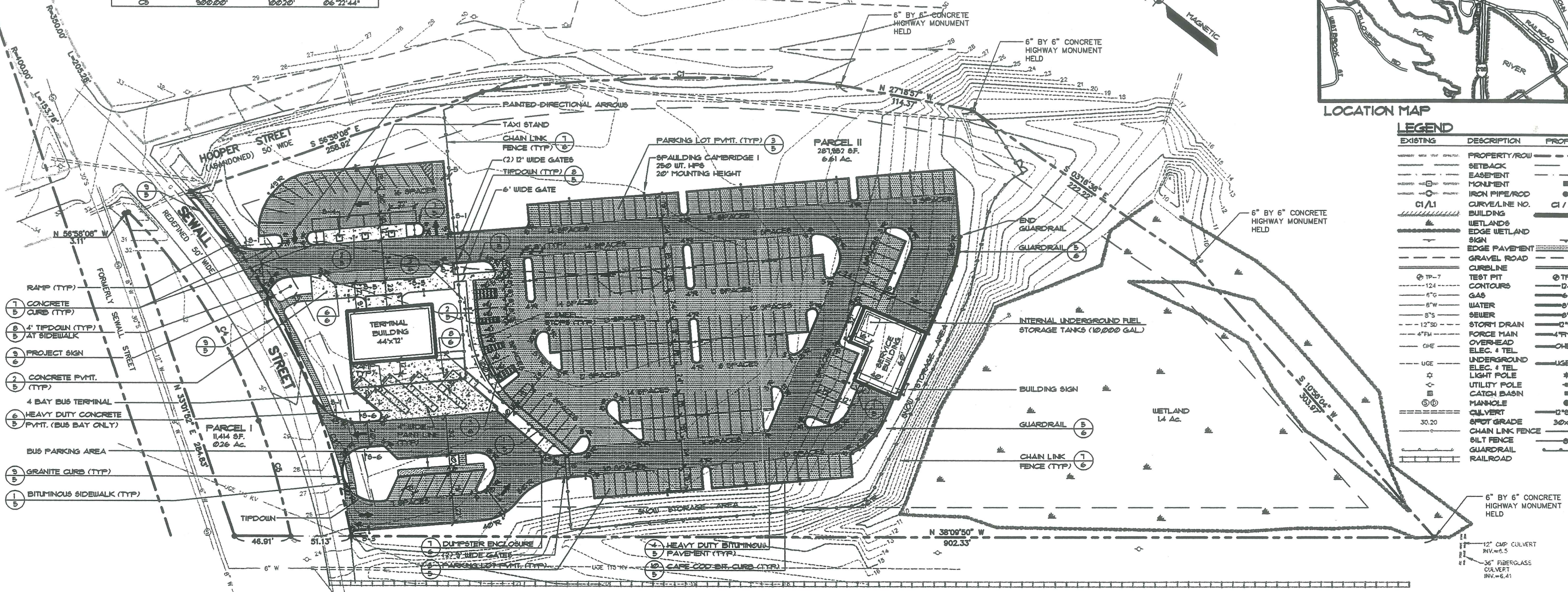
**PROPERTY LINE CURVE DATA**

CURVE	RADIUS	LENGTH	DELTA
C1	132.39'	298.00'	12°51'21"
C2	500.00'	208.12'	23°34'24"
C3	95.00'	116.11'	07°02'33"
C4	45.00'	207.12'	26°22'56"
C5	300.00'	100.20'	06°22'44"



**LEGEND**

EXISTING	DESCRIPTION	PROP.
---	PROPERTY ROW	---
---	SETBACK	---
---	EASEMENT	---
---	MONUMENT	---
---	IRON PIPE/ROD	---
C1/L1	CURVE/LINE NO.	C1/L1
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND SIGN	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
TP-7	TEST PIT	TP
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	CATCH BASIN	---
---	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
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---	SILT FENCE	---
---	RAILROAD	---



- 1 CONCRETE CURB (TYP)
- 2 4' TIPDOWN (TYP) AT SIDEWALK
- 3 PROJECT SIGN
- 4 CONCRETE PYMT. (TYP)
- 5 4 BAY BUS TERMINAL
- 6 HEAVY DUTY CONCRETE PYMT. (BUS BAY ONLY)
- 7 GRANITE CURB (TYP)
- 8 BITUMINOUS SIDEWALK (TYP)

**GENERAL NOTES**

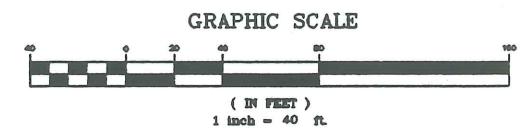
- Owner: Record owner of the property is Peterson Corp. by deed dated September 25, 1935 and recorded at the Cumberland County Registry of Deeds in Book 12302, Page 130.
- Applicant: Concord Trailways  
7 Langdon Street  
Concord, NH 03301
- Assessors Reference: Tax Map No. T1, Lot 1  
Tax Map 189, Lots G1-20, H1-11  
Tax Map 190, Lots C1-7, E, 16, F8-B  
and includes a portion of Jose Street, a paper street.
- Plan References:  
Topography: Field survey performed by Sebago Technics, Inc., June 1996.  
Wetlands: Field survey performed by Sebago Technics, Inc., June 1996.  
A. Plan Showing land and House Lots belonging to the West End Land Co. and P. H. and J. M. Brown, surveyed in 1867 by E. C. Jordan, C.E., being filed in the City of Portland engineering files as drawing 955/4.  
B. Maine State Highway Commission Right of Way Map S.H.C. File No. 3-185, sheets 39 & 40 of 13 dated May 1967 and recorded at CCRD in Plan Book 112, Pages 41 & 42.  
C. Property and Topographic Plan for Beacon Wharf Development Trust dated through August 20, 1986 by HTA-OEST Associates, Inc.

TBM  
CATCH BASIN EL. 19.24  
ACQUIRED FROM A PROPERTY AND  
TOPOGRAPHIC PLAN BY HTA-OEST  
ASSOCIATES, INC. DATED AUG. 1986

- Based on the plan for West End Land Co. dated in 1867 by E. C. Jordan, it appears that a portion of the property formerly consisted of tidal flats that were filled presumably during the construction of Route 235 sometime around 1867. Any submerged or intertidal land subject to the State of Maine's ownership in public trust that were filled on October 1, 1978 were declared and released to owners of such filled lands by the State free of any claimed ownership in public trust to the extent the areas of these properties and lands were not submerged or intertidal lands on that date. See M.R.S.A. Title 12, Chapter 202, Section 553. We recommend a legal opinion be rendered that there are no public interests in the property due to filled intertidal lands.
- The plan by E. C. Jordan for West End Land Co. also depicts two "paper streets" named Jose Street and Bath Street portions of which cross the property. No public acceptance of these streets was found in City of Portland records. We recommend a legal opinion be rendered as to what residual rights may or may not exist into these streets.
  - A. No new deed description has been prepared.
  - B. No report of survey separate from this plan was completed.
  - C. No monumentation has been set at this time.

- Use: Bus Terminal
- Space and Bulk Requirements:  
Minimum Lot Size: None  
Minimum Street Frontage: 60 Ft.  
Minimum Yard Dimensions:  
Front Yard: 25 Ft.  
Side/Rear Yard: Principal buildings or structures and accessory buildings or structures: One (1) Ft. for each foot of height up to a maximum of 25 Ft.  
Maximum Building Height: 45 Ft. (4 stories)
- Building Summary:  
Terminal: 3,168 SF. (44 x 72)  
Service Garage: 2,912 SF.  
Total Sq. Ft.: 6,080 SF.
- Parking Space Requirements:  
Terminal:  
1 space/400 SF (3,168 SF ÷ 400) = 8 spaces  
Service Garage:  
1 space/1000 w/ Buildings over 3,000 SF = 0 spaces  
Total Required: 8 spaces  
Total Proposed: 236 spaces (incl. 7 handicap)
- The project will be serviced by city sewer, water, underground electric, telephones, cable and gas.
- Methods and materials used in the construction of the improvements herein shall conform to the current city construction standards and specifications and/or current MDOT standards and specifications.
- The contractor or developer is required to notify the City of Portland Parks and Public Works Inspection Services Division in writing three (3) days prior to the beginning of construction (874-8300 ext. 8030). Should the improvements be of significant concern or in a sensitive area a pre-construction meeting may be required at the discretion of the City.

- An approved set of plans and all applicable permits must be available at the construction site. The developer, or authorized agent, must be available at all times during construction.
- Warning signs, markers, barricades or flagmen, appropriate for the type of construction, must be employed to regulate traffic.
- Construction debris shall be containerized and disposed of in accordance with City of Portland's Solid Waste Ordinance Chapter 12.
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- Property markers and street line monuments shall be properly protected at all times during construction to insure their integrity. If disturbed they shall be replaced by a surveyor registered in the State of Maine at the contractor/developer's expense.
- Notification shall be given to the Portland Water District prior to construction of water mains. Information should also be obtained from the Water District concerning permit and regulations.
- All sanitary sewers and appurtenances shall be constructed in accordance with the current standards and specifications of the City of Portland Parks and Public Works Sewer Division.
- All new connections, reconstructions etc. to sanitary or storm sewers shall require a connection permit prior to beginning any work. The City of Portland Parks and Public Works Department must be notified at least 24 hours prior to commencement to allow for inspection.



**SIGNAGE LEGEND**

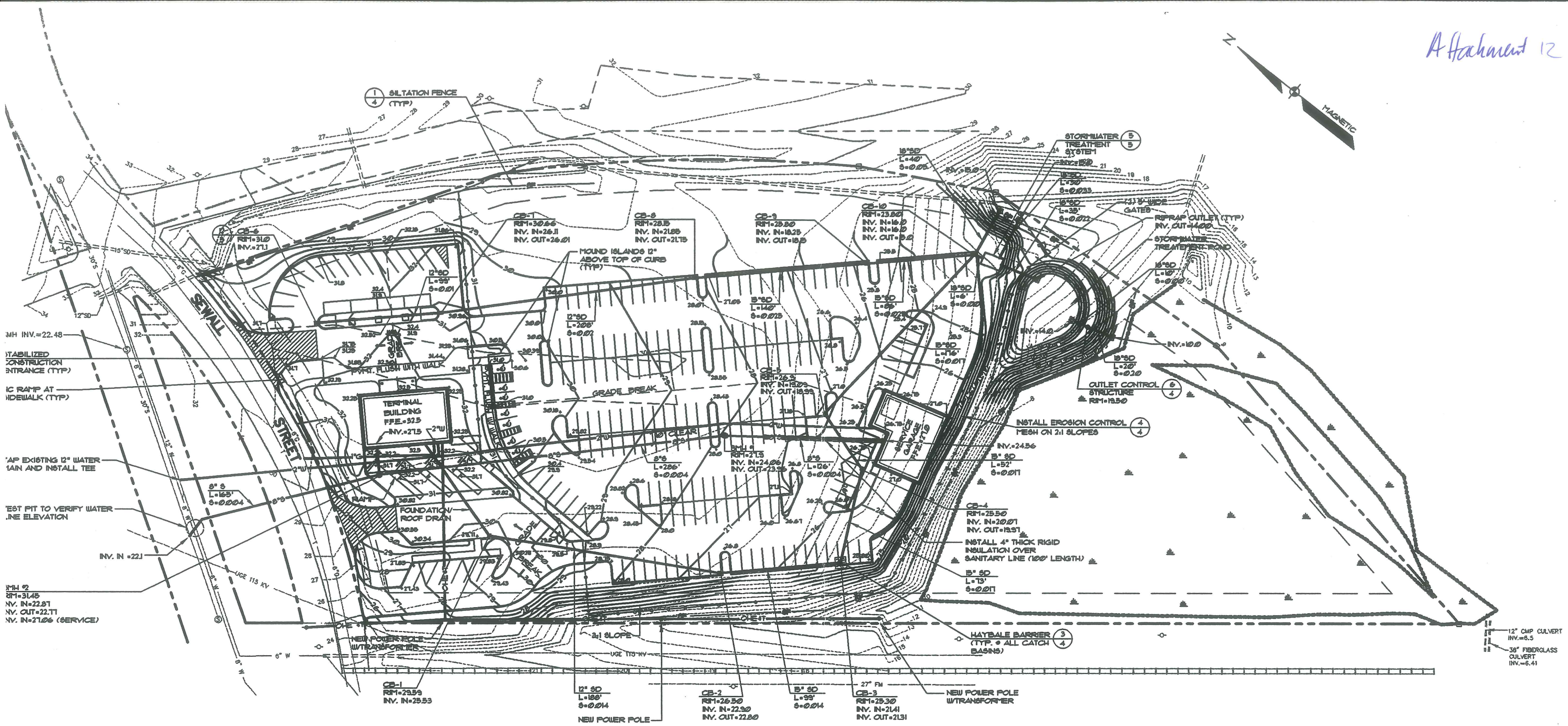
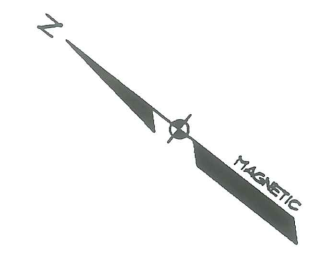
S-1	STOP SIGN (24"x24")
S-2	SHORT TERM PARKING ← LONG TERM & HC PARKING ↑ (24"x36")
S-3	BUS & EMPLOYEE ENTRANCE ONLY (24"x24")
S-4	TAXI STAND (12"x8")
S-5	CUSTOMER DROP OFF - NO PARKING (12"x8")
S-6	DO NOT ENTER (24"x24")

REV.	BY:	DATE:	STATUS:
A	SGD	6-18-96	ISSUED FOR PLANNING BOARD REVIEW

**SITE PLAN/STANDARD BOUNDARY SUR OF:**  
**CONCORD TRAILWAYS TRANSPORTATION CENTER**  
SEWALL STREET  
PORTLAND, MAINE  
FOR:  
**CONCORD TRAILWAYS**  
7 LANGDON STREET  
CONCORD, NH 03301

DESIGN BY:  
DRAWN BY:  
CHECKED BY:  
DATE:  
SCALE:



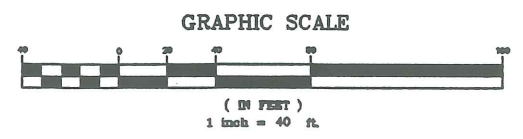


**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	BUILDING	---
▲	WETLANDS	---
▲	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
⊙ TP-7	TEST PIT	⊙
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. & TEL	---
---	UNDERGROUND ELEC. & TEL	---
---	UTILITY POLE	---
---	CATCH BASIN	---
---	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	SILT FENCE	---
---	GUARDRAIL	---
---	RAILROAD	---

**GRADING AND DRAINAGE NOTES**

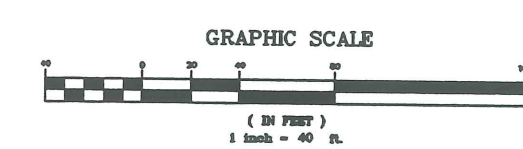
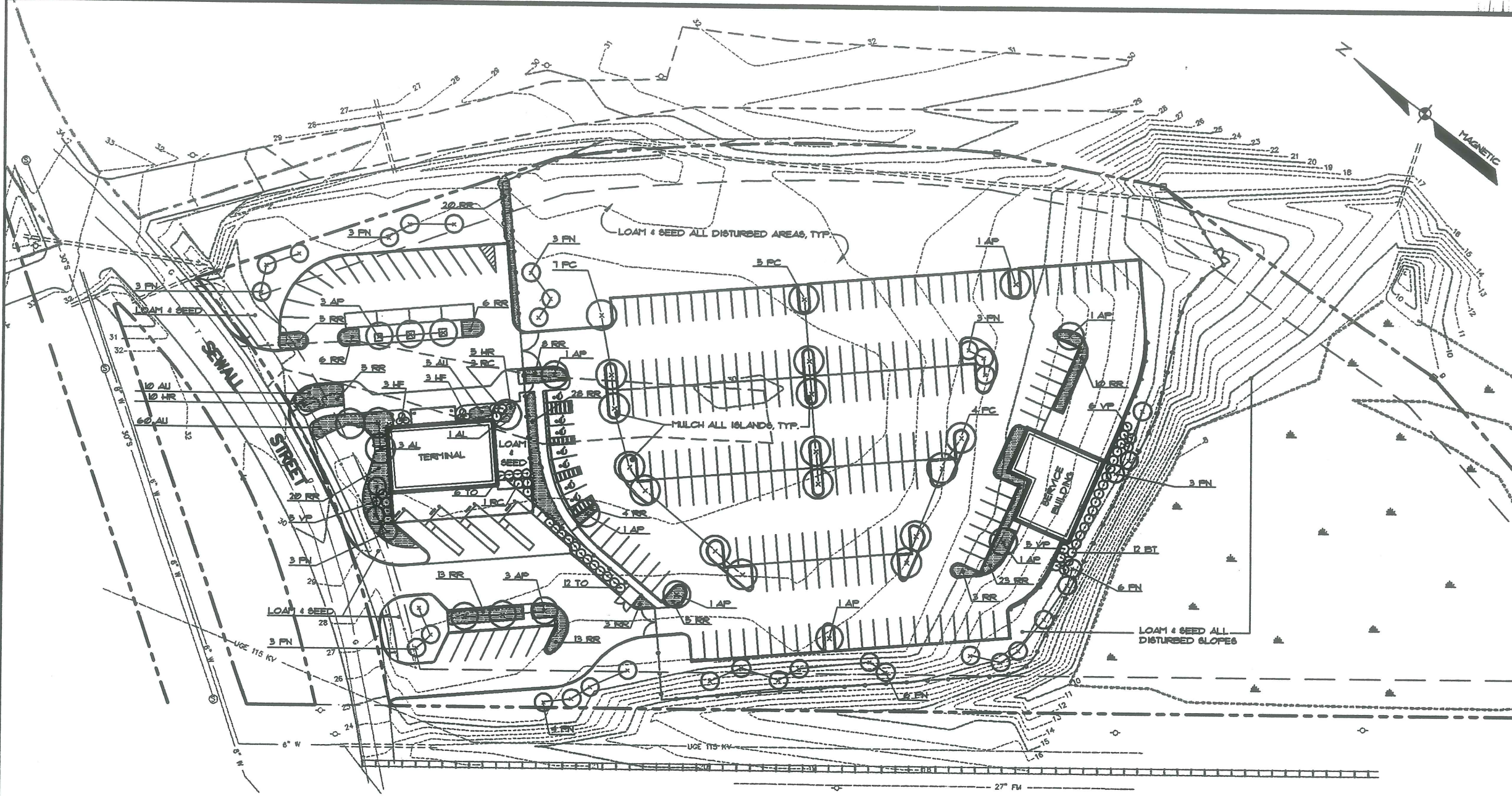
- The approval of erosion and sedimentation control measures described in these plans in no way relieves the developer and/or his agent from the responsibilities contained in the Land Use Code.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, alley dust, and take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
- Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 25 M.R.S.A. 3360-A.
- The contractor/developer shall be responsible for the preservation of all trees and shrubs within the city right-of-way which have not been specifically designated for removal or modification.



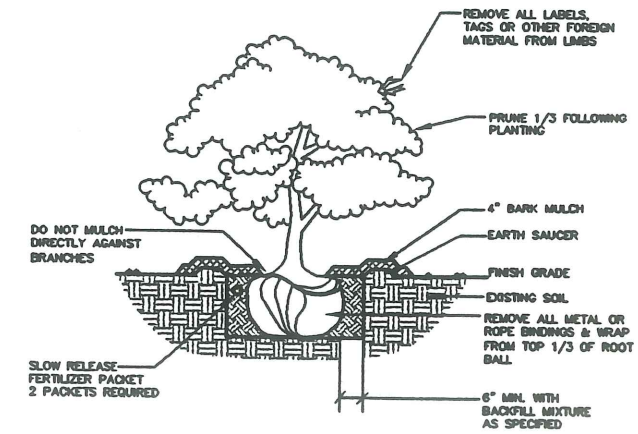
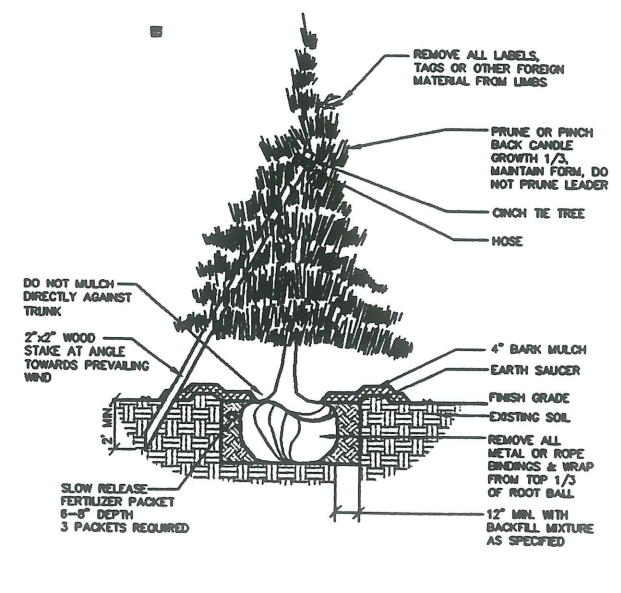
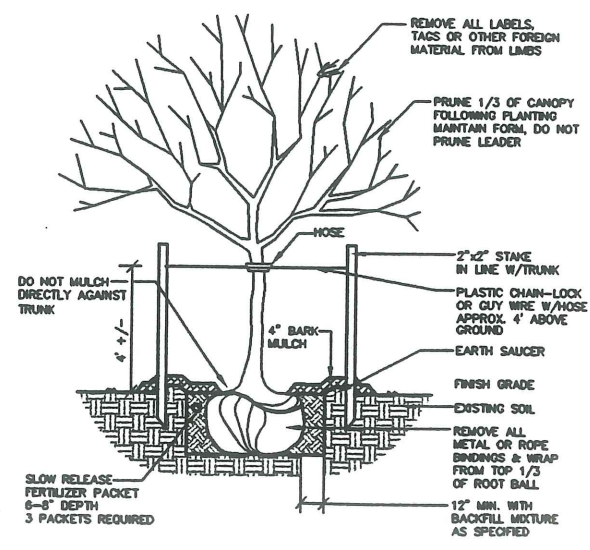
REV: A	BY: SGD	DATE: 6-18-96	STATUS: ISSUED FOR PLANNING BOARD REVIEW
<p><b>GRADING, DRAINAGE &amp; UTILITY PLAN</b>                  OF:  <b>CONCORD TRAILWAYS TRANSPORTATION CENTER</b>                  SEWALL STREET                  PORTLAND, MAINE                  FOR:  <b>CONCORD TRAILWAYS</b>                  7 LANGDON STREET                  CONCORD, NH 03301</p>			
DESIGN BY:	SGD	DRAWN BY:	JLB
CHECKED BY:		DATE:	6-18-96
SCALE:	1"=40'	FIELD BK:	490
PROJ. NO:	92091	DRAWING:	92091GU
<p><b>Sebago Technics</b>                  Engineering &amp; Planning for the Future                  12 WESTBROOK COMMON                  WESTBROOK, ME 04098-1339                  TEL. (207) 856-0277</p>			
<p><b>SHEET 2 OF 6</b></p>			

LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING HIL, PLANT BED AND TREE FIT PREPARATION, PRUNING, STAKING OR GUTTING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBS, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SEED. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRAD PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, 1 PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 4"



KEY	SPECIES NAME	COMMON NAME	SIZE
AP	Acer platanoides 'Crimson King'	Crimson King Maple	2 1/2" cal.
PC	Pyrus calleryana 'Redspire'	Redspire Pear	2 1/2" cal.
FN	Pinus nigra	Austrian Pine	6' to 7'
AL	Amelanchier laevis	Allegheny Serviceberry	18" to 2' clasp
AU	Arctostaphylos uva-ursi	Bearberry	1 gal.
HF	Hoeta fortunei 'Frances'	Frances Hoeta	1 gal.
RC	Rhododendron 'Cunningham's White'	Cunningham's White Rhododendron	24" to 30"
VP	Viburnum plicatum tomentosum 'Mariesii'	Marie's Doublefile Viburnum	24" to 30"
HR	Hemerocallis 'Happy Returns'	Happy Returns Daylily	1 gal.
BT	Barbarts thunbergii 'Atropurpurea'	Red Barberry	3' to 4' hgt.
TO	Thuja occidentalis 'Nigra'	Dark Green Arborvitae	4' to 5'



DECIDUOUS TREES 2" TO 4" CALIPER NOT TO SCALE

DECIDUOUS TREES UNDER 2" CALIPER OR UNDER 8' IN HEIGHT  
EVERGREEN TREES 7'-0" IN HEIGHT & UNDER NOT TO SCALE

DECIDUOUS & EVERGREEN SHRUB NOT TO SCALE

A SGD 6-18-96 ISSUED FOR PLANNING BOARD REVIEW  
REV: BY: DATE: STATUS:

**LANDSCAPE PLAN**  
OF:  
**CONCORD TRAILWAYS TRANSPORTATION CENTER**  
SEWALL STREET  
PORTLAND, MAINE  
FOR:  
**CONCORD TRAILWAYS**  
7 LANGDON STREET  
CONCORD, NH 03301

DESIGN BY:  
DRAWN BY:  
CHECKED BY:  
DATE:

CPM's LITE\*PRO V3.00 Point-By-Point Numeric Output 09:46 25-Jun-96  
PROJECT: OTDOOR10 AREA: CONCORD TRAILWS GRID: lot area  
VALUES ARE FC, SCALE: 1 IN= 60.0FT, HORZ GRID (U), HORZ CALC, Z= 0.0

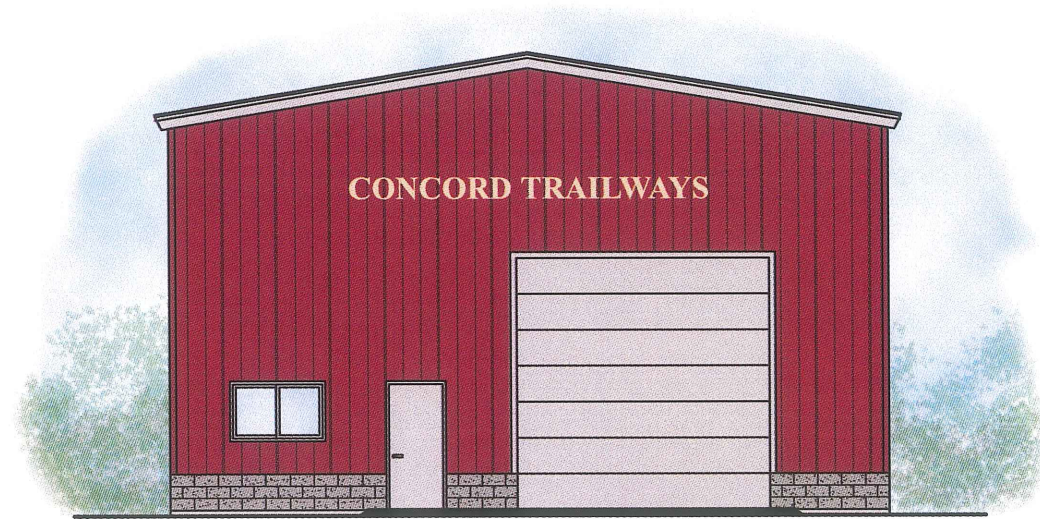
Computed in accordance with IES recommendations

+ MIN=0.02 MAX=19.5 AVE=2.82 AVE/MIN= 123.17 MAX/MIN= 851.65

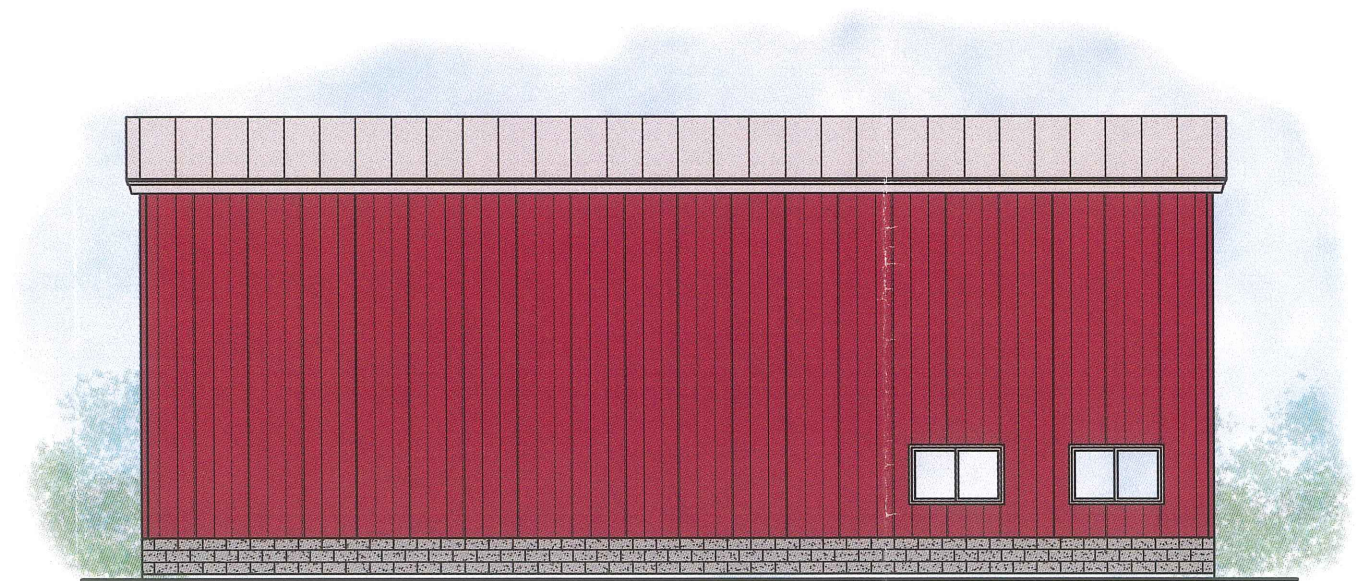
E. <17> = SPAULDING CEI S150 III, 20', .  
E2. <14> = SPAULDING CEI S150 US 2, 20', .  
K. <2> = AAL SLFH 22T S100, 12', .





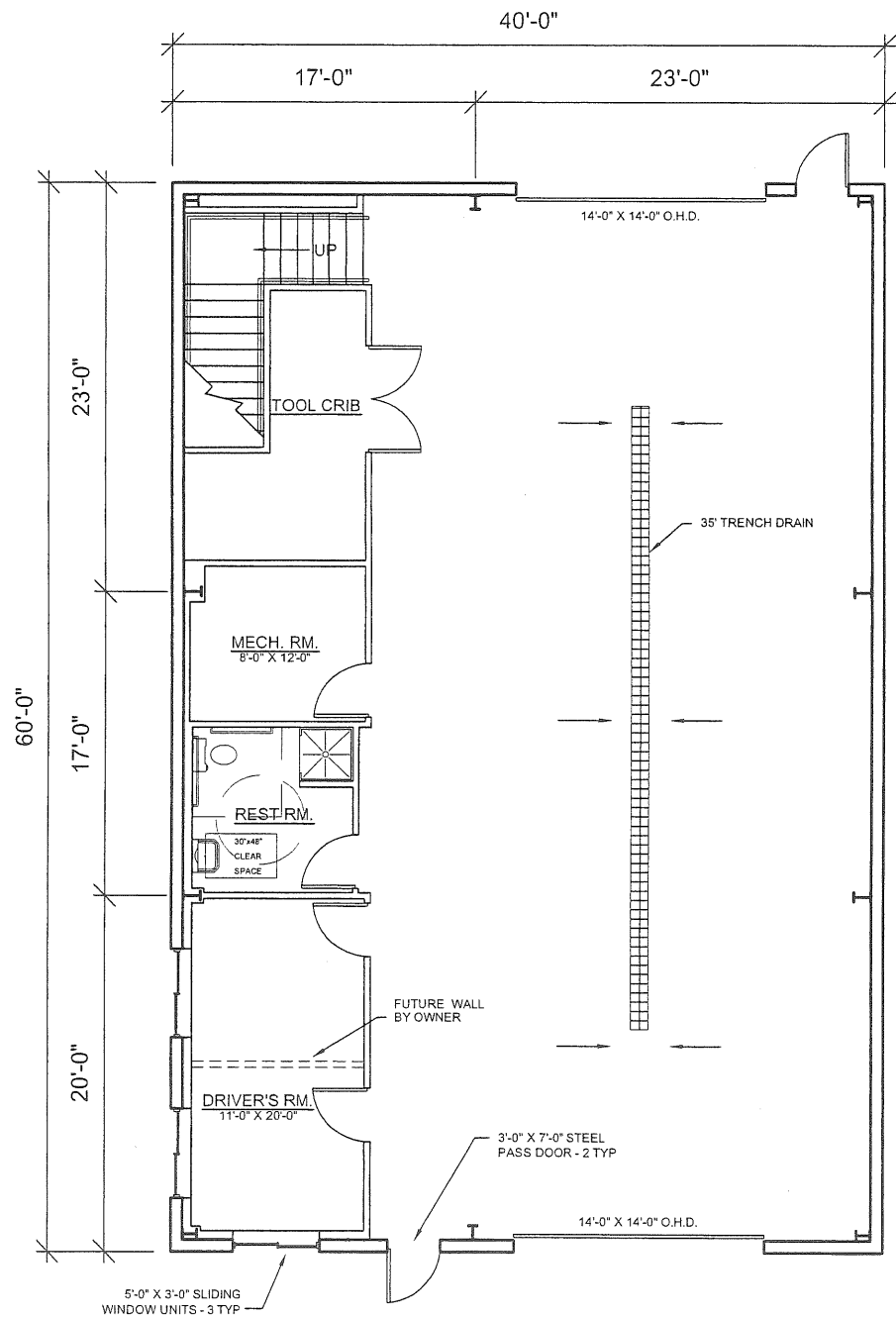


FRONT ELEVATION  
SCALE: 3/32" = 1'-0"

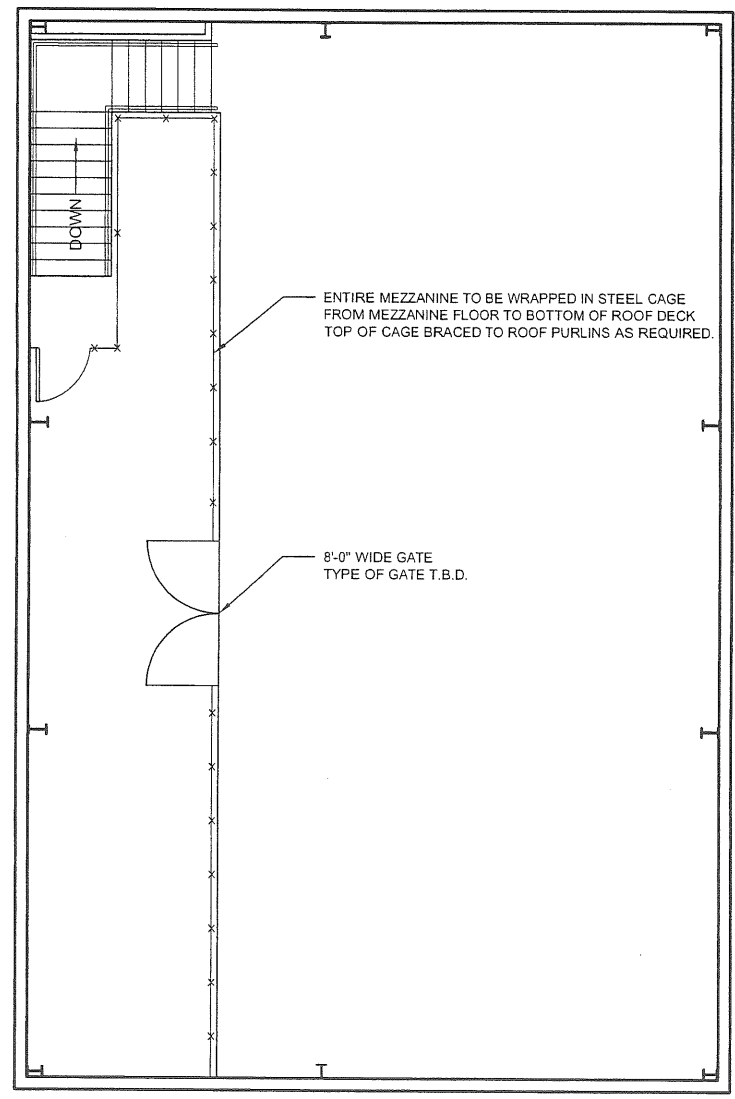


SIDE ELEVATION  
SCALE: 3/32" = 1'-0"

**CONCORD TRAILWAYS**  
**BUS GARAGE**  
PORTLAND, ME



**FLOOR PLAN**  
SCALE: 3/32" = 1'-0"



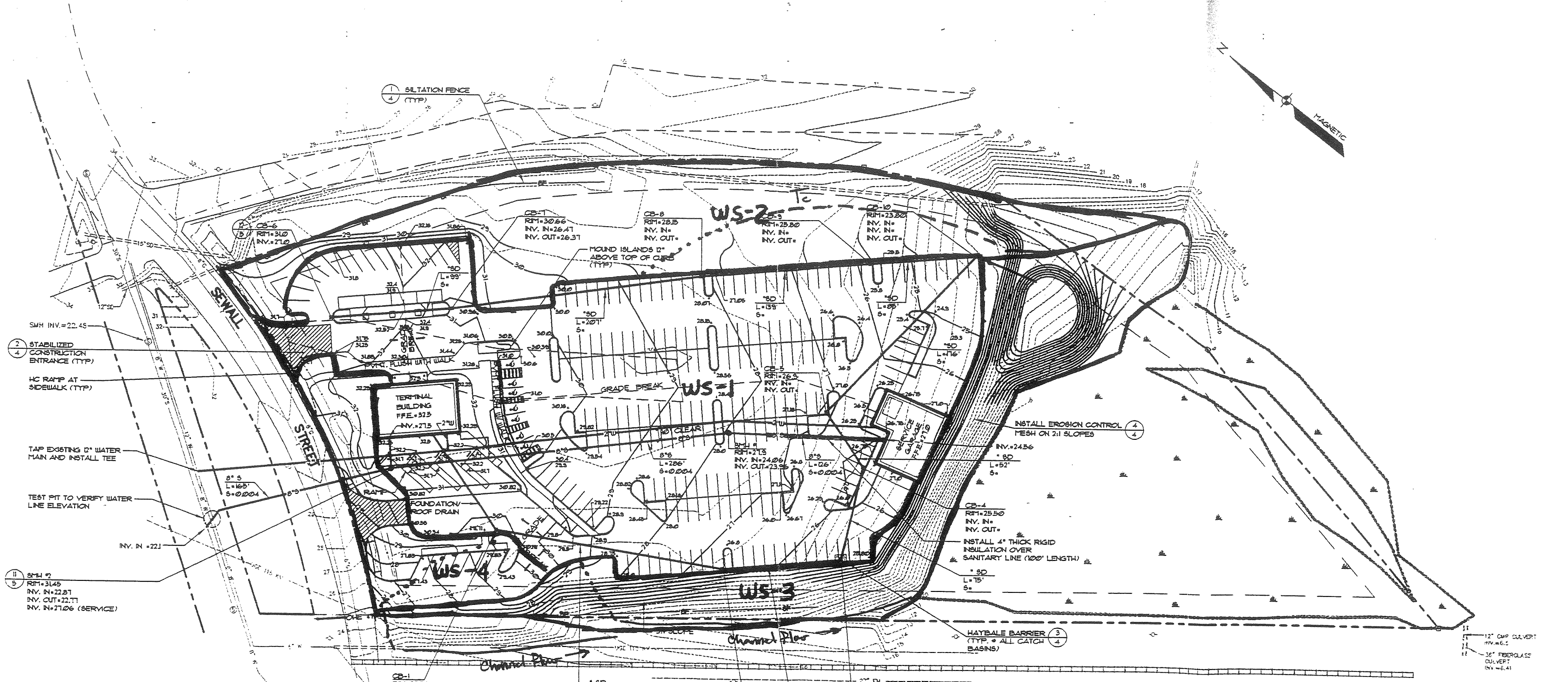
**MEZZANINE FLOOR PLAN**  
SCALE: 3/32" = 1'-0"

SCALE AS SHOWN  
 DATE APRIL 5, 2004  
 DRAWN BY: M.T.P.  
 REF: 04049

**PATCO**  
 CONSTRUCTION, INC.  
 1293 MAIN STREET SANFORD, ME 04073  
 TEL: (207)824-5574 FAX: (207)824-1643  
 www.patco-construction.com

**CONCORD TRAILWAYS**

**FLOOR PLAN**



- ② STABILIZED CONSTRUCTION ENTRANCE (TYP)
- ④ HC RAMP AT SIDEWALK (TYP)
- TAP EXISTING 12" WATER MAIN AND INSTALL TEE
- TEST PIT TO VERIFY WATER LINE ELEVATION
- INV. IN = 221
- ① 8" x 4" 7' RIM = 31.45 INV. IN = 22.81 INV. OUT = 22.71 INV. IN = 21.06 (SERVICE)

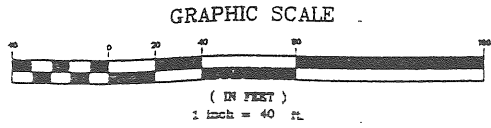
**LEGEND**

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	BUILDING	---
---	WETLANDS	---
---	EDGE WETLAND	---
---	EDGE PAVEMENT	---
---	GRAVEL ROAD	---
---	CURBLINE	---
⊙ TP-7	TEST PIT	⊙
---	CONTOURS	---
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FORCE MAIN	---
---	OVERHEAD ELEC. & TEL	---
---	UNDERGROUND ELEC. & TEL	---
---	UTILITY POLE	---
---	CATCH BASIN	---
---	MANHOLE	---
---	CULVERT	---
---	SPOT GRADE	---
---	CHAIN LINK FENCE	---
---	SILT FENCE	---
---	GUARDRAIL	---
---	RAILROAD	---

**GRADING AND DRAINAGE NOTES**

- The approval of erosion and sedimentation control measures described in these plans in no way relieves the developer and/or his agent from the responsibilities contained in the Land Use Code.
- The contractor shall provide adequate means of cleaning mud from trucks and/or other equipment prior to entering public streets. It is the contractor's responsibility to clean streets, alley dust, and take whatever measures are necessary to insure that the streets are maintained in a clean, mud and dust free condition at all times.
- Contractors shall notify operators who maintain underground utilities in the area of proposed excavation or blasting at least three (3) but not more than thirty (30) days prior to commencement of excavation or demolition. Contractors shall be responsible for compliance with the requirements of 25 M.R.S.A. 336-B-A.
- The contractor/developer shall be responsible for the preservation of all trees and shrubs within the city right-of-way which have not been specifically designated for removal or modification.

**POST DEVELOPMENT WATERSHED**



Sheet Plan  
 Shallow Concentrated Channel Plan

A	SGD	6-18-96	ISSUED FOR PLANNING BOARD REVIEW
REV.	BY:	DATE:	STATUS:
<b>GRADING, DRAINAGE &amp; UTILITY PLAN</b> OF: <b>CONCORD TRAILWAYS TRANSPORTATION CENTER</b> SEWALL STREET PORTLAND, MAINE FOR: <b>CONCORD TRAILWAYS</b> 7 LANGDON STREET CONCORD, NH 03301			
DESIGN BY:	SGD		
DRAWN BY:	JLB		
CHECKED BY:			
DATE:	6-18-96		
SCALE:	1" = 40'		
FIELD BK:	490		
PROJ. NO:	92091		
DRAWING:	92091GU		

**Sebago Technics**  
 Engineering & Planning for the Future  
 12 WESTBROOK COMMON