

190 D003001

33 - 33 Sewall St, Portland, Maine
Orthopaedic Assoc. Building Expan.
Fore River Realty Associates.

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Copy

2003-0008

Application I. D. Number

01/20/2003

Application Date

Orthopaedic Assoc. Building Expan.

Project Name/Description

Fore River Realty Associates

Applicant

33 Sewall St, Portland, ME 04102

Applicant's Mailing Address

Consultant/Agent

Applicant Ph: (207) 828-2124 Applicant Fax: (207) 828-2193

Applicant or Agent Daytime Telephone, Fax

33 - 33 Sewall St, Portland, Maine

Address of Proposed Site

190 D003001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☐ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify) _____

13736 s.f.

Proposed Building square Feet or # of Units

Acreage of Site

RP

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$500.00 Subdivision _____ Engineer Review _____ Date 01/22/2003

Planning Approval Status:

Reviewer _____

- ☐ Approved ☐ Approved w/Conditions
See Attached ☐ Denied

Approval Date _____ Approval Expiration _____ Extension to _____ ☐ Additional Sheets
Attached

☐ OK to Issue Building Permit _____
signature date

Performance Guarantee ☐ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

Memorandum
Department of Planning and Development
Planning Division



To: Chair Caron and Members of the Portland Planning Board

From: Kandice Talbot, Planner

Date: February 11, 2003

Re: Building Addition
Vicinity of 33 Sewall Street
Orthopaedic Associates of Portland P.A., Applicant

Orthopaedic Associates of Portland P.A. are requesting site plan review for a proposed 13,736 sq. ft. building expansion to their existing facility located at 33 Sewall Street. New walkways, landscaping and screen wall are proposed to enhance the expansion. The site is approximately 3.38 acres in size and zoned R-P Residence Professional.

Building Expansion

The building expansion will consist of a first floor expansion of 5,870 sq. ft. and a second floor expansion of 7,866 sq. ft., which will total 13,736 sq. ft. The first floor expansion will consist of the addition of four operating rooms, additional waiting and support space and an expansion of the existing physical therapy space. The second floor expansion will consist of additional office and administrative support space and space is provided for the possible development of a walk-in clinic area.

The proposed expansion is planned to occur on the south side of the existing building and will be consistent with the existing architectural style in both materials and form. Elevations of the building will be available for the Board at the workshop meeting.

Access/Circulation

Access will be from two existing curb cuts on Sewall Street. The proposed expansion will eliminate seven (7) parking spaces. The zoning ordinance requires a total of 140 parking spaces. With the loss of seven (7) parking spaces there will remain 181 parking spaces on-site. Although this number of spaces exceeds the requirements, the demand for parking for this use requires ample parking in order for the applicant to properly service their clients. To allow for the need of additional parking spaces, Orthopaedic Associates of Portland P.A. has entered into a 7-year lease with the State of Maine to reserve 40

spaces in the adjacent MDOT lot across from the Portland Intermodal Facility. Employees of Orthopaedic Associates will use these spaces. The lease is included as > Attachment 2.

Larry Ash, Traffic Engineer, has reviewed the plans and has concerns with overflow parking onto Sewall Street, how employees will get to/from the MDOT lot, site distances, and whether MDOT has additional space to lease.

Utilities

The new expansion will require modifications to the existing water and sanitary connections to the building. These changes are anticipated to occur within the limits of the property. The applicant will need to submit capacity letters for the proposed expansion.

Drainage

Currently, the drainage from the site sheet flows to existing catchbasins around the site and then outlets into an existing detention area, which is located southwest of the property. The applicant is not proposing any changes to the drainage.

Lighting

New building mounted lighting will occur at all doorways. These will be shielded fixtures to complement the architecture. Staff is requesting that the applicant submit catalogue cuts of the light fixtures and lighting photometric plan to determine that the proposed lighting meets the City's lighting standards.

Landscaping

The proposed expansion will remove several existing trees on the site. New landscape plantings will be developed on Sewall Street to replace the landscape that is being removed. The City Arborist has reviewed and approved the plans.

Issues to Resolve Prior to Public Hearing

The Zoning Administrator is currently reviewing the plans.

1. Traffic concerns
2. Capacity Letters
3. Lighting
4. Financial Capability
5. Neighborhood Meeting

Attachments:

1. Applicant's Submittal dated January 21, 2003
2. License Agreement between Orthopaedic Associates of Portland, P.A. and MDOT
3. Traffic Impact from Orthopaedic Associates of Portland, P.A.
4. Plan

Steve Doe

From: Steve Doe
Sent: Wednesday, March 05, 2003 10:07 AM
To: 'Kandi Talbot'
Cc: 'SBushey@DelucaHoffman.com'; Mark McAuliffe (E-mail); Brian O'Donnell (E-mail)
Subject: FW: Orthopaedic Associates Site plan Review

Kandi,

Yes please let me know the staffs feelings on the stormwater. The increase in the site's impervious surface is very minor. Other responses to Steve's comments are listed below under each item.

If you have additional comments please call me.

Thanks

Steve Doe

-----Original Message-----

From: Steve Bushey [SMTP:SBushey@DelucaHoffman.com]
Sent: Wednesday, March 05, 2003 8:27 AM
To: Sarah Hopkins (E-mail)
Subject: Orthopaedic Associates Site plan Review

Sarah,

I'm a bit behind on this review, however, I did want to provide my comments on this project. They are as follows:

1. The project involves the increase of impervious surface on the site therefore it is necessary that a stormwater management report be prepared to analyze the impacts to the existing drainage system. On other projects, it has also been the City's policy to require applicants to provide water quality treatment for parking lots greater than 25 spaces, even when improvements to the lot are not strictly part of the work. Will the Planning authority require water quality improvement measures for this project?

2. I suggest that additional grading information in the form of spot grades be provided along the proposed expansion area.

[Steve Doe] The supplemental submittal of March 3 provides detailed grading information suitable for construction.

3. It is unclear whether the existing transformer pad must be relocated and where it will go.

[Steve Doe] The March 3 plans indicate status of the transformer. The transformer will be upgraded and placed on the existing pad.

4. Details for the dumpster enclosure should be provided.

[Steve Doe] The dumpster enclosure will be the same design as exists on site. It will be a masonry (brick) enclosure approximately 5' - 5" in height and have a double door enclosure. It may be possible to reuse the existing doors with some minor modifications to ensure that they can close properly. The March 3 plans provide details as to the layout and materials.

5. It appears that spot grading and must be provided to address drainage along the Sewall Street Frontage. The proposed building addition and the landscaping looks like it will interrupt the drainage flow path therefore some amount of work may be necessary in this area.

[Steve Doe] Again the March 3 plans provide clarification to this. We are maintaining the drainage flow path along the Sewall street side. Plantings and limits of mulch are kept clear of the swale so as not to impede the flow. The new side walk that connects from Sewall Street will be culverted to maintain drainage to the Catch Basin.

6. My knowledge of the area is that parking can at times be extremely full for this use and the adjacent uses. I trust that the planning staff and zoning will be reviewing this issue closely.



00207

Meeting Minutes

To: Kandice Talbot
From: Steve Doe *SGD*
cc: Mark McAuliffe
Re: Neighborhood Meeting - Orthopaedic Associates of Portland, P.A.
Date: March 3, 2003
Time: 5:30 - 6:30 PM
Attendance: Two Individuals from the Neighborhood

On March 3, 2003, Orthopaedic Associates of Portland, P.A. hosted a neighborhood meeting at their facility to present an overview of their proposed building expansion and provide an opportunity for neighbors to ask questions of the development. Site plans and building plans were available for viewing. Mark McAuliffe from OAP and Steve Doe from Sebago Technics performed the informal presentation and answered questions.

The two neighbors attending were enthusiastic and supportive of the proposed expansion.

The meeting closed at 6:15.

SGD:jc

PLANNING REPORT #10-03

**BUILDING ADDITION
VICINITY OF 33 SEWALL STREET
SITE PLAN REVIEW
ORTHOPAEDIC ASSOCIATES OF PORTLAND P.A., APPLICANT**

Submitted to:
Portland Planning Board
Portland, Maine
March 11, 2003

Submitted by:
Kandice Talbot, Planner

I. INTRODUCTION

Orthopaedic Associates of Portland P.A. are requesting site plan review for a proposed 14,312 sq. ft. building expansion to their existing facility located at 33 Sewall Street. New walkways, landscaping and screen wall are proposed to enhance the expansion. The site is approximately 3.38 acres in size and zoned R-P Residence Professional.

Notices were sent to area residents. A notice also appeared in the March 3rd and March 4th editions of the *Portland Press Herald*.

II. SUMMARY OF FINDINGS

Zoning:	R-P Residence Professional
Parcel Size:	3.38 acres
Parking Spaces:	181 parking spaces
Building Expansion Area:	14, 312 sq. ft.
Uses:	Medical Facility

III. STAFF REVIEW

The proposed development has been reviewed by staff for conformance with the relevant review standards of the site plan ordinance. Staff comments are highlighted in this report.

IV. SITE PLAN REVIEW

1/2. Traffic

Access will be from two existing curb cuts on Sewall Street. The proposed expansion will eliminate seven (7) parking spaces. The zoning ordinance requires a total of 141 parking spaces. With the loss of seven (7) parking spaces there will remain 181 parking spaces on-site. Although this number of spaces exceeds the requirements, the demand for parking for this use requires ample parking in order for the applicant to properly service their clients. To allow the need of additional parking spaces, Orthopaedic Associates of Portland P.A. has entered into a 7-year lease with the State of Maine to reserve 40 spaces in the adjacent MDOT lot across from the Portland Intermodal Facility. Employees of Orthopaedic Associates will use these spaces. The lease is included as Attachment 2.

Two additional walkways into the site from Sewall Street have been added. One off the operating room expansion is for emergency means of egress from the building. The other is to provide access to the site by employees using the MDOT parking lot.

Larry Ash, Traffic Engineer, has reviewed the plans and finds the plan acceptable. The Traffic Engineer's memo is included as Attachment 4.

3. Bulk, Location, Height of Proposed Buildings

The building expansion will consist of a first floor expansion of 6,446 sq. ft. and a second floor expansion of 7,866 sq. ft., which will total 14,312 sq. ft. The first floor expansion will consist of the addition of four operating rooms, additional waiting and support space and an expansion of the existing physical therapy space. The second floor expansion will consist of additional office and administrative support space and space is provided for the possible development of a walk-in clinic area.

The proposed expansion is planned to occur on the south side of the existing building and will be consistent with the existing architectural style in both materials and form. Elevations are included as Attachment 13.

4. Sewers, Stormdrains, Water

The new expansion will require modifications to the existing water and sanitary connections to the building. These changes are anticipated to occur within the limits of the property. A letter from Portland Water District is included as Attachment 5. A sewer capacity letter from Public Works has been requested and there does not appear to be any sewer capacity issues in this area. A potential condition of approval is:

- that a sewer capacity letter from the Portland Sewer Division be submitted to staff prior to issuance of a building permit.

5. Landscaping and Existing Vegetation

The proposed expansion will remove several existing trees on the site. New landscape plantings will be installed on Sewall Street to replace the landscape that is being removed. A 6 ft. wide landscape strip has been added along the southern elevation to improve and soften the visual appearance of this area. The City Arborist has reviewed and approved the plans.

6. Soils and Drainage

Currently, the drainage from the site sheet flows to existing catchbasins around the site and then outlets into an existing detention area, which is located southwest of the property. The applicant is not proposing any changes to the drainage.

The Development Review Coordinator has reviewed the plans and has comments regarding stormwater quality treatment, tracking of silt onto adjacent streets, spot grades around the building, and connection of a foundation drain to an existing catch basin. The DRC's memo is included as Attachment 6.

The DRC and staff are recommending that the applicant install a stormwater treatment unit to treat some of the parking area. Although the applicant is not proposing any new parking areas, the site has a large amount of parking, which is not treated at this time. A potential condition of approval is:

- that the plans be revised to reflect the Development Review Coordinator's memo dated March 7, 2003 to be reviewed and approved by the Development Review Coordinator.

7. Exterior Lighting

New building mounted lighting will occur at all doorways. The applicant is proposing a shielded fixture to complement the architecture. A catalogue cut of the lighting fixture is included as Attachment 7.

8. Fire

The Fire Department has reviewed and approved the plans.

9. Financial Capability

The applicant has submitted a letter of financial capability from Peoples Bank. It is included as Attachment 8.

10. Neighborhood Meeting

A neighborhood meeting was held on March 3, 2003. A copy of the sign-in sheet and minutes are included as Attachment 9.

V. MOTIONS FOR THE BOARD TO CONSIDER

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #10-03 relevant to standards for site plan regulations, and other findings as follows:

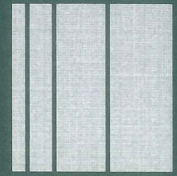
1. That the plan is in conformance with the site plan standards of the land use code.

Potential Conditions of Approval

- i. that the plans be revised to reflect the Development Review Coordinator's memo dated March 7, 2003 to be reviewed and approved by the Development Review Coordinator.
- ii. that a sewer capacity letter from the Portland Sewer Division be submitted to staff prior to issuance of a building permit.

Attachments:

1. Applicant's Submittal dated January 21, 2003
2. License Agreement between Orthopaedic Associates of Portland, P.A. and MDOT
3. Traffic Impact from Orthopaedic Associates of Portland, P.A.
4. Traffic Engineer's Memo dated March 6, 2003
5. Portland Water District Letter
6. DRC's Memo dated March 5, 2003
7. Lighting Catalogue Cut
8. Financial Capability Letter
9. Sign-in Sheet and Minutes
10. Applicant's Letter dated February 7, 2003
11. Applicant's Letter dated March 3, 2003
12. Plans
13. Elevations



January 21, 2003
00207

AH. 1

Sarah Hopkins
Planning & Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Major Site Plan Application
Orthopaedic Associates of Portland P.A., Sewall Street

Dear Sarah:

On behalf of Orthopaedic Associates of Portland P.A. (OAP), I am pleased to submit the attached Site Plan Application for a proposed building expansion to their existing facility on Sewall Street. This facility is in the RP Zone.

This building expansion is in support of their expanding Orthopaedic Services and consist of the following:

First Floor Expansion

5,870 s.f.

- Expansion involves adding two Operating Rooms with revised Clean and Dirty support spaces in the Outpatient Surgery Center. Enlarging of the recovery area to support two new Operating Rooms. Additional waiting and support space is provide to the Outpatient Surgery Center under this expansion plan.
- Expansion of the existing Physical Therapy space is proposed.

Second Floor Expansion

7,866 s.f.

- Expansion provides for additional office and administrative support space on top of existing first floor space and above the first floor Physical Therapy expansion.

- Space is provided for the possible development of a walk-in clinic area above the expanded first floor Outpatient Surgery Center.

Total Building Expansion**13,736 s.f.**

The proposed expansion is planned to occur on the south side of the existing building and will be consistent with the existing architectural style in both materials and form. Building floor plans and elevations are attached for your review and consideration. Color plans will be presented at the workshop hearing.

Site Plan changes are minor in nature and consist of removal of seven (7) parking spaces and relocation of the service area east of its current location. New walkways, site landscaping and screen walls are proposed to enhance and support the proposed expansion.

Parking

The 13,736 s.f. expansion combined with the existing 42,000 s.f. building requires a total of 140 parking spaces per the ordinance (1 space/400 s.f.). With the loss of seven (7) spaces their remains 181 parking spaces on-site. While this number exceeds the ordinance requirements, the demand for parking for this use requires ample parking in order for the Orthopaedic Associates of Portland P.A. to properly service their clients. To supplement the on-site parking Orthopaedic Associates of Portland P.A. have entered into a 7 year lease with the State of Maine to reserve 40 spaces in the adjacent MDOT lot across from the Portland Intermodal Facility. These spaces will be used by employees. They are also pursuing development of a new shared parking lot with the Eye Care Center on Sewall Street. This parking program implemented by OAP will meet or exceed the needs of this facility.

Impervious Surface

The RP Zone allows for a maximum impervious surface of 80% of the total site. Currently the site is at 75%. This new building program adds 4,426 s.f. of impervious surface to the site raising the ratio to 78%.

Site Lighting

The existing site light poles will adequately serve to light the areas around the new building. New building mounted lighting will occur at all doorways. These will be shielded fixtures to complement the architecture.

Landscaping

The proposed additions will remove several existing trees on the property. If feasible, we propose to relocate these elsewhere on-site. New landscape plantings will be developed on

Ms. Hopkins

-3-

1B
January 21, 2003

Sewall Street to restore the landscape that is being removed. The attached site plans indicates suggested treatment for these areas.

Utility Services

The new addition will require modifications to the existing water and sanitary connections to the building. These changes are anticipated to occur within the limits of the property.

Additional Permits

There are no additional State or local permits required for this project.

I trust this Application package provides the City with enough information for review and consideration to place us on a workshop agenda with the Planning Board for February 11th.

We look forward to presenting this project to the Board at that time. In the interim if you have questions, comments or require additional information, please call me.

Sincerely,

SEBAGO TECHNICS, INC.



Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf

cc: Mark McAuliffe
Brian O'Donnell

1C

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: 33 SEWALL STREET		Zone:	
Total Square Footage of Proposed Structure 13,736 S.F.		Square Footage of Lot 3.38 ACRES (147,232.8±) S.F.	
Tax Assessor's Chart, Block & Lot Chart# 190 Block# D-7,8,14-16 / E-1,5,13,14 Lot# H-1,6, C-7,8,14		Property owner, mailing address: FORE RIVER REALTY P.O. Box 1260 PORTLAND, ME 04104-1260	
Telephone: 207-828-2124 (P) 828-2193 (P)			
Consultant/Agent, mailing address, phone & contact person STEVE DOE / SEBAGO TECHNICS P.O. Box 1339 WESTBROOK, ME 04090-1339		Applicant name, mailing address, telephone #/Fax#/Pager#: SAME AS OWNER	
Project name: ORTHOPAEDIC ASSOC. OF PORTLAND P.A.			
Proposed Development (check all that apply) <input type="checkbox"/> New Building <input checked="" type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots <input type="checkbox"/> \$25.00 per lot \$ <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00			
Major Development <input checked="" type="checkbox"/> \$500.00		Minor Development <input type="checkbox"/> \$400.00	
Plan Amendments: <input type="checkbox"/> Board review \$200.00		<input type="checkbox"/> Staff review \$100.00	
Who billing will be sent to: ORTHOPAEDIC ASSOCIATES OF PORTLAND P.A.			
Mailing address: P.O. Box 1260			
State and Zip: PORTLAND, ME 04104-1260		Contact person: MARK McANULTY Phone: 207-828-2124	

Submittals shall include (9) separate folded packets of the following:

- copy of application
- cover letter stating the nature of the project
- site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 

Date: **1/20/03**

This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

AH. 2

LICENSE AGREEMENT

This License Agreement is entered into this 8th day of January, 2003, by and between the State of Maine, acting by and through its Department of Transportation (hereinafter "MDOT"), Orthopaedic Associates of Portland, P.A., (hereinafter "Orthopaedic Associates"), and Langdon Street Real Estate, Inc. (hereinafter "LSRE").

WHEREAS, MDOT owns land situated in the City of Portland, County of Cumberland, State of Maine, more particularly described in the following instruments: a) Notice of Layout and Taking dated March 27, 1969, recorded in the Cumberland County Registry of Deeds in Book 3079, Page 335; b) Notice of Layout and Taking dated December 10, 1970, recorded in said Registry of Deeds in Book 3153, Page 761; and Quitclaim Deed from Portland Terminal Company dated March 9, 1973, recorded in said Registry of Deeds in Book 3367, Page 171, and shown on the attached Exhibit A (hereinafter the "MDOT Property"); and

WHEREAS, MDOT has constructed a "Park 'n Ride" parking facility (hereinafter the "Park 'n Ride Lot") on a portion of the MDOT Property for the purpose of providing a parking area to accommodate persons using the Portland Internodal Transportation Facility located nearby and for use by other members of the traveling public; and

WHEREAS, MDOT has entered into a License and Operating Agreement dated September 20, 2001 with Langdon Street Real Estate, Inc. for the operation, management and maintenance of the Park 'n Ride Lot, and for the collection of parking fees associated with the public's use of the Park 'n Ride Lot; the revenue generated from such parking fees is applied to the operation and maintenance of the Park 'n Ride Lot; and

WHEREAS, and during certain periods the Park 'n Ride Lot is not filled to capacity; and

WHEREAS, Orthopaedic Associates occupies the building adjacent to the MDOT Property situated at 33 Sewall Street in said City of Portland and desires to use a portion of the Park 'n Ride Lot to provide parking spaces for its employees and its tenants; and

WHEREAS, MDOT is willing to allow such use by Orthopaedic Associates, its employees and tenants.

NOW THEREFORE, in consideration of the mutual benefits to be derived here from, the parties agree as follows:

1. **Grant of License.** Subject to the terms and conditions set forth herein, MDOT hereby grants to Orthopaedic Associates a License for forty (40) parking spaces in the Park 'n Ride Lot for parking by its employees or tenants during the period between 6 a.m. and 6 p.m., Monday through Friday inclusive, subject to the Blackout Periods imposed in

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2A

Paragraph 6, below. In addition, Orthopaedic Associates shall have the option of acquiring an additional twenty (20) parking spaces on or after December 1, 2003, and an additional twenty (20) parking spaces on or after December 1, 2004 at the rates, terms and conditions contained herein upon thirty (30) days' prior written notice to MDOT. MDOT and LSRE shall use their best effort to assure that the specified number of parking spaces designated for Orthopaedic Associates' use shall be available at all times. Orthopaedic Associates is entitled to the use of such spaces as provided herein.

2. Term of License. The initial term of this License Agreement shall be for the period commencing on January 1, 2003 and continuing until December 31, 2009. This License Agreement may be renewed by mutual agreement of the parties for an additional term of two (2) years.

3. License Fee. Orthopaedic Associates agrees to pay two dollars (\$2.00) per parking space per day for the number of parking spaces and during the periods set forth for its permitted use in Paragraph 1, above. Payments shall be due quarterly in advance, on January 1, April 1, July 1 and October 1 of each year during the term of this Agreement. Payment shall be made directly to LSRE. LSRE shall apply such fees to expenses associated with the maintenance and operation of the Park 'n Ride Lot as set forth in Paragraph 7 of the License and Operating Agreement between LSRE and MDOT dated September 20, 2001, or as directed by MDOT. Such revenues shall be subject to the Accounting and Surplus Revenues provisions of Paragraph 8 of said License and Operating Agreement.

4. Access. Orthopaedic Associates' employees and tenants shall have access to the Park 'n Ride Lot by means of "prox cards" which LSRE shall provide to Orthopaedic Associates. Orthopaedic Associates shall be responsible for any fees associated with activation of the prox cards.

5. Operational Responsibilities. LSRE shall continue to have operational and maintenance responsibilities for the Park 'n Ride Lot as set forth in the License and Operating Agreement between LSRE and MDOT dated September 20, 2001. LSRE shall be responsible for maintaining and repairing the walkway between the Park 'n Ride Lot and property of Orthopaedic Associates and shall do so in accordance with municipal and state requirements and good industry practices.

6. Blackout Periods. Access to parking spaces in the Park 'n Ride Lot shall not be available to Orthopaedic Associates, its employees and tenants, in order to accommodate use of all of parking spaces in the Park 'n Ride Lot by patrons of the Intermodal Transportation Terminal during the following peak use periods (hereinafter the "Blackout Periods"):

- a. The four (4) day Thanksgiving holiday period between Wednesday, November 25, 2003 and Sunday, November 30, 2003;

M. M.

2B

- b. The ten (10) day Christmas holiday period between December 23, 2003 and January 1, 2004;
- c. The ten (10) day February school vacation period between February 14, 2003 and February 23, 2003; and
- d. The ten (10) day April school vacation period between April 17, 2003 and April 27, 2003.

MDOT, in its sole discretion, shall determine the dates of the Blackout Periods for future years, but in no event shall the total number of days exceed the number of days contained in the periods covered in subparagraphs 6a through d, above. MDOT shall designate the Blackout Periods for each calendar year no later than December 1st of the previous calendar year and give Orthopaedic Associates written notice thereof.

7. Use of the Park 'n Ride Lot. MDOT, LSRE and Orthopaedic Associates acknowledge that the primary purpose of the Park 'n Ride Lot is to provide parking for persons using the Portland Intermodal Transportation Facility and other members of the traveling public. Any commercial use of the Park 'n Ride Lot without written authorization of MDOT is prohibited. MDOT reserves the right to terminate this License Agreement upon six (6) months' prior written notice to Orthopaedic Associates in the event that the parking spaces licensed hereunder are necessary for transportation purposes.

8. Right of Entry. MDOT and LSRE reserve a right of entry upon the Park 'n Ride Lot by their duly authorized officers, employees or agents to inspect the Park 'n Ride Lot, to make repairs or enhancements or to respond to an emergency.

9. Insurance and Indemnification.

a. Orthopaedic Associates shall obtain premises liability insurance to cover its use of the parking spaces within the Park 'n Ride Lot with limits of no less than One Million Dollars (\$1,000,000.00) per occurrence, naming the State of Maine and LSRE as Additional Insureds. Such insurance MUST provide that the State of Maine be notified in the event the policy is cancelled. Orthopaedic Associates shall furnish MDOT with satisfactory proof of such insurance prior to commencing use of the Park 'n Ride Lot. Said proof of insurance and any cancellation notices shall be mailed to:

Director, Office of Passenger Transportation
Maine Department of Transportation
16 State House Station
Augusta, ME 04333-0016

Nothing herein shall, nor is intended to, waive any defense, immunity, or limitation of liability which may be available to MDOT or its officers, agents or

2C

employees under the Maine Tort Claims Act or any other privileges or immunities provided by law.

Orthopaedic Associates agrees to indemnify, defend and hold harmless MDOT and LSRE, their respective agents, attorneys, employees or independent contractors, against any and all liability, loss, cost, damage, expenses, claims or actions of any nature whatsoever arising out of Orthopaedic Associates' use of the parking spaces in the Park 'n Ride Lot.

b. LSRE shall maintain its existing premises liability insurance policy with limits of no less than One Million Dollars (\$1,000,000.00) per occurrence, naming Orthopaedic Associates as an Additional Insured. Such insurance **MUST** provide that Orthopaedic Associates be notified in the event the policy is cancelled. LSRE shall furnish Orthopaedic Associates with satisfactory proof of such insurance prior to Orthopaedic Associates' commencing use of the Park n' Ride Lot. Said proof of insurance and any cancellation notices shall be mailed to:

Orthopaedic Associates of Portland, P.A.
P.O. Box 1260
33 Sewall St.
Portland, ME 04104-1260
Attention: Mark A. McAuliffe

10. **Default and Remedies.** Orthopaedic Associates, LSRE, or MDOT shall be in default under this License Agreement if Orthopaedic Associates, LSRE, or MDOT fails to perform or observe its terms and conditions or to comply with any restriction contained herein.

If Orthopaedic Associates, LSRE, or MDOT is in default under the terms, conditions or restrictions contained herein, any other party shall have the right to terminate this License Agreement in the event the defaulting party fails to cure such default within thirty (30) days written notice thereof.

11. **Termination.** This License Agreement may be terminated by MDOT or Orthopaedic Associates on thirty (30) days written notice in the event of a default by the other, or in the case of Orthopaedic Associates, in the event of a default by LSRE as to its duties hereunder, which default shall not have been remedied by the defaulting party pursuant to Paragraph 10, above or upon ninety (90) days' prior written notice in the event that MDOT determines that this License Agreement is not in the best interests or consistent with MDOT's obligations and responsibilities under applicable law.

12. **Modification.** Except as otherwise provided herein, this License Agreement may be modified only in writing signed by all parties hereto.

2D

13. **Assignment Rights.** Orthopaedic Associates shall not assign or transfer this License Agreement without the prior written consent of MDOT, which consent shall not be unreasonably withheld.

14. **Notices.** Any notice given under this License Agreements shall be in writing and delivered in hand or sent postage prepaid by United States Registered Mail, Return Receipt Requested, or by such other entity that provides delivery with return receipt, directed to the other party at its address set forth below, or such other address as any party may designate by notice given from time to time in accordance with this Paragraph. All such notices should be addressed as follows:

Orthopaedic Associates of Portland, P.A.
P.O. Box 1260
33 Sewall St.
Portland, ME 04104-1260
Attention: Mark A. McAuliffe

State of Maine
Department of Transportation
16 State House Station
Augusta, ME 04333-0016
Attention: Office of Passenger
Transportation

Langdon Street Real Estate, Inc.
c/o Harry Blunt
7 Langdon St.
Concord, NH 03301

15. **Miscellaneous.** This License Agreement may be executed in counterparts, each of which when executed by all parties shall be deemed to be an original, and all of which counterparts together shall constitute one and the same instrument; constitutes the entire agreement of the parties with respect to its subject matter, superseding all prior oral and written communications, proposals, negotiations, representations, understandings, courses of dealing, agreements and contracts between the parties in such respect; and is not intended to inure to the benefit of any third party beneficiary.

2E

IN WITNESS WHEREOF, the parties hereto have caused this License Agreement to be executed by their duly authorized representatives as of the day and year first above written.

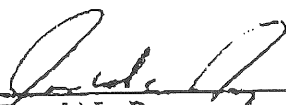
ORTHOPAEDIC ASSOCIATES
OF PORTLAND, P.A.


Witness

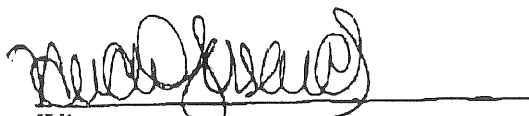

By: Mark A. McAuliffe
Its: Chief Executive

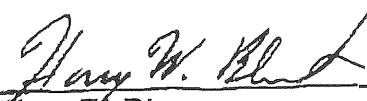
STATE OF MAINE
DEPT. OF TRANSPORTATION


Witness


By: Ronald L. Roy
Its: Director, Office of Passenger
Transportation

LANGDON STREET REAL
ESTATE, INC.


Witness


By: Harry W. Blunt
Its: President

Att. 3

Traffic Impact from OAP Expansion

Current OAP Patient Visits per year Clinical	39,470
Current OAP Patient Visits per year Surgery Center	<u>2,379</u>

Subtotal OAP Visits	41,849
----------------------------	--------

Current HealthSouth Patient Visits per year	27,500
---	--------

Total Current visits per year	69,349
--------------------------------------	--------

Estimated new visits per year from phase One

Clinical visits	4,903
Surgery Center	<u>600</u>

Total New visits phase one	5,503
-----------------------------------	-------

Total yearly visits after phase one	74,852
--	--------

Estimated new visits per year from phase Two

Loss of HealthSouth visits	-27,500
New OAP Physical Therapy visits	15,525
New OAP Clinical visits	12,258
New OAP Surgery center visits	<u>1,400</u>

Subtotal phase two	1,683
---------------------------	-------

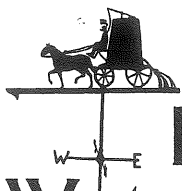
Total new visits per year phase one and two	7,186
--	-------

Estimated new visits per day	29
------------------------------	----

AH. 4

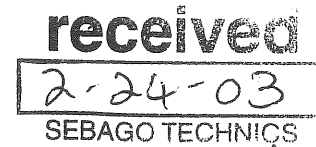
TO: Kandice Talbot, Planner
FROM: Larry Ash, Traffic Engineer
DATE: March 7, 2003
RE: Orthopaedic Associates, Sewall Street

I have visited the site and reviewed the plans and have no concerns with this proposed development.



Portland Water District

225 Douglass St. • P.O. Box 3553 • Portland, ME 04104-3553



Customer Service Hotline (207) 761-8310

(207) 774-5961

FAX (207) 879-5837

February 21, 2003

Stephen G. Doe, R.L.A.
Sebago Technics
PO Box 1339
Westbrook, Me. 04098

Re: 33 Sewall St.-Portland

Steve:

This letter is to confirm there should be an adequate supply of clean and healthful water to serve the needs of the proposed 14,000 square foot building expansion at 33 Sewall St. in Portland. Checking District records, I find there is a 12" cast iron water main on the opposite side of the street in Sewall St. as well as a water hydrant in front of the property.

Current records for 33 Sewall St. indicate the property is currently served by a 4" ductile iron domestic water service and a 8" ductile iron fire service. The capacity of the existing water meter would be up to 320GPM. Based current usage for the property, 19,000 GPM, the current service has the capacity to serve the expansion.

The current data from the nearest hydrant indicates there should be adequate capacity of water to serve the needs of your proposed project.

Hydrant Location: Sewall St. 600' South of Congress St.

Hydrant # 1474

Static pressure = 94 PSI

Flow = 1556 GPM

Last Tested = 11/30/2001

If the district can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District

Jim Pandiscio
Means Coordinator



33 Sewall St. current Services
4" domestic & 8" fire service

CI 12 1951

HY2701474

DI 8 1999

Hydrant Stats: 94PSI static
Flow 1556GPM, Tested 11/30/2001

5B

CUSTOMER INQUIRY

Munic: D Reg #: D5138B - 1 Status: A Amount Due: 1262.64
SSI or Tax #: Book: 35
Service No.: 130447 Page: 30

BILL TO:
Name: [ORTHOPAEDIC ASSOCIATES]
Attn: []
Adr1: [33 SEWALL ST]
Adr2: []
CSZ: [PORTLAND [ME][04102-2638]
Phone:() -]

SERVICE LOCATION:
[33][SEWALL ST]
[PORTLAND] [ME] [04102-2603]
Sort Street No: [33]
Descrip: TP FRONT @FIRE SERVICE

Water Rate: W01
Sewer Rate: PM
Sewer Muni: D
Type (RCIG): C
Tax Exempt: N
3rd Party?:
Tenant Act?:
Ground Box?: N

Active Dt: 05/15/89
Final Dt:
Shut Chk:
Next Bill:
Serv_Per: 02/11/03
Bill Cycle : M
Read Cycle: M

--BILL HOLD--
On:
By:
--COLLECT HOLD--
On:
By:

--BILLING--
Initial?:
Final?:
Months:
--AUTO PAY--
Y/N: N
On:
Amt:0.00

Bills(F13) Reads(F14) Meters(F17) 3rdParty(F18) Print(F19) >

4" served
3" MTR



DeLUCA-HOFFMAN ASSOCIATES, INC.
CONSULTING ENGINEERS

778 MAIN STREET
SUITE 8
SOUTH PORTLAND, MAINE 04106
TEL. 207 775 1121
FAX 207 879 0896

- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- TRAFFIC STUDIES AND MANAGEMENT
- PERMITTING
- AIRPORT ENGINEERING
- SITE PLANNING
- CONSTRUCTION ADMINISTRATION

MEMORANDUM

Att. 6

DATE: March 7, 2003

TO: Kandi Talbot, Portland Planning

FROM: Stephen R. Bushey, P.E.

SUBJECT: Orthopaedic Associates, Site plan review

Kandi,

My original comments for the Orthopaedic Associates site Plan were as follows:

1. The project involves the increase of impervious surface on the site therefore it is necessary that a stormwater management report be prepared to analyze the impacts to the existing drainage system. On other projects, it has also been the City's policy to require applicants to provide water quality treatment for parking lots greater than 25 spaces, even when improvements to the lot are not strictly part of the work. Will the Planning authority require water quality improvement measures for this project?
2. I suggest that additional grading information in the form of spot grades be provided along the proposed expansion area.
3. It is unclear whether the existing transformer pad must be relocated and where it will go.
4. Details for the dumpster enclosure should be provided.
5. It appears that spot grading and must be provided to address drainage along the Sewall Street Frontage. The proposed building addition and the landscaping looks like it will interrupt the drainage flow path therefore some amount of work may be necessary in this area.
6. My knowledge of the area is that parking can at times be extremely full for this use and the adjacent uses. I trust that the planning staff and zoning will be reviewing this issue closely.

It is my understanding the Sebago Technics has responded to these comments and provided revised drawings dated 03-03-03. I have reviewed the latest drawings (Sheets 1-4) and offer the following comments:

1. Steve Doe and I have discussed the project's need for stormwater quality treatment. He will be reviewing the plans and offering stormwater quality treatment measures in a subsequent submission for City review.
2. The latest plans provide additional detail as to the grading and layout for the expansion. The plans will result in considerable excavation activity on the south side of the building. This will include foundation construction and parking/pavement area reconstruction. The conditions of approval should include a requirement that the applicant prevent erosion and the track of mud and silt onto adjacent streets.
3. The Site Plan Sheet 2 of 4 contains numerous spot grades and detail for the layout. It is difficult to clearly identify the accessible routes from the paved areas to the various doorways, hence it

might be beneficial to have the plan either clarify these routes or another plan prepared to more clearly represent the various sidewalk areas, ramps, steps, and walls. It does appear that the proposed spot grades are adequate, however I am not clear as to how handicap persons enter the building.

Att. 6A

4. The spot grades near the south west corner of the expansion should be reviewed to confirm that they will work and perhaps several bottom of curb grades added for clarity.
5. A foundation drain is proposed to connect to an existing catch basin in the paved area. The drain size should be identified. We recommend that any roof drain leaders tie into the catch basin via a separate line.
6. A new generator is proposed. Although a masonry wall enclosure likely provides adequate noise buffering, Planning may want to review the specific noise levels from the new generator.

I look forward to reviewing the stormwater submission and addressing any questions you or the applicant may have. At this time the plans appear acceptable for review and consideration for conditional approval.

Steve Bushey, PE
Senior Engineer

Srb/jn1350.10/orthomemotalbot03-07-03/I:

Att. 7

Uplight/Downlight with Minimal Light Trespass

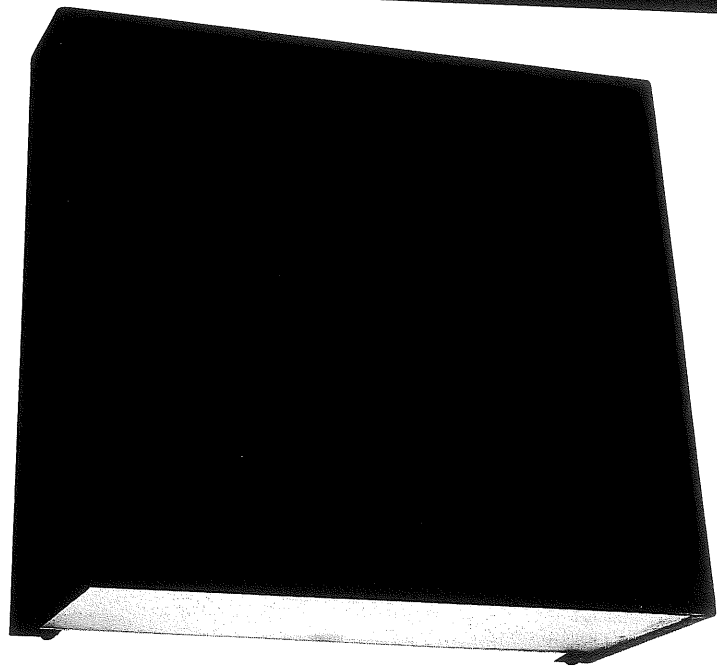
SUNDOWNER™ 12

Sundowner is an environmentally friendly luminaire series that delivers a sharp 85-degree light cutoff making it ideal for accentuating a building's form and presence, without the light pollution common to most outdoor lighting.

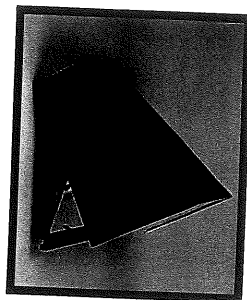
Sundowner's light-control design meets stringent light trespass code compliances for down lighting, and is available in wattages from 50 to 175 watt.

The unique optical system includes a specular aluminum reflector and canopy design that achieves a precise light cutoff and distribution pattern through an etched, 5/32" tempered diffused glass lens.

Design features include a tapered, corrosion resistant aluminum canopy which is Listed for Wet Locations for downlighting. All exterior hardware is stainless steel to resist the elements, and canopy is gasketed to back plate to prevent water entry and minimize infiltration by insects. Sundowner – a precise answer to precise outdoor lighting needs.



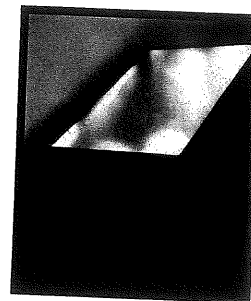
Canopy hinges for lamp or electrical maintenance and easily removes from backplate.



Fixture canopy seals to backplate with quality silicone gasketing.



Diffusing glass lens is silicone sealed in canopy to resist moisture and insect infiltration.



Specifications/Features

GENERAL

- Sharp cutoff, wall mounted HID luminaire suitable for low glare applications and light trespass code compliance.
- Utilizes Metal Halide and High Pressure Sodium HID lamps up to 175W for best design options available.
- Wet location applications.
- Uplight mounting available. (Damp Location)

CONSTRUCTION

- Corrosion resistant .05" low copper content aluminum canopy and back plate finished in baked bronze polyester powder coat.
- Easy one man installation with cast aluminum backplate. Backplate mounts to electrical box with box strap and nipple supplied.
- Canopy hinged and easily removable from back plate; enhances ease of installation and maintenance.
- Specular aluminum reflectors produce front cutoff at 85 degree and S/MH 2.7:1.
- Canopy sealed to back plate with extruded, high temperature, silicone gasket.

- Corrosion resistant stainless steel external hardware.
- 5/32" tempered diffused glass lens silicone sealed to prevent entrance of water, and minimize insect infiltration.
- Canopy secured by two captive stainless steel screws; optional tamper resistant screws.

LISTINGS

- Listed 1572 Wet location for downlight and damp location for uplight versions.

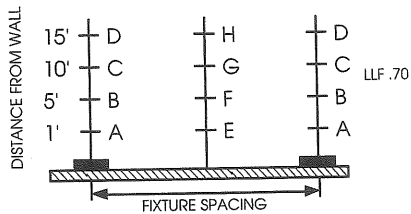
ELECTRICAL

- Standard ballasts are 120V, HPF, maximum 175W medium base HID lamp in vertical position.
- Ground wire attached to backplate for positive grounding and quick installation.
- Optional button type photocell mounts in top of canopy.
- All fixtures are IBEW, Union made to ensure quality.

GUTH
LIGHTING

SEC. F1a

Photometrics



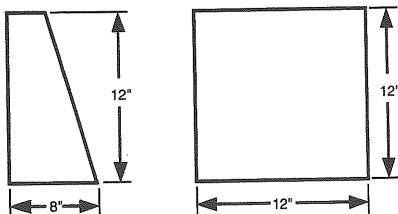
SND 12-100HP-1
Fixture Spacing 15'

	A	B	C	D	E	F	G	H
8'	7.4	10.3	4.5	1.1	13.0	12.4	4.9	1.4
MTG. 10'	6.4	7.9	5.6	2.0	10.7	11.3	6.6	2.3
HEIGHT 12'	5.8	6.4	5.9	2.7	8.4	9.5	7.3	3.2
14'	5.2	5.4	5.7	3.3	6.6	7.7	7.3	3.9

Fixture Spacing 35'

	A	B	C	D	E	F	G	H
8'	4.9	8.5	3.1	.5	1.5	1.4	.9	.4
MTG. 10'	3.3	4.9	3.7	1.0	2.0	2.0	1.2	.8
HEIGHT 12'	2.5	3.1	3.4	1.4	2.4	2.4	1.8	1.1
14'	2.0	2.1	2.9	1.7	2.6	2.5	2.2	1.3

Dimensions



NOTE: 4" minimum clearance from hinge side of fixture for canopy removal.

Sundowner™ 12 Catalog Numbers

CATALOG NUMBER	DESCRIPTION	TOTAL WATTS
SND12-50HP-1	Downlight Version, 50W HPS, 120V	66
SND12-70HP-1	Downlight Version, 70W HPS, 120V	88
SND12-100HP-1	Downlight Version, 100W HPS, 120V	138
SND12-150HP-1	Downlight Version, 150W HPS, 120V	188
SND12-70MH-1	Downlight Version, 70W MH, 120V	95
SND12-100MH-1	Downlight Version, 100W MH, 120V	125
SND12-150MH-1	Downlight Version, 150W MH, 120V	185
SND12-175MH-1	Downlight Version, 175W MH, 120V	215
SNU12-50HP-1	Uplight Version, 50W HPS, 120V	66
SNU12-70HP-1	Uplight Version, 70W HPS, 120V	88
SNU12-100HP-1	Uplight Version, 100W HPS, 120V	138
SNU12-150HP-1	Uplight Version, 150W HPS, 120V	188
SNU12-70MH-1	Uplight Version, 70W MH, 120V	95
SNU12-100MH-1	Uplight Version, 100W MH, 120V	125
SNU12-150MH-1	Uplight Version, 150W MH, 120V	185
SNU12-175MH-1	Uplight Version, 175W MH, 120V	215

Note: All include a Medium Base. 150 W MH units for use with (1) M 107 Venture Lamp only

Accessories

OPTIONS	ADD/CHANGE	EXAMPLE
Units listed for 120volt. For 277V	change last "1" to "2"	SND12-50HP-2
Tamper Resistant Screws	add "/TP"	SND12-50HP-1/TP
Button Photo-electric cell	add "/PEC"	SND12-50HP-1/PEC
Cast Aluminum Outlet Box	add "/CAB"	SND12-50HP-1/CAB
For lamps included	add "/L"	SND12-50HP-1/L
Fixture Fuse	add "/FF"	SND12-50HP-1/FF
Surface wiring collar	add "/OBC"	SND12-50HP-1/OBC
For Quartz Restrike 100 W Maximum	add "/ISL"	SDN 12-50HP-1/ISL

Specifications and data are subject to change without notice.
Guth utilizes the services of both U.L. and ETL for listings.

GUTH
A DIVISION OF JJI LIGHTING GROUP, INC.

SEC. F1a



February 12, 2003

City of Portland
Planning Board
389 Congress Street
4th Floor
Portland, Maine 04101

RE: Orthopaedic Associates – Sewall Street facility

To Whom It May Concern:

Orthopaedic Associates, is a long standing customer of the Bank. All accounts have been handled in a professional and satisfactory manner. In our opinion, Orthopaedic Associates has the financial capacity to complete the expansion of the Sewall Street facility.

If you have any questions or concerns, please call me at 761-8625.

Sincerely,

A handwritten signature in cursive script, appearing to read "Dan Thornton".

Daniel P. Thornton
Senior Vice President

cc: Mark McAuliffe and Steve Doe



00207

Meeting Minutes

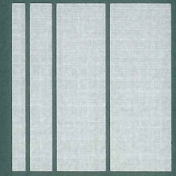
To: Kandice Talbot
From: Steve Doe *SGD*
cc: Mark McAuliffe
Re: Neighborhood Meeting – Orthopaedic Associates of Portland, P.A.
Date: March 3, 2003
Time: 5:30 – 6:30 PM
Attendance: Two Individuals from the Neighborhood

On March 3, 2003, Orthopaedic Associates of Portland, P.A. hosted a neighborhood meeting at their facility to present an overview of their proposed building expansion and provide an opportunity for neighbors to ask questions of the development. Site plans and building plans were available for viewing. Mark McAuliffe from OAP and Steve Doe from Sebago Technics performed the informal presentation and answered questions.

The two neighbors attending were enthusiastic and supportive of the proposed expansion.

The meeting closed at 6:15.

SGD:jc



February 7, 2003
00207

Ms. Kandi Talbot
Planning & Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

AH. 10

Supplemental Submission
Orthopaedic Associates of Portland, P.A., Sewall Street

Dear Kandi:

At your request we are submitting the following supplemental material to address Larry Ash's comments regarding traffic and parking for Orthopaedic Associates of Portland, P.A. (OAP).

1. **Leased Parking**

OAP recently entered into an agreement to lease 40 parking spaces in the MDOT lot across Sewall Street from their facility. Currently, they use 38 of these spaces on a daily basis. There is a gate in the fence and a walkway which provides employees access from the lot to the facility. This walk is maintained by Concord Trailways as part of the lease agreement. The walk will be paved in the spring. These spaces are undesignated; however, this lot has minimal use and employees park closest to Sewall Street. OAP has an option to lease an additional 20 spaces from the State in December of 2003, but plans to engage in this lease at the time of construction to provide parking for construction employees. This lot has a total capacity of 375 spaces. A copy of the lease is attached.

2. **On-Street Parking**

Currently, Sewall Street is unrestricted for on-street parking. OAP employees do not park on Sewall Street. Employees park either on the premises or in the MDOT lot. On-street parking that does occur by others is usually confined to the cul-de-sac and other areas in the vicinity of the dead end.

3. Attached is a summary of the traffic currently generated by OAP with estimates for new visits with this expansion. It should be noted that, with this expansion, HealthSouth, which has 27,500 visits a year, will be leaving. In addition OAP has established a second office in Scarborough which will transfer some patient visits to that location.

Ms. Talbot

-2-

February 7, 2003

I hope this addresses Larry's questions on the project. If you have additional comments, please call me.

IOA

Sincerely,

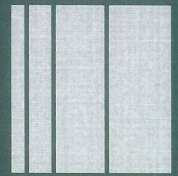
SEBAGO TECHNICS, INC.

A handwritten signature in black ink, appearing to read "Stephen G. Doe", followed by a horizontal line and a period.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:dlf/jc

Enc.



March 3, 2003
00207

AH-11

Ms. Kandice Talbot
Planning and Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Supplemental Submission: Orthopaedic Associates of Portland, P.A.
33 Sewall Street, Portland, Maine

Dear Kandi:

Enclosed please find copies of refined site plans and building plans for the proposed Orthopaedic Associates of Portland, P.A. expansion. The site plans incorporate more detailed information on site layout, grading, material selections, landscaping and construction detailing.

Building plan reflects refinement in the design and some minor expansion to the OSC operating rooms. Specific changes in the proposal are as follows:

- A 6' wide landscape strip has been added along the southern elevation to improve and soften the visual appearance of this area.
- The one-story OSC operating room expansion located along Sewall Street has been enlarged to total of 2,302 square feet, a net increase of 576 square feet. The total building expansion totals 14,312 square feet. This additional square footage increases the required parking to a total of 141 spaces. Upon completion of this expansion, 181 spaces will remain on site.
- Two additional walkways into the site from Sewall Street have been added. One off the OSC expansion is for emergency means of egress from the building. The other is to provide access to the site by employees using the MDOT parking lot.
- The additional walks, combined with OSC added square footage, brings the total impervious surface ratio to 78.3%. Eighty percent is the maximum permitted in this zone.

Ms. Talbot

-2-

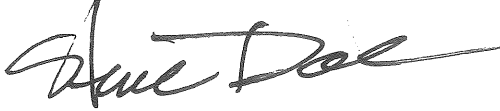
March 3, 2003

I trust this additional information addresses the staff's comments on this project. If you should require additional information, please call me. We look forward to presenting this proposal to the Planning Board at its March 11th public hearing.

11A

Sincerely,

SEBAGO TECHNICS, INC.

A handwritten signature in black ink, appearing to read "Stephen G. Doe", written over a horizontal line.

Stephen G. Doe, R.L.A.
Project Manager

SDG:es/jc
Enc.

cc: Mark McAuliffe
Brain O'Donnell

May 5, 2003
00207

Mr. Steve Bushey
DeLuca Hoffman Associates, Inc.
778 Main Street, Suite 8
South Portland, ME 04106

Orthopaedic Associates of Portland, P.A., 33 Sewall Street, Portland

Dear Steve:

We have done an evaluation of the existing storm drainage system to determine the need for a pretreatment system. In the evaluation, we determined that the site storm drainage exits the site at the southwest corner of the property and ultimately leads to a pond on the Central Maine Power Company land adjacent to the railroad.

As discussed with you, this pond functions as a pretreatment area for this development as well as others in the area. Based upon this, we concur that an additional mechanical pretreatment tank will not be required; however, we will install Casco traps in all existing on-site catch basins that have a 12" or 15" outlet pipe. This is required on five CBs and is shown on the attached plan.

The attached construction documents reflect this addition. These plans show the improvements for the Phase I addition only.

Sincerely,

SEBAGO TECHNICS, INC.



Stephen G. Doe, R.L.A.
Landscape Architect

SGD:jc
Enc.

cc: Kandi Talbot
Mark McAuliffe
Brian O'Donnell

June 10, 2003
00207

Frank J. Brancely, BA, MA, Senior Engineering Technician
Department of Public Works
City of Portland
55 Portland Street
Portland, ME 04101

Sanitary Sewer Capacity Request
Orthopaedic Associates of Portland, PA - 33 Sewall Street

Dear Mr. Brancely:

At your request, we have prepared the anticipated sanitary flows for the proposed 14,312 square foot building expansion to the above referenced project. The anticipated flows are based upon medical offices, clinics and dental offices as identified in the Handbook of Subsurface Wastewater Disposal in Maine. Our calculations are as follows:

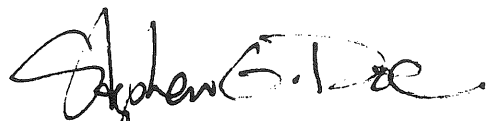
	Existing	After Expansion
Medical Staff @ 80 gpd	(70) 5,600 gpd	(70) 5,600 gpd
Office Employees @ 15 gpd	(30) 450 gpd	(30) 450 gpd
Patients @ 5 gpd	(266) 1,330 gpd	(295) 1,475 gpd
Total	7,380 gpd	7,525 gpd

Based upon these calculations, the additional flows for this building expansion are 145 gpd.

I trust this new data addresses your needs for sewer capacity. If you have questions, please call. I have enclosed a site plan for your reference.

Sincerely,

SEBAGO TECHNICS, INC.



Stephen G. Doe, R.L.A.
Landscape Architect

SGD:jc
Enc.

cc: Mark McAuliffe
Kandi Talbot

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Kandice Talbot, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Karen Dunfee, Inspections
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File



CITY OF PORTLAND

16 June 2003

Mr. Stephen G. Doe, R.L.A.,
Sebago Technics,
P. O. Box 1339,
Westbrook, Maine 04098-1339.

**RE: The Capacity to Handle an Anticipated Increase in Wastewater Flows,
From the Proposed Orthopaedic Associates of Portland P.A. Expansion,
33 Sewall Street, Portland, Maine.**

Dear Mr. Doe:

The existing thirty inch diameter concrete sanitary sewer pipe, located in Sewall Street has adequate capacity to **transport**, while The Portland Water District sewage treatment facilities, located off Marginal Way, have adequate capacity to **treat** the anticipated wastewater flows of **145 GPD**, from your proposed expansion.

Anticipated Wastewater Flows from the Proposed Expansion:

29 Proposed Additional Patients @ 5 GPD/Patient	= 145 GPD
Total Proposed Increase in Wastewater Flows for this Project	= 145 GPD

The City combined sewer overflow (C.S.O.) abatement consent agreement, with the U.S.E.P.A. and the Maine D.E.P., requires C.S.O. abatement, as well as storm water mitigation, in order to offset any increase in sanitary flows, from all projects.

If The City can be of further assistance, please call 874-8832.

Sincerely,

CITY OF PORTLAND

Frank Brancely
Frank J Brancely, B.A., and M.A.
Senior Engineering Technician

FJB

cc: Alexander Q. Jaegerman, Acting Co-Director, Department of Planning, and Urban Development, City of Portland
✓ Kandice Talbot, Planner, Department of Planning, and Urban Development, City of Portland
Eric Labelle, P.E., City Engineer, City of Portland
Bradley A. Roland, P.E., Environmental Projects Engineer, City of Portland
Anthony W. Lombardo, P.E., Project Engineer, City of Portland
Stephen K. Harris, Assistant Engineer, City of Portland
Todd Merkle, Field Inspections Coordinator, City of Portland
Desk file

Department of Planning & Development
Lee D. Urban, Director



CITY OF PORTLAND

Division Directors
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman, AICP
Planning

John N. Lufkin
Economic Development

December 4, 2003

Mr. Stephen G. Doe, R.L.A.
Landscape Architect
Sebago Technics
One Chabot Street
P.O. Box 1339
Westbrook, ME 04098-1339

RE: Orthopaedic Associates of Portland, P.A., 33 Sewall Street
ID #2003-0008, CBL #190-D-003

Dear Mr. Doe:

Thank you for your recent letter requesting an extension to your site plan approval for the Orthopaedic Associates of Portland expansion located in the vicinity of 33 Sewall Street. I understand that your request is based on the fact that you do not anticipate start of construction of Phase II until April, 2005.

In my capacity as Planning Division Director for the City of Portland, I am granting your request to extend your approval to May 31, 2005.

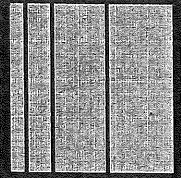
If you have any questions, please contact Kandice Talbot at 874-8901, who worked on your project.

Sincerely,

Alexander Jaegerman
Planning Division Director

O:\PLANDEV\REVW\SEWALL33\EXTENSIONLETTER12-4-03.DOC

cc: Lee D. Urban, Planning and Development Department Director
Sarah Hopkins, Development Review Services Manager
Kandice Talbot, Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Karen Dunfey, Inspections
Michael Bobinsky, Public Works Director
Traffic Division
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Approval Letter File



November 24, 2003
00207

Ms. Sarah Hopkins
Planning & Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Orthopaedic Associates of Portland, P.A., 33 Sewall Street

Dear Sarah:

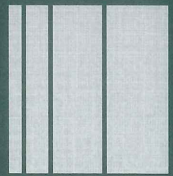
On behalf of Orthopaedic Associates of Portland, P.A., I wish to request an extension of their March 2003 site plan approval until May of 2005. They currently are under construction of their Phase I portion of the project and do not anticipate the start of construction of Phase II until April of 2005.

I understand the planning staff has the authority to grant an extended approval for a specified time period. This timeframe extension will be for slightly over a two-year period. If this permit cannot be extended for this period of time, please advise us in writing.

Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.



November 24, 2003
00207

Ms. Sarah Hopkins
Planning & Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Orthopaedic Associates of Portland, P.A., 33 Sewall Street

Dear Sarah:

On behalf of Orthopaedic Associates of Portland, P.A., I wish to request an extension of their March 2003 site plan approval until May of 2005. They currently are under construction of their Phase I portion of the project and do not anticipate the start of construction of Phase II until April of 2005.

I understand the planning staff has the authority to grant an extended approval for a specified time period. This timeframe extension will be for slightly over a two-year period. If this permit cannot be extended for this period of time, please advise us in writing.

Sincerely,

SEBAGO TECHNICS, INC.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:jc

cc: Mark McAuliffe
Brian O'Donnell

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Planning Department Copy

20010017

I. D. Number

Orthopaedic Assoc. of Portland

Applicant

33 Sewall St. PO Box 1260, Portland, ME 190 D003

Applicant's Mailing Address

Steve Doe/ Sebago Technics

Consultant/Agent

207-856-0277

Applicant or Agent Daytime Telephone, Fax

2/8/01

Application Date

Orthopaedic Assoc of Portland

Project Name/Description

33 - 33 Sewall St, PO Box 1260, Ptd. ME 04101

Address of Proposed Site

190 D003

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☐ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential
☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☒ Parking Lot ☒ Other (specify) **33 parking spaces**

Proposed Building square Feet or # of Units **3.38 acres** Acreage of Site **RP** Zoning

Check Review Required:

☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review ☐ 14-403 Streets Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other

Fees Paid: Site Plan **\$400.00** Subdivision Engineer Review Date **2/8/01**

Planning Approval Status:

Reviewer

☐ Approved ☐ Approved w/Conditions See Attached ☐ Denied

Approval Date Approval Expiration Extension to ☐ Additional Sheets Attached
☐ OK to Issue Building Permi signature date

Performance Guarantee ☐ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit Issue	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	

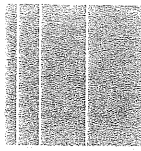
CITY OF PORTLAND, MAINE SITE PLAN CHECKLIST

Project Name, Address of Project _____

I.d. Number _____

Submitted () & Date Item Required Information Section 14-525 (b,c)

✓ 2-8-01	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
✓ 2-8-01	(2)	Name and address of applicant and name of proposed development	a
✓ 2-8-01	(3)	Scale and north points	b
✓ 2-8-01	(4)	Boundaries of the site	c
✓ 2-8-01	(5)	Total land area of site	d
	(6)	* Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
	(8)	Existing soil conditions	a
✓ 2-8-01	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
✓ 2-8-01	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
	(11)	* Approximate location of buildings or other structures on parcels abutting the site	d
✓ 2-8-01	(12)	Location of on-site waste receptacles	e
✓ 2-8-01	(13)	Public utilities	e
✓ 2-8-01	(14)	Water and sewer mains	e
✓ N/A	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
✓ N/A	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
	(17)	* Location and dimensions of on-site <u>pedestrian</u> and <u>vehicular accessways</u>	g
✓ 2-8-01	(18)	Parking areas	g
✓ N/A	(19)	Loading facilities	g
✓ no change	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
✓ 2-8-01	(21)	Curb and sidewalks	g
	(22)	Landscape plan showing:	h
	(23)	* Location of existing proposed vegetation	h
	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
✓ 2-8-01	(26)	Size of proposed landscaping	h
	(27)	* Existing areas to be preserved	h
	(28)	* Preservation measures to be employed	h
	(29)	* Details of planting and preservation specifications	h
✓ 2-8-01	(30)	Location and dimensions of all fencing and screening	i
✓ no change	(31)	Location and intensity of outdoor lighting system	j
✓ none	(32)	Location of fire hydrants, existing and proposed	k
✓ 2-1-01	(33)	Written statement	c
✓ 2-1-01	(34)	Description of proposed uses to be located on site	l
✓ 2-8-01	(35) ?	Quantity and type of residential, if any	l
✓ 2-8-01	(36)	Total land area of the site	b2
✓ N/A	(37)	Total floor area and ground coverage of each proposed building and structure	b2
✓ N/A	(38)	General summary of existing and proposed easements or other burdens	c3
✓ N/A	(39)	Method of handling solid waste disposal	4



Sebago Technics

Engineering & Planning for the Future

February 1, 2001

00207

Mr. Alexander Jaegerman
Planning & Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Amended Site Plan Application

Orthopaedic Associates of Portland, P.A.; 33 Sewall Street, Portland

Dear Alex:

On behalf of Orthopaedic Associates of Portland, P.A., I am pleased to submit this site plan application to amend their existing facility to add an additional 33 parking spaces. These spaces are needed to accommodate their current parking demand. They had a lease for additional parking on an abutting parcel to the south; however, this lease was not renewed when the abutting owner needed the spaces for his own use.

As shown on the attached amended site plan, the majority of the new spaces are proposed along the entry drive into the site. Angled and 90 degree parking is proposed, along with a 7' shift in the entrance drive. This arrangement will eliminate the parallel parking that currently happens along this drive and will improve access into the property. The angle parking is incorporated to discourage traffic congestion associated with car parking maneuvers along the entrance drive.

Existing buffer plantings and a stockade screen fence will be removed, and new plantings and a more attractive two-sided wooden fence will be installed to replace that which is removed. Also, a small 2½' high concrete block retaining wall will be installed near the 90 degree parking spaces in the north corner of the property.

Eight additional parking spaces are proposed in various other locations throughout the site and are shown on the attached plan. No new light fixtures, drainage structures, or utilities are proposed for these modifications. Construction of these improvements is proposed for spring of this year and will be funded by cash from Orthopaedic Associates accounts.

February 1, 2001

I trust the plans and supporting documents, in combination with the information in this letter, address the submission requirements on this project. If questions arise during your review or you require additional information, please call me.

Sincerely,

SEBAGO TECHNICS, INC.

A handwritten signature in dark ink, appearing to read "Stephen G. Doe", written over a light background.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:jc
Enc.

cc: Mark McAuliffe

IMPROVEMENTS

(43,560)

147,232,80 SF

Lot = 3.38 AC.

Bldg. ~~710x~~

170x150

105x75

25,500.00
7,875.00

Parking 360x60

60x70

12x350

360'x60'

24'x100'

24'x225'

21,600

4,200

4,200

21,600

2,400

5,400

Swales

8'x105'

4'x220'

" 85'

" 90'

7'x100'

840

880

765

810

900

97,070

65.93%

?

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
D.R.C. Copy

20010017

I. D. Number

Orthopaedic Assoc. of Portland

Applicant

33 Sewall St. PO Box 1260, Portland, ME 190 D003

Applicant's Mailing Address

Steve Doe/ Sebago Technics

Consultant/Agent

207-856-0277

Applicant or Agent Daytime Telephone, Fax

2/8/01

Application Date

Orthopaedic Assoc of Portland

Project Name/Description

33 - 33 Sewall St, PO Box 1260, Ptd. ME 04101

Address of Proposed Site

190 D003

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☐ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential
☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☒ Parking Lot ☒ Other (specify) **33 parking spaces**

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☒ Site Plan (major/minor) ☐ Subdivision # of lots ☐ PAD Review ☐ 14-403 Streets Review
☐ Flood Hazard ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB) ☐ Zoning Variance ☐ Other

Fees Paid: Site Plan **\$400.00** Subdivision Engineer Review Date: **2/8/01**

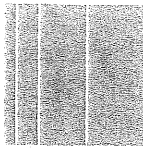
DRC Approval Status:

☐ Approved ☐ Approved w/Conditions see attache ☐ Denied
Approval Date Approval Expiration Extension to ☐ Additional Sheets Attached
☐ Condition Compliance signature date

Performance Guarantee ☐ Required* ☐ Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	date	amount	
<input type="checkbox"/> Building Permit	date		
<input type="checkbox"/> Performance Guarantee Reduced	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	date	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	date		
<input type="checkbox"/> Performance Guarantee Released	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	



Sebago Technics

Engineering & Planning for the Future

February 1, 2001
00207

Mr. Alexander Jaegerman
Planning & Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Amended Site Plan Application
Orthopaedic Associates of Portland, P.A.; 33 Sewall Street, Portland

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February 1, 2001

I trust the plans and supporting documents, in combination with the information in this letter, address the submission requirements on this project. If questions arise during your review or you require additional information, please call me.

Sincerely,

SEBAGO TECHNICS, INC.

A handwritten signature in dark ink, appearing to read "Stephen G. Doe", with a stylized flourish at the end.

Stephen G. Doe, R.L.A.
Landscape Architect

SGD:jc

Enc.

cc: Mark McAuliffe

**CITY OF PORTLAND, MAINE
SITE PLAN CHECKLIST**

Orthopaedic Associates
33 Sewall St.

Project Name, Address of Project

L.d. Number

Submitted () & Date	Item	Required Information	Section 14-525 (b,c)
	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
	(2)	Name and address of applicant and name of proposed development	a
	(3)	Scale and north points	b
	(4)	Boundaries of the site	c
	(5)	Total land area of site	d
	(6)	Topography - existing and proposed (2 feet intervals or less)	e
	(7)	Plans based on the boundary survey including:	2
	(8)	Existing soil conditions	a
	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
	(11)	Approximate location of buildings or other structures on parcels abutting the site	d
	(12)	Location of on-site waste receptacles	e
	(13)	Public utilities	e
	(14)	Water and sewer mains	e
	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
	(17)	Location and dimensions of on-site pedestrian and vehicular accessways	g
	(18)	Parking areas	g
	(19)	Loading facilities	g
	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
	(21)	Curb and sidewalks	g
	(22)	Landscape plan showing:	h
	(23)	Location of existing proposed vegetation	h
	(24)	Type of vegetation	h
	(25)	Quantity of plantings	h
	(26)	Size of proposed landscaping	h
	(27)	Existing areas to be preserved	h
	(28)	Preservation measures to be employed	h
	(29)	Details of planting and preservation specifications	h
	(30)	Location and dimensions of all fencing and screening	i
	(31)	Location and intensity of outdoor lighting system	j
	(32)	Location of fire hydrants, existing and proposed	k
	(33)	Written statement	c
	(34)	Description of proposed uses to be located on site	l
	(35)	Quantity and type of residential, if any	l
	(36)	Total land area of the site	b2
	(37)	Total floor area and ground coverage of each proposed building and structure	b2
	(38)	General summary of existing and proposed easements or other burdens	c3
	(39)	Method of handling solid waste disposal	4



CITY OF PORTLAND

July 20, 2001

Mark McAuliffe
Orthopedic Associates of Portland
33 Sewall St
Portland, ME 04101

Dear Mr. McAuliffe:

It has come to the city's attention that your recently approved project located at 33 Sewall Street has commenced work without submitting the proper documentation to the city. Upon planning approval, the applicant is required to submit a cost estimate of site improvements to the city for review, and upon approval, submit a performance guarantee for the site improvements. Also included in these items is the inspection fee (2% of the cost estimate). Once this is received, then a pre-construction meeting with the appropriate parties is required.

These items were discussed and requested through your consulting agent, Sebago Technics, Inc. Upon approval of the site plan, I forwarded the appropriate forms (cost estimate form and letter of credit sample form) to Steven Doe of Sebago Technics. A few months ago, I spoke with Mr. Doe, and he informed me that the cost estimate and letter of credit forms were forwarded to Orthopedic Associates to be prepared.

The city was waiting to sign off and approve the project (send approval letter), upon receipt of the cost estimate and letter of credit. To date, the Planning Authority has not signed off on the project.

After visiting the site, it appears that work had commenced a substantial time ago.

At this time, the city requests that the cost estimate, defect guarantee (10% of the cost estimate), and inspection fee, be prepared and submitted to the city no later than August 6, 2001. At this time, the city also requests this be done before any additional work is done to the site. Please be aware that this will be forwarded to the city's corporation counsel if these items aren't received prior to the above stated date.

Please contact me if you have any questions.
Thank You for Your Time.



**Orthopaedic Associates
of Portland, P.A.**

July 25, 2001

Mr. Jay Reynolds
Development review Coordinator
City of Portland
Planning and Urban Development
389 Congress Street
Portland, Maine 04101

Dear Jay:

I received your letter today. I apologize for not submitting all the paperwork required for our parking lot improvements but quite honestly there was confusion between the contractor, Steve Lebreque, and us over who was supposed to take care of this. I thought LaBrecque filed all the paperwork and took care of the fees. The last time we had any work done here it was through Ledgewood and they took care of all the permitting and guarantee issues. I have enclosed a copy of the estimate for the job as well as the 2% inspection fee. Please let me know if there is any need to submit the defect guarantee. The work has now been completed and as you are aware this is a straightforward parking lot improvement. I know Steve LaBrecque has done work for the city many times. I don't even know how the guarantee works. Do you refund the guarantee after inspecting the job? Would we send you a check only to get it back within a week or two?

Sincerely,


Mark A. McAuliffe

33 Sewall Street
P.O. Box 1260
Portland, Maine 04104-1260
www.orthoassociates.com

584 Roosevelt Trail
Route 302
Windham, Maine 04062

10 Forest Falls Drive
Suite 8
Yarmouth, Maine 04096

(207)828-2100
(800)439-0274
(207)828-2190 Fax

Douglas W. Brown, M.D.
Sports Medicine
Arthroscopic Surgery

Raymond R. White, M.D.
Trauma and Fracture Surgery

F. Lincoln Avery, M.D.
Sports Medicine
Arthroscopic Surgery

Donald P. Endrizzi, M.D.
Shoulder, Reconstructive and
Fracture Surgery

Michael W. Becker, M.D.
Surgery of the Adult Knee

George M. Babikian, M.D.
Trauma and Fracture Surgery

John T. Chance, M.D.
Hand, Upper Extremity, and
Microsurgery

William M. Heinz, M.D.
Sports Medicine
Medical Orthopaedist

Peter E. Guay, D.O.
General Orthopaedic Surgery
Surgery of the Spine
Arthroscopic Surgery

Brian J. McGrory, M.D.
Surgery of the Adult Hip
Hip and Knee Replacement Surgery

Michael J. Totta, M.D.
Physical Medicine and Rehabilitation
Electrodiagnosis

Eric D. Hoffman, M.D.
General Orthopaedic Surgery
Arthroscopic Surgery

Thomas F. Murray, Jr., M.D.
Sports Medicine
Arthroscopic Surgery

James F. Findlay, D.O.
Orthopaedic Medicine
Osteopathic Manipulative Management

Dirk G. Asherman, M.D.
Foot and Ankle Surgery
General Orthopaedic Surgery

Mark A. McAuliffe
Chief Executive

LaBRECQUE CONSTRUCTION, Inc.

1350 RIVERSIDE STREET
PORTLAND, MAINE 04103
Telephone 797-6305

Orthopaedic Associates of Portland, P.A.
33 Sewall Street
Portland, Maine
04104

May 1, 2001

Att: Greg Dugas

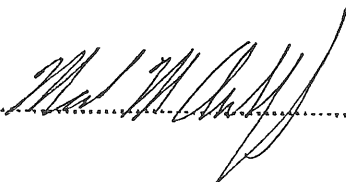
We are pleased to quote on the plans prepared by Sebago Technics, 4/5/01.

ITEMS

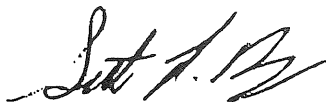
1. Dig Safe and Street opening permits
2. Excavation of parking areas approximately 300sy
3. Remove and reset approximately 230LF concrete curb
4. Supply and install approximately 300LF concrete curb
5. Adjust 2 catch basin frames to grade
6. Supply and install approximately 20SY concrete walk
7. Supply and install 2' high x 52LF dry laid wall
8. Pave and strip new areas
9. Supply and install landscaping
10. All traffic maintenance

Price: \$61,656.00

Authorized Signature.....



Sincerely,



Scott LaBrecque



**Orthopaedic Associates
of Portland, P.A.**

July 30, 2001

Mr. Jay Reynolds
Development review Coordinator
City of Portland
Planning and Urban Development
389 Congress Street
Portland, Maine 04101

Dear Jay:

It was good to talk to you on the phone today. Enclosed is a copy of the job estimate that I forgot to enclose with my last letter. I will set up a guarantee bond this week.

Sincerely,


Mark A. McAuliffe

33 Sewall Street
P.O. Box 1260
Portland, Maine 04104-1260
www.orthoassociates.com

584 Roosevelt Trail
Route 302
Windham, Maine 04062

10 Forest Falls Drive
Suite 8
Yarmouth, Maine 04096

(207)828-2100
(800)439-0274
(207)828-2190 Fax

Douglas W. Brown, M.D.
Sports Medicine
Arthroscopic Surgery

Raymond R. White, M.D.
Trauma and Fracture Surgery

F. Lincoln Avery, M.D.
Sports Medicine
Arthroscopic Surgery

Donald P. Endrizzi, M.D.
Shoulder, Reconstructive and
Fracture Surgery

Michael W. Becker, M.D.
Surgery of the Adult Knee

George M. Babikian, M.D.
Trauma and Fracture Surgery

John T. Chance, M.D.
Hand, Upper Extremity, and
Microsurgery

William M. Heinz, M.D.
Sports Medicine
Medical Orthopaedist

Peter E. Guay, D.O.
General Orthopaedic Surgery
Surgery of the Spine
Arthroscopic Surgery

Brian J. McGrory, M.D.
Surgery of the Adult Hip
Hip and Knee Replacement Surgery

Michael J. Totta, M.D.
Physical Medicine and Rehabilitation
Electrodiagnosis

Eric D. Hoffman, M.D.
General Orthopaedic Surgery
Arthroscopic Surgery

Thomas F. Murray, Jr., M.D.
Sports Medicine
Arthroscopic Surgery

James F. Findlay, D.O.
Orthopaedic Medicine
Osteopathic Manipulative Management

Dirk G. Asherman, M.D.
Foot and Ankle Surgery
General Orthopaedic Surgery

Mark A. McAuliffe
Chief Executive

**Department of Planning and Urban Development
SUBDIVISION/SITE DEVELOPMENT**

COST ESTIMATE OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

Date: 8/1/01

Name of Project: Orthopaedic Associates Parking Lot Upgrade

Address/Location: 33 Sewall Street

Developer: LaBrecque Construction

Form of Performance Guarantee: Letter of Line of Credit

Type of Development: Subdivision _____ Site Plan (Major/Minor) Minor

TO BE FILLED OUT BY THE APPLICANT: See Attached

Item	PUBLIC			PRIVATE		
	Quantity	Unit Cost	Subtotal	Quantity	Unit Cost	Subtotal
1. STREET/SIDEWALK						
Road	_____	_____	_____	_____	_____	_____
Granite Curbing	_____	_____	_____	_____	_____	_____
Sidewalks	_____	_____	_____	_____	_____	_____
Esplanades	_____	_____	_____	_____	_____	_____
Monuments	_____	_____	_____	_____	_____	_____
Street Lighting	_____	_____	_____	_____	_____	_____
Street Opening Repairs	_____	_____	_____	_____	_____	_____
Other	_____	_____	_____	_____	_____	_____
2. EARTH WORK						
Cut	_____	_____	_____	_____	_____	_____
Fill	_____	_____	_____	_____	_____	_____
3. SANITARY SEWER						
Manholes	_____	_____	_____	_____	_____	_____
Piping	_____	_____	_____	_____	_____	_____
Connections	_____	_____	_____	_____	_____	_____
Main Line Piping	_____	_____	_____	_____	_____	_____
House Sewer Service Piping	_____	_____	_____	_____	_____	_____
Pump Stations	_____	_____	_____	_____	_____	_____
Other	_____	_____	_____	_____	_____	_____
4. WATER MAINS	_____	_____	_____	_____	_____	_____
5. STORM DRAINAGE						
Manholes	_____	_____	_____	_____	_____	_____
Catchbasins	_____	_____	_____	_____	_____	_____
Piping	_____	_____	_____	_____	_____	_____
Detention Basin	_____	_____	_____	_____	_____	_____
Stormwater Quality Units	_____	_____	_____	_____	_____	_____
Other	_____	_____	_____	_____	_____	_____

6. SITE LIGHTING	_____	_____	_____	_____	_____	_____
7. EROSION CONTROL						
Silt Fence	_____	_____	_____	_____	_____	_____
Check Dams	_____	_____	_____	_____	_____	_____
Pipe Inlet/Outlet Protection	_____	_____	_____	_____	_____	_____
Level Lip Spreader	_____	_____	_____	_____	_____	_____
Slope Stabilization	_____	_____	_____	_____	_____	_____
Geotextile	_____	_____	_____	_____	_____	_____
Hay Bale Barriers	_____	_____	_____	_____	_____	_____
Catch Basin Inlet Protection	_____	_____	_____	_____	_____	_____
8. RECREATION AND OPEN SPACE AMENITIES	_____	_____	_____	_____	_____	_____
9. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs)	_____	_____	_____	_____	_____	_____
10. MISCELLANEOUS	_____	_____	_____	_____	_____	_____
TOTAL:	_____	_____	_____	_____	_____	_____
GRAND TOTAL:	_____	_____	_____	_____	_____	<u>\$161,656</u>

INSPECTION FEE (to be filled out by the City)

	<u>PUBLIC</u>	<u>PRIVATE</u>	<u>TOTAL</u>
A: 2.0% of totals:	_____	_____	_____
or			
B: Alternative Assessment:	_____	_____	_____
Assessed by:	_____	_____	_____
	(name)	(name)	

LaBRECQUE CONSTRUCTION, Inc.

1350 RIVERSIDE STREET
PORTLAND, MAINE 04103
Telephone 797-6305

Orthopaedic Associates of Portland, P.A.
33 Sewall Street
Portland, Maine
04104

May 1, 2001

Att: Greg Dugas

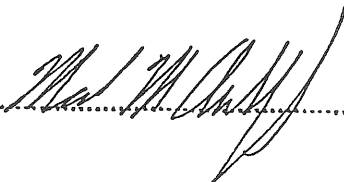
We are pleased to quote on the plans prepared by Sebago Technics, 4/5/01.

ITEMS

1. Dig Safe and Street opening permits
2. Excavation of parking areas approximately 300sy
3. Remove and reset approximately 230LF concrete curb
4. Supply and install approximately 300LF concrete curb
5. Adjust 2 catch basin frames to grade
6. Supply and install approximately 20SY concrete walk
7. Supply and install 2' high x 52LF dry laid wall
8. Pave and strip new areas
9. Supply and install landscaping
10. All traffic maintenance

Price: \$61,656.00

Authorized Signature.....



Sincerely,


Scott LaBrecque



Orthopaedic Associates
of Portland, P.A.

P.O. Box 1260
33 Sewall Street
Portland, Maine 04104-1260

PEOPLES HERITAGE
PORTLAND, MAINE

74450
2112

No. 071169

One Thousand Two Hundred Thirty Three Dollars And 00 Cents

PAY TO THE ORDER OF
CITY OF PORTLAND

DATE

7/25/01

CHECK NO.

71169

CHECK AMOUNT

\$1,233.00

W. G. McCall
AUTHORIZED SIGNATURE

⑈071169⑈ ⑆211274450⑆ 0272 67386⑈

Traffic Impact from OAP Expansion

Current OAP Patient Visits per year Clinical	39,470
Current OAP Patient Visits per year Surgery Center	<u>2,379</u>

Subtotal OAP Visits 41,849

Current HealthSouth Patient Visits per year 27,500

Total Current visits per year 69,349

Estimated new visits per year from phase One

Clinical visits	4,903
Surgery Center	<u>600</u>

Total New visits phase one 5,503

Total yearly visits after phase one 74,852

Estimated new visits per year from phase Two

Loss of HealthSouth visits	-27,500
New OAP Physical Therapy visits	15,525
New OAP Clinical visits	12,258
New OAP Surgery center visits	<u>1,400</u>

Subtotal phase two 1,683

Total new visits per year phase one and two	7,186
Estimated new visits per day	29

Sebago Technics

Engineering Expertise You Can Build On

sebagotechnics.com

One Chabot Street
P.O. Box 1339
Westbrook, Maine
04098-1339
Ph. 207-856-0277
Fax 856-2206

February 7, 2003
00207

Ms. Kandi Talbot
Planning & Urban Development
City of Portland
389 Congress Street
Portland, ME 04101

Supplemental Submission
Orthopaedic Associates of Portland, P.A., Sewall Street

Dear Kandi:

At your request we are submitting the following supplemental material to address Larry Ash's comments regarding traffic and parking for Orthopaedic Associates of Portland, P.A. (OAP).

1. Leased Parking

OAP recently entered into an agreement to lease 40 parking spaces in the MDOT lot across Sewall Street from their facility. Currently, they use 38 of these spaces on a daily basis. There is a gate in the fence and a walkway which provides employees access from the lot to the facility. This walk is maintained by Concord Trailways as part of the lease agreement. The walk will be paved in the spring. These spaces are undesignated; however, this lot has minimal use and employees park closest to Sewall Street. OAP has an option to lease an additional 20 spaces from the State in December of 2003, but plans to engage in this lease at the time of construction to provide parking for construction employees. This lot has a total capacity of 375 spaces. A copy of the lease is attached.

2. On-Street Parking

Currently, Sewall Street is unrestricted for on-street parking. OAP employees do not park on Sewall Street. Employees park either on the premises or in the MDOT lot. On-street parking that does occur by others is usually confined to the cul-de-sac and other areas in the vicinity of the dead end.

3. Attached is a summary of the traffic currently generated by OAP with estimates for new visits with this expansion. It should be noted that, with this expansion, HealthSouth, which has 27,500 visits a year, will be leaving. In addition OAP has established a second office in Scarborough which will transfer some patient visits to that location.

Ms. Talbot

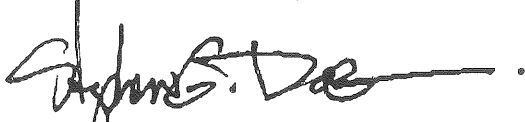
-2-

February 7, 2003

I hope this addresses Larry's questions on the project. If you have additional comments, please call me.

Sincerely,

SEBAGO TECHNICS, INC.



Stephen G. Doe, R.L.A.

Landscape Architect

SGD:dlf/jc

Enc.

Memorandum
Department of Planning and Development
Planning Division



To: Chair Caron and Members of the Portland Planning Board

From: Kandice Talbot, Planner

Date: February 11, 2003

Re: Building Addition
Vicinity of 33 Sewall Street
Orthopaedic Associates of Portland P.A., Applicant

Orthopaedic Associates of Portland P.A. are requesting site plan review for a proposed 13,736 sq. ft. building expansion to their existing facility located at 33 Sewall Street. New walkways, landscaping and screen wall are proposed to enhance the expansion. The site is approximately 3.38 acres in size and zoned R-P Residence Professional.

Building Expansion

The building expansion will consist of a first floor expansion of 5,870 sq. ft. and a second floor expansion of 7,866 sq. ft., which will total 13,736 sq. ft. The first floor expansion will consist of the addition of four operating rooms, additional waiting and support space and an expansion of the existing physical therapy space. The second floor expansion will consist of additional office and administrative support space and space is provided for the possible development of a walk-in clinic area.

The proposed expansion is planned to occur on the south side of the existing building and will be consistent with the existing architectural style in both materials and form. Elevations of the building will be available for the Board at the workshop meeting.

Access/Circulation

Access will be from two existing curb cuts on Sewall Street. The proposed expansion will eliminate seven (7) parking spaces. The zoning ordinance requires a total of 140 parking spaces. With the loss of seven (7) parking spaces there will remain 181 parking spaces on-site. Although this number of spaces exceeds the requirements, the demand for parking for this use requires ample parking in order for the applicant to properly service their clients. To allow for the need of additional parking spaces, Orthopaedic Associates of Portland P.A. has entered into a 7-year lease with the State of Maine to reserve 40

spaces in the adjacent MDOT lot across from the Portland Intermodal Facility. Employees of Orthopaedic Associates will use these spaces. The lease is included as Attachment ____.

Larry Ash, Traffic Engineer, has reviewed the plans and has concerns with overflow parking onto Sewall Street, how employees will get to/from the MDOT lot, site distances, and whether MDOT has additional space to lease.

Utilities

The new expansion will require modifications to the existing water and sanitary connections to the building. These changes are anticipated to occur within the limits of the property. The applicant will need to submit capacity letters for the proposed expansion.

Drainage

Currently, the drainage from the site sheet flows to existing catchbasins around the site and then outlets into an existing detention area, which is located southwest of the property. The applicant is not proposing any changes to the drainage.

Lighting

New building mounted lighting will occur at all doorways. These will be shielded fixtures to complement the architecture. Staff is requesting that the applicant submit catalogue cuts of the light fixtures and lighting photometric plan to determine that the proposed lighting meets the City's lighting standards.

Landscaping

The proposed expansion will remove several existing trees on the site. New landscape plantings will be developed on Sewall Street to replace the landscape that is being removed. The City Arborist has reviewed and approved the plans.

Issues to Resolve Prior to Public Hearing

The Zoning Administrator is currently reviewing the plans.

1. Traffic concerns
2. Capacity Letters
3. Lighting
4. Financial Capability
5. Neighborhood Meeting

Attachments:

1. Applicant's Submittal dated January 21, 2003
2. License Agreement between Orthopaedic Associates of Portland, P.A. and MDOT
3. Traffic Impact from Orthopaedic Associates of Portland, P.A.
4. Plan

LICENSE AGREEMENT

This License Agreement is entered into this 8th day of January, 2003, by and between the State of Maine, acting by and through its Department of Transportation (hereinafter "MDOT"), Orthopaedic Associates of Portland, P.A., (hereinafter "Orthopaedic Associates"), and Langdon Street Real Estate, Inc. (hereinafter "LSRE").

WHEREAS, MDOT owns land situated in the City of Portland, County of Cumberland, State of Maine, more particularly described in the following instruments: a) Notice of Layout and Taking dated March 27, 1969, recorded in the Cumberland County Registry of Deeds in Book 3079, Page 335; b) Notice of Layout and Taking dated December 10, 1970, recorded in said Registry of Deeds in Book 3153, Page 761; and Quitclaim Deed from Portland Terminal Company dated March 9, 1973, recorded in said Registry of Deeds in Book 3367, Page 171, and shown on the attached **Exhibit A** (hereinafter the "MDOT Property"); and

WHEREAS, MDOT has constructed a "Park 'n Ride" parking facility (hereinafter the "Park 'n Ride Lot") on a portion of the MDOT Property for the purpose of providing a parking area to accommodate persons using the Portland Intermodal Transportation Facility located nearby and for use by other members of the traveling public; and

WHEREAS, MDOT has entered into a License and Operating Agreement dated September 20, 2001 with Langdon Street Real Estate, Inc. for the operation, management and maintenance of the Park 'n Ride Lot, and for the collection of parking fees associated with the public's use of the Park 'n Ride Lot; the revenue generated from such parking fees is applied to the operation and maintenance of the Park 'n Ride Lot; and

WHEREAS, and during certain periods the Park 'n Ride Lot is not filled to capacity; and

WHEREAS, Orthopaedic Associates occupies the building adjacent to the MDOT Property situated at 33 Sewall Street in said City of Portland and desires to use a portion of the Park 'n Ride Lot to provide parking spaces for its employees and its tenants; and

WHEREAS, MDOT is willing to allow such use by Orthopaedic Associates, its employees and tenants.

NOW THEREFORE, in consideration of the mutual benefits to be derived here from, the parties agree as follows:

1. **Grant of License.** Subject to the terms and conditions set forth herein, MDOT hereby grants to Orthopaedic Associates a License for forty (40) parking spaces in the Park 'n Ride Lot for parking by its employees or tenants during the period between 6 a.m. and 6 p.m., Monday through Friday inclusive, subject to the Blackout Periods imposed in



Paragraph 6, below. In addition, Orthopaedic Associates shall have the option of acquiring an additional twenty (20) parking spaces on or after December 1, 2003, and an additional twenty (20) parking spaces on or after December 1, 2004 at the rates, terms and conditions contained herein upon thirty (30) days' prior written notice to MDOT. MDOT and LSRE shall use their best effort to assure that the specified number of parking spaces designated for Orthopaedic Associates' use shall be available at all times Orthopaedic Associates is entitled to the use of such spaces as provided herein.

2. **Term of License.** The initial term of this License Agreement shall be for the period commencing on January 1, 2003 and continuing until December 31, 2009. This License Agreement may be renewed by mutual agreement of the parties for an additional term of two (2) years.

3. **License Fee.** Orthopaedic Associates agrees to pay two dollars (\$2.00) per parking space per day for the number of parking spaces and during the periods set forth for its permitted use in Paragraph 1, above. Payments shall be due quarterly in advance, on January 1, April 1, July 1 and October 1 of each year during the term of this Agreement. Payment shall be made directly to LSRE. LSRE shall apply such fees to expenses associated with the maintenance and operation of the Park 'n Ride Lot as set forth in Paragraph 7 of the License and Operating Agreement between LSRE and MDOT dated September 20, 2001, or as directed by MDOT. Such revenues shall be subject to the Accounting and Surplus Revenues provisions of Paragraph 8 of said License and Operating Agreement.

4. **Access.** Orthopaedic Associates' employees and tenants shall have access to the Park 'n Ride Lot by means of "prox cards" which LSRE shall provide to Orthopaedic Associates. Orthopaedic Associates shall be responsible for any fees associated with activation of the prox cards.

5. **Operational Responsibilities.** LSRE shall continue to have operational and maintenance responsibilities for the Park 'n Ride Lot as set forth in the License and Operating Agreement between LSRE and MDOT dated September 20, 2001. LSRE shall be responsible for maintaining and repairing the walkway between the Park 'n Ride Lot and property of Orthopaedic Associates and shall do so in accordance with municipal and state requirements and good industry practices.

6. **Blackout Periods.** Access to parking spaces in the Park 'n Ride Lot shall not be available to Orthopaedic Associates, its employees and tenants, in order to accommodate use of all of parking spaces in the Park 'n Ride Lot by patrons of the Intermodal Transportation Terminal during the following peak use periods (hereinafter the "Blackout Periods"):

- a. The four (4) day Thanksgiving holiday period between Wednesday, November 25, 2003 and Sunday, November 30, 2003;

M. M.

- b. The ten (10) day Christmas holiday period between December 23, 2003 and January 1, 2004;
- c. The ten (10) day February school vacation period between February 14, 2003 and February 23, 2003; and
- d. The ten (10) day April school vacation period between April 17, 2003 and April 27, 2003.

MDOT, in its sole discretion, shall determine the dates of the Blackout Periods for future years, but in no event shall the total number of days exceed the number of days contained in the periods covered in subparagraphs 6a through d, above. MDOT shall designate the Blackout Periods for each calendar year no later than December 1st of the previous calendar year and give Orthopaedic Associates written notice thereof.

7. **Use of the Park 'n Ride Lot.** MDOT, LSRE and Orthopaedic Associates acknowledge that the primary purpose of the Park 'n Ride Lot is to provide parking for persons using the Portland Intermodal Transportation Facility and other members of the traveling public. Any commercial use of the Park 'n Ride Lot without written authorization of MDOT is prohibited. MDOT reserves the right to terminate this License Agreement upon six (6) months' prior written notice to Orthopaedic Associates in the event that the parking spaces licensed hereunder are necessary for transportation purposes.

8. **Right of Entry.** MDOT and LSRE reserve a right of entry upon the Park 'n Ride Lot by their duly authorized officers, employees or agents to inspect the Park 'n Ride Lot, to make repairs or enhancements or to respond to an emergency.

9. **Insurance and Indemnification.**

a. Orthopaedic Associates shall obtain premises liability insurance to cover its use of the parking spaces within the Park 'n Ride Lot with limits of no less than One Million Dollars (\$1,000,000.00) per occurrence, naming the State of Maine and LSRE as Additional Insureds. Such insurance **MUST** provide that the State of Maine be notified in the event the policy is cancelled. Orthopaedic Associates shall furnish MDOT with satisfactory proof of such insurance prior to commencing use of the Park 'n Ride Lot. Said proof of insurance and any cancellation notices shall be mailed to:

Director, Office of Passenger Transportation
Maine Department of Transportation
16 State House Station
Augusta, ME 04333-0016

Nothing herein shall, nor is intended to, waive any defense, immunity, or limitation of liability which may be available to MDOT or its officers, agents or

employees under the Maine Tort Claims Act or any other privileges or immunities provided by law.

Orthopaedic Associates agrees to indemnify, defend and hold harmless MDOT and LSRE, their respective agents, attorneys, employees or independent contractors, against any and all liability, loss, cost, damage, expenses, claims or actions of any nature whatsoever arising out of Orthopaedic Associates' use of the parking spaces in the Park 'n Ride Lot.

b. LSRE shall maintain its existing premises liability insurance policy with limits of no less than One Million Dollars (\$1,000,000.00) per occurrence, naming Orthopaedic Associates as an Additional Insured. Such insurance **MUST** provide that Orthopaedic Associates be notified in the event the policy is cancelled. LSRE shall furnish Orthopaedic Associates with satisfactory proof of such insurance prior to Orthopaedic Associates' commencing use of the Park n' Ride Lot. Said proof of insurance and any cancellation notices shall be mailed to:

Orthopaedic Associates of Portland, P.A.
P.O. Box 1260
33 Sewall St.
Portland, ME 04104-1260
Attention: Mark A. McAuliffe

10. **Default and Remedies.** Orthopaedic Associates, LSRE, or MDOT shall be in default under this License Agreement if Orthopaedic Associates, LSRE, or MDOT fails to perform or observe its terms and conditions or to comply with any restriction contained herein.

If Orthopaedic Associates, LSRE, or MDOT is in default under the terms, conditions or restrictions contained herein, any other party shall have the right to terminate this License Agreement in the event the defaulting party fails to cure such default within thirty (30) days written notice thereof.

11. **Termination.** This License Agreement may be terminated by MDOT or Orthopaedic Associates on thirty (30) days written notice in the event of a default by the other, or in the case of Orthopaedic Associates, in the event of a default by LSRE as to its duties hereunder, which default shall not have been remedied by the defaulting party pursuant to Paragraph 10, above or upon ninety (90) days' prior written notice in the event that MDOT determines that this License Agreement is not in the best interests or consistent with MDOT's obligations and responsibilities under applicable law.

12. **Modification.** Except as otherwise provided herein, this License Agreement may be modified only in writing signed by all parties hereto.

13. **Assignment Rights.** Orthopaedic Associates shall not assign or transfer this License Agreement without the prior written consent of MDOT, which consent shall not be unreasonably withheld.

14. **Notices.** Any notice given under this License Agreements shall be in writing and delivered in hand or sent postage prepaid by United States Registered Mail, Return Receipt Requested, or by such other entity that provides delivery with return receipt, directed to the other party at its address set forth below, or such other address as any party may designate by notice given from time to time in accordance with this Paragraph. All such notices should be addressed as follows:

Orthopaedic Associates of Portland, P.A.
P.O. Box 1260
33 Sewall St.
Portland, ME 04104-1260
Attention: Mark A. McAuliffe


State of Maine
Department of Transportation
16 State House Station
Augusta, ME 04333-0016
Attention: Office of Passenger
Transportation


Langdon Street Real Estate, Inc.
c/o Harry Blunt
7 Langdon St.
Concord, NH 03301

15. **Miscellaneous.** This License Agreement may be executed in counterparts, each of which when executed by all parties shall be deemed to be an original, and all of which counterparts together shall constitute one and the same instrument; constitutes the entire agreement of the parties with respect to its subject matter, superseding all prior oral and written communications, proposals, negotiations, representations, understandings, courses of dealing, agreements and contracts between the parties in such respect; and is not intended to inure to the benefit of any third party beneficiary.


IN WITNESS WHEREOF, the parties hereto have caused this License Agreement to be executed by their duly authorized representatives as of the day and year first above written.

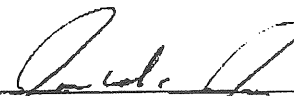
**ORTHOPAEDIC ASSOCIATES
OF PORTLAND, P.A.**


Witness

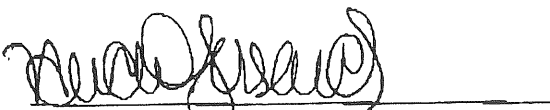

By: Mark A. McAdiff
Its: Chief Executive

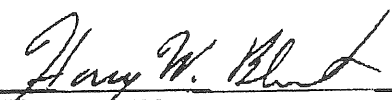
**STATE OF MAINE
DEPT. OF TRANSPORTATION**

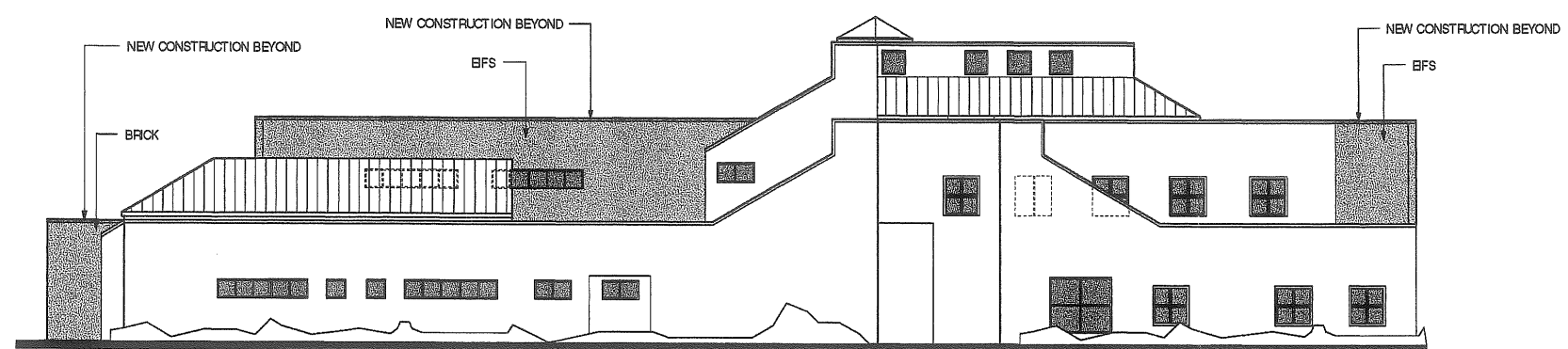

Witness


By: Ronald L. Roy
Its: Director, Office of Passenger
Transportation

**LANGDON STREET REAL
ESTATE, INC.**


Witness

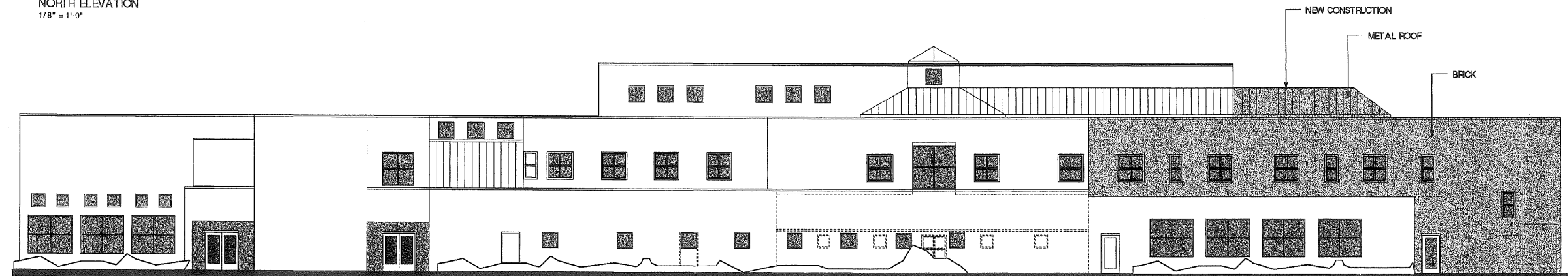

By: Harry W. Blunt
Its: President



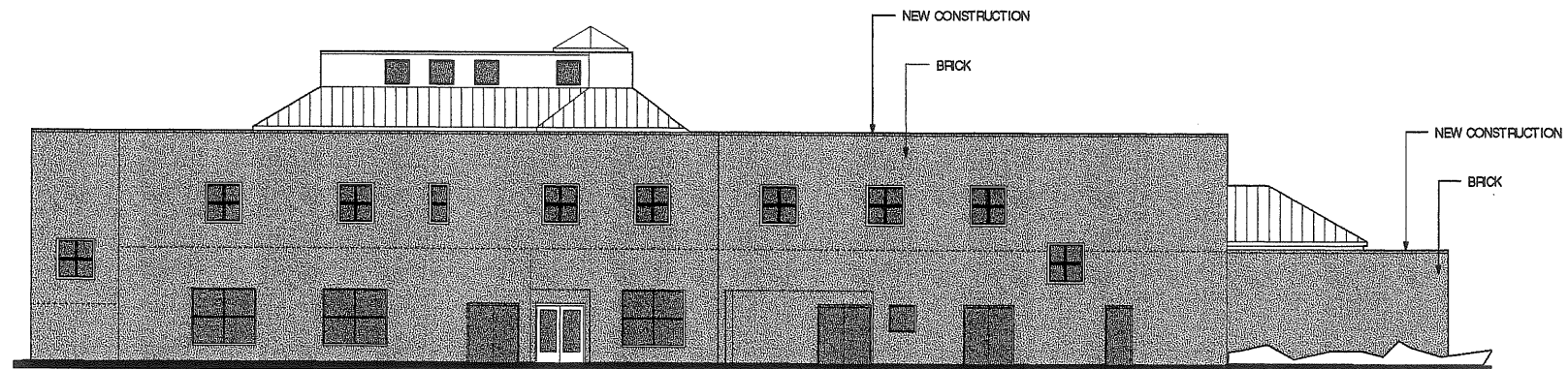
NORTH ELEVATION
1/8" = 1'-0"

CODING KEY

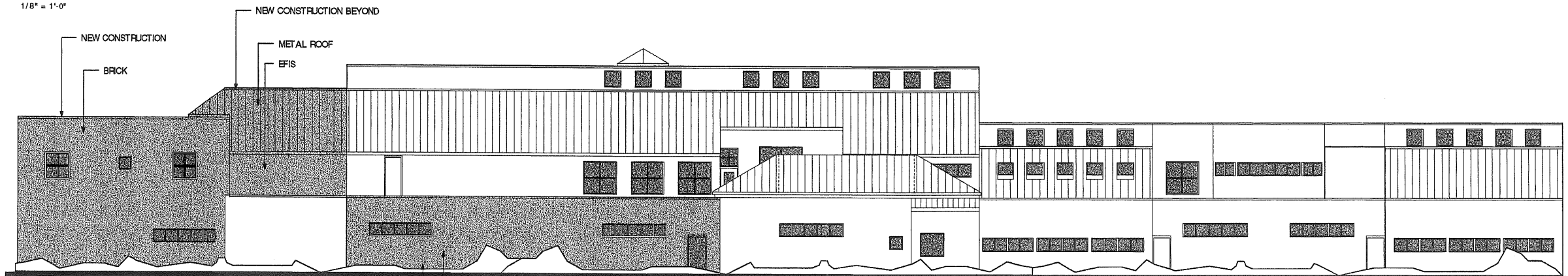
	NEW CONSTRUCTION
	EXISTING CONSTRUCTION



WEST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



EAST ELEVATION
1/8" = 1'-0"

NEW CONSTRUCTION
BRICK

Design Firm
NCTA Architects, Inc.
4483 Street
Portland, Maine 04101
NCTA / Architects
Phone: 207.774.4915
Fax: 207.774.4913
www.nctaarchitects.com

Consultant



Project Title

ORTHOPAEDIC ASSOCIATES, PA
BUILDING EXPANSION
33 SEWALL STREET
PORTLAND, MAINE

Description	Date	Mark

Issue/Revision	
Project ID	2000018.00
CAD File Name	
Drawn By	BCC
Checked By	
Issue Date	
Plot Date	1/17/03
Reviewed By	
Designed By	
Submitted By	
Drawing Code	
Sheet Title	ELEVATIONS

Drawing No.
A-201
of Total Sheets

NEW CONSTRUCTION
1 AND 2 STORY
4,144 SF 1st Floor

GRAPHIC KEY

- NEW CONSTRUCTION
1 and 2 Story
- EXISTING BUILDING
- INTERIOR CONSTRUCTION
NEW AND RENOVATION
- EXISTING INTERIOR CONSTRUCTION
- EXISTING INTERIOR CONSTRUCTION
TO BE REMOVED

Design Firm
HKTA / architects
207.746.4656
400 Congress Street, Suite 200
Portland, Maine 04101
Fax: 774.8829

Consultant



Project Title

ORTHOPAEDIC ASSOCIATES, PA
BUILDING EXPANSION
33 SEWALL STREET
PORTLAND, MAINE

1 FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

20' BUILDING SETBACK TO PROPERTY LINE

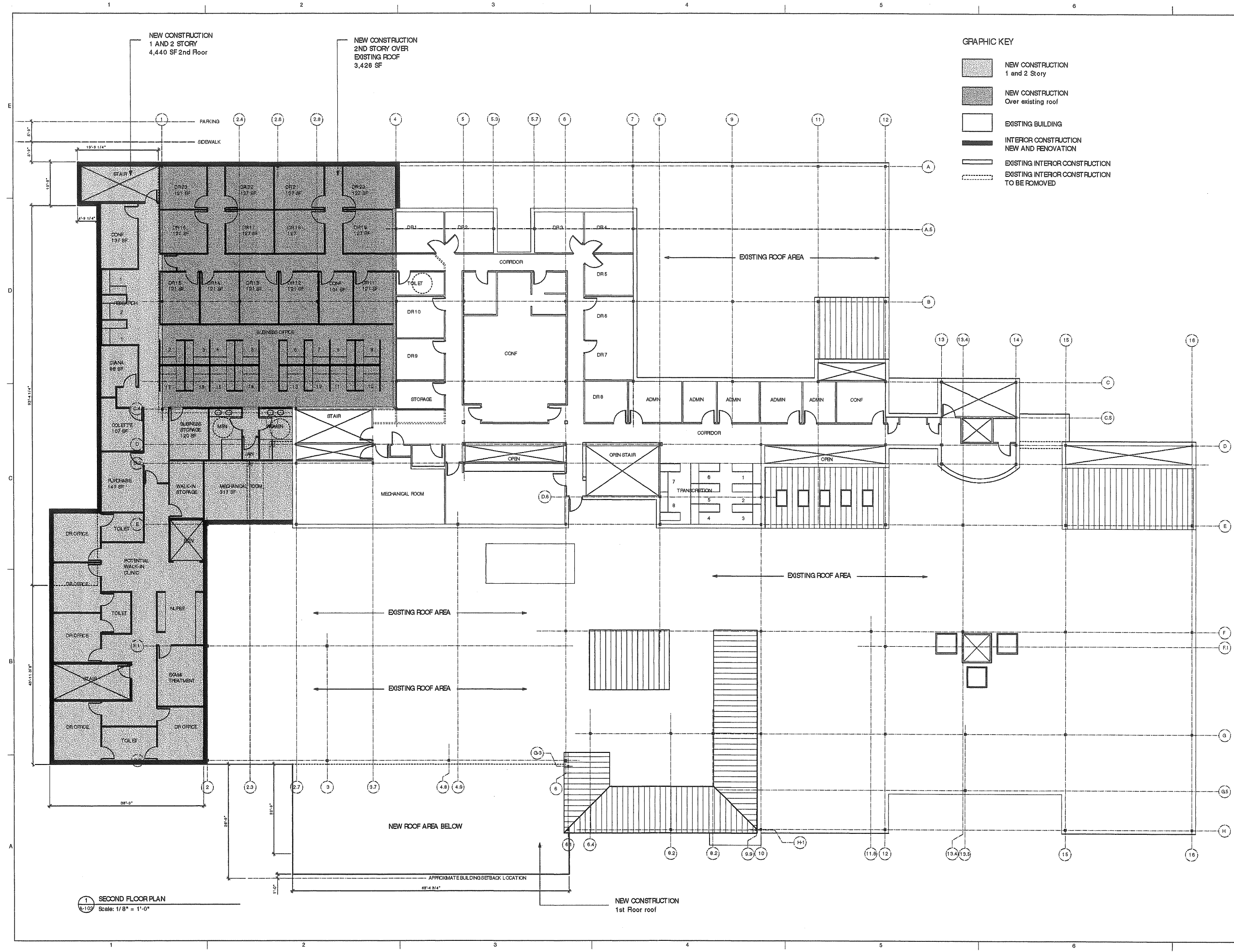
NEW CONSTRUCTION
1 STORY
1,726 SF

APPROXIMATE BUILDING SETBACK LOCATION

1ST FLOOR PLAN

Drawing No.

A-101
of Total Sheets



- GRAPHIC KEY
- NEW CONSTRUCTION
1 and 2 Story
 - NEW CONSTRUCTION
Over existing roof
 - EXISTING BUILDING
 - INTERIOR CONSTRUCTION
NEW AND RENOVATION
 - EXISTING INTERIOR CONSTRUCTION
 - EXISTING INTERIOR CONSTRUCTION
TO BE REMOVED

Design Firm

HKA / architects

HKA Architects, Inc.
425 Congress Street - Suite 200
Portland, Maine 04101
Tel: 774-6605 Fax: 774-6620

Consultant

ROBERT HOWE
No. 0241
REGISTERED ARCHITECT
STATE OF MAINE

Project Title

ORTHOPAEDIC ASSOCIATES, PA
BUILDING EXPANSION
33 SEWALL STREET
PORTLAND, MAINE

Issue/Revision	Date	Mark	Description
Project ID	2002018.00		
CAD File Name			
Drawn by	BCD		
Checked by			
Issue Date	1/17/03		
Project Date			
Reviewed by			
Designed by			
Submitted by			
Drawing Code			
Sheet Title			
2nd FLOOR PLAN			

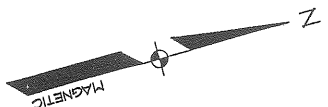
Drawing No.

A-102

of Total Sheets

1 SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"

NEW CONSTRUCTION
1st Floor roof



NTS

- MIN. YARD DIMENSIONS: FRONT:-----20 FEET
REAR:-----20 FEET
SIDE- 1 STORY:-----10 FEET
2 STORY:-----12 FEET
3 STORY:-----18 FEET

EXISTING -----	.75%
PROPOSED -----	.783%
MAX. ALLOWED ABUTTING R-5 ZONE -----	80%

- | | |
|-----------------------------|-------------------|
| B. BUILDING SUMMARY: | |
| EXISTING BUILDING | 42,000 SF. |
| <u>PROPOSED BUILDING</u> | <u>14,312 SF.</u> |
| TOTAL | 56,312 SF. |

9. PARKING SUMMARY:
- | | |
|-----------|------------|
| EXISTING: | 188 SPACES |
| REMOVED: | 7 SPACES |
| TOTAL: | 181 SPACES |
- TOTAL REQUIRED: 563/2 SF. / 18 SPACE/400 SF. = 141 SPACES

10. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, AND/OR AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.

- II. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN, APPROPRIATE FOR THE TYPE OF CONSTRUCTION, MUST BE EMPLOYED TO REGULATE TRAFFIC.

12. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE DEVELOPER/CONTRACTOR AT THEIR EXPENSE.

13. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE THEIR INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR/DEVELOPER'S EXPENSE.

14. THE CONTRACTOR SHALL PROVIDE ADEQUATE MEANS OF CLEANING MUD FROM TRUCKS AND/OR OTHER EQUIPMENT PRIOR TO ENTERING PUBLIC STREETS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN STREETS, ALLAY DUST, AND TAKE WHATEVER MEASURES ARE NECESSARY TO INSURE THAT THE STREETS ARE MAINTAINED IN A CLEAN, MUD AND DUST FREE CONDITION AT ALL TIMES.

15. CONTRACTORS SHALL CONTACT DIG SAFE AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. CONTRACTORS SHALL BE RESPONSIBLE OF COMPLIANCE W/ THE REQUIREMENT OF 23 MRSA 3360-A.

16. FILL AREAS UNDER PAVEMENT SHALL BE GRANULAR BORROW. ALL OTHER FILL AREAS SHALL BE A COMMON BORROW MATERIAL SUITABLE FOR EMBANKMENT CONSTRUCTION. FREE FROM FROZEN MATERIAL, FERTILIZER, RUBBER, LEAD, ORGANIC MATERIAL, ROCKS LARGER THAN 8" IN DIAMETER, VEGETATION AND OTHER MATERIAL UNSUITABLE FOR ROADWAY AND SUBGRADE CONSTRUCTION. EXCAVATED ON SITE MATERIALS MAY BE USED FOR FILL PROVIDED THE MATERIAL IS FREE FROM UNSUITABLE MATERIAL DESCRIBED IN THIS NOTE AND UPON APPROVAL OF THE ENGINEER. GRANULAR BORROW AND COMMON BORROW SHALL CONFORM WITH M.D.O.T. SPECIFICATIONS.

17. ALL FILL SHALL BE PLACED IN LAYERS NOT MORE THAN 12" LOOSE DEPTH AND COMPACTED BY HEAVY COMPACTION EQUIPMENT. MINIMUM COMPACTION SHALL BE 90% OF MAXIMUM DENSITY ASTM 1557, MODIFIED AND FIELD DENSITY ASTM D2922 (NUCLEAR METHOD).

18. PRIOR TO CONSTRUCTION A PRE-CONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPER, REVIEW COORDINATOR, PUBLIC WORK'S REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME THE SITE/ BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRE-CONSTRUCTION MEETING.



(IN FEET)
1 inch = 20 ft.



						-

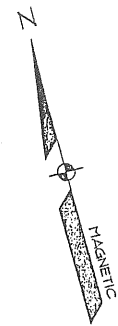
Page 10 of 10

DATE	SCALE
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01-20-03	1"=20'
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SHEET 1 OF 4

10207S2



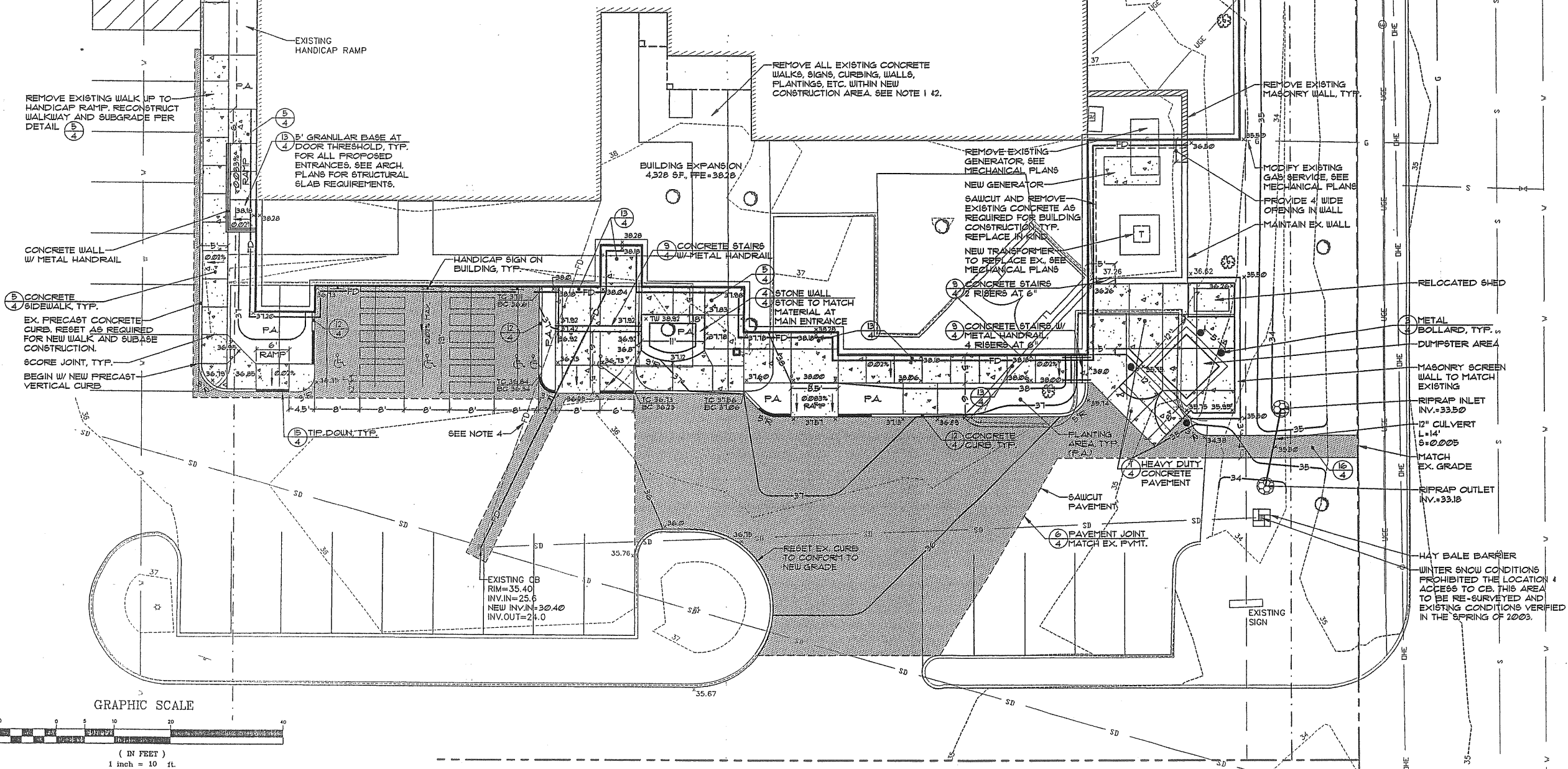
LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	CONTOURS	124
---	GAS	---
---	WATER	---
---	SEWER	---
---	STORM DRAIN	---
---	FOUNDATION DRAIN	FD
---	OVERHEAD ELEC. & TEL.	---
---	UNDERGROUND ELEC. & TEL.	---
---	TRANSFORMER PAD	---
---	GATE VALVE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	HYDRANT	---
---	CATCH BASIN	---
---	CULVERT	12"SD
---	SPOT GRADE	30x20
---	DECIDUOUS TREE	---
---	CONIFEROUS TREE	---

GENERAL NOTES

1. CONTRACTOR SHALL REMOVE AND STOCKPILE EXISTING CONCRETE CURB THAT IS IN GOOD CONDITION. CURBING SHALL BE REUSED ON SITE.
2. CONTRACTOR SHALL REMOVE AND STOCKPILE PRECAST CONCRETE CAP THAT IS IN GOOD CONDITION FROM MASONRY SCREEN WALLS. CAPS SHALL BE REUSED ON NEW MASONRY WALLS.
3. SIGNS AND SITE LIGHTING REMOVED FROM SITE SHALL BE STOCKPILED AND REUSED AS DIRECTED BY OWNER.
4. GRADING PLANS FOR ORIGINAL BUILDING INDICATE THE PRESENCE OF A FOUNDATION DRAIN OR ROOF DRAIN LINE IN THIS LOCATION. FIELD SURVEY WAS UNABLE TO DETERMINE THE PRESENCE OF A LINE. IF SITE EXCAVATION CONFIRMS PRESENCE OF LINE, NOTIFY ENGINEER TO DETERMINE APPROPRIATE RECONNECTION OF LINE.

EXISTING BUILDING



12A



REV.	BY	DATE	STATUS
1	A	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNIQS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNIQS, INC.

Sebago Technics
Engineering Expertise You Can Build On
One Chubb Street
Westport, ME 04091
Tel: (207) 858-0277

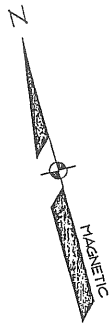
PROJECT NO.	00207
FIELD BOOK	---
DESIGN	---
CHKD	---
DRAWN	---
BRF	---

SITE PLAN DETAIL
OF: ORTHOPAEDIC ASSOCIATES OF PORTLAND P.A.
33 SEWALL STREET
PORTLAND, MAINE
FOR: ORTHOPAEDIC ASSOCIATES OF PORTLAND P.A.
P.O. BOX 1260
PORTLAND, MAINE 04104-1260

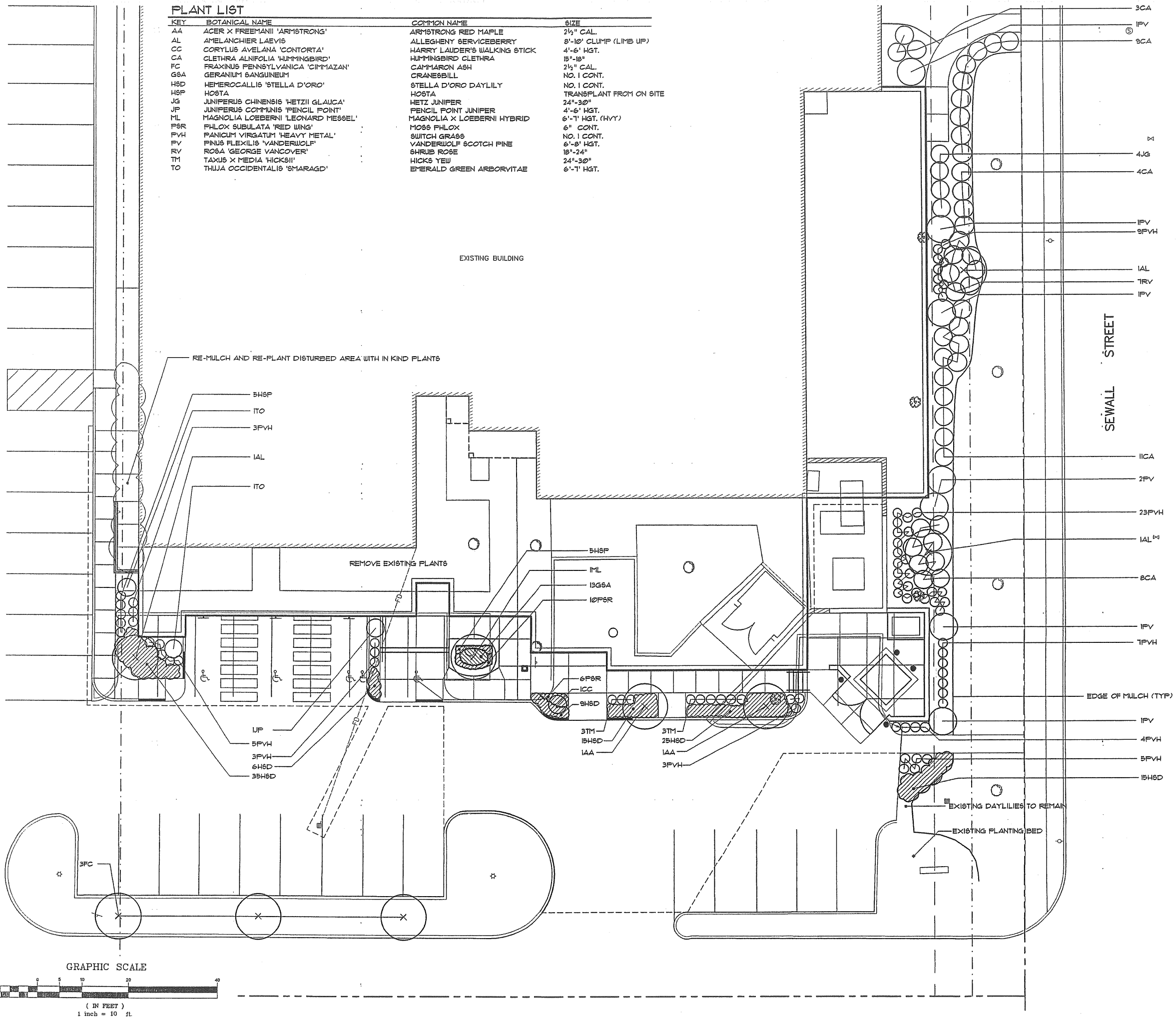
DATE	SCALE
03-20-03	1"=10'

SHEET 2 OF 4

0020753



PLANT LIST			
KEY	BOTANICAL NAME	COMMON NAME	SIZE
AA	ACER X FREEMANII 'ARMSTRONG'	ARMSTRONG RED MAPLE	2 1/2" CAL.
AL	AMELANCHIER LAEVIS	ALLEGHENY SERVICEBERRY	8'-10' CLUMP (LIMB UP)
CC	CORYLUS AVELANA 'CONTORTA'	HARRY LAUDER'S WALKING STICK	4'-6' HGT.
CA	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD CLETHRA	15'-18"
FC	FRAXINUS PENNSYLVANICA 'CITIAZAN'	CAMMARON ASH	2 1/2" CAL.
GSA	GERANIUM SANGUINEUM	CRANESBILL	NO. 1 CONT.
HSD	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	NO. 1 CONT.
HSP	HOSTA	HOSTA	TRANSPLANT FROM ON SITE
JG	JUNIFERUS CHINENSIS 'HETZII GLAUCA'	HETZ JUNIPER	24"-30"
JP	JUNIFERUS COMMUNIS 'PENCIL POINT'	PENCIL POINT JUNIPER	4'-6' HGT.
ML	MAGNOLIA LOEBERNI 'LEONARD MESSEL'	MAGNOLIA X LOEBERNI HYBRID	6'-1' HGT. (HVT)
FR	PHLOX SUBULATA 'RED WING'	MOSS PHLOX	6" CONT.
FVH	PANICUM VIRGATUM 'HEAVY METAL'	SWITCH GRASS	NO. 1 CONT.
FV	FINUS FLEXILIS 'VANDERWOLF'	VANDERWOLF SCOTCH PINE	6'-8' HGT.
RV	ROSA 'GEORGE VANCOVER'	SHRUB ROSE	18"-24"
TM	TAXUS X MEDIA 'HICKSII'	HICKS YEW	24"-30"
TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6'-7' HGT.



LEGEND

EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---
---	SETBACK	---
---	EASEMENT	---
---	BUILDING	---
---	SIGN	---
---	EDGE PAVEMENT	---
---	CURBLINE	---
---	LIGHT POLE	---
---	UTILITY POLE	---
---	CATCH BASIN	---
---	DECIDUOUS TREE	---
---	CONIFEROUS TREE	---

12B



REV.	BY	DATE	STATUS
1	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
2	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
3	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
4	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
5	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
6	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
7	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
8	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW
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10	SCD	03-03-03	ISSUED FOR FINAL SITE PLAN REVIEW

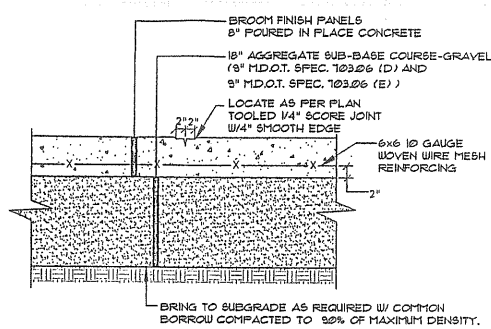
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Engineering Expertise You Can Build On
Westbrook, ME 04092-1339
Tel (207) 556-0277

PROJECT NO. 00207
FIELD BOOK
DESIGN
CD
CHKD
SCD
BFR / CD

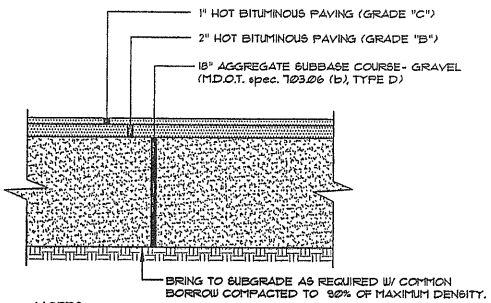
LANDSCAPE PLAN
OF
ORTHOPAEDIC ASSOCIATES OF
PORTLAND P.A.
33 SEWALL STREET
PORTLAND, MAINE
FOR:
ORTHOPAEDIC ASSOCIATES OF
PORTLAND P.A.
P.O. BOX 1260
PORTLAND, MAINE 04104-1260

DATE	SCALE
02-24-03	1" = 10'

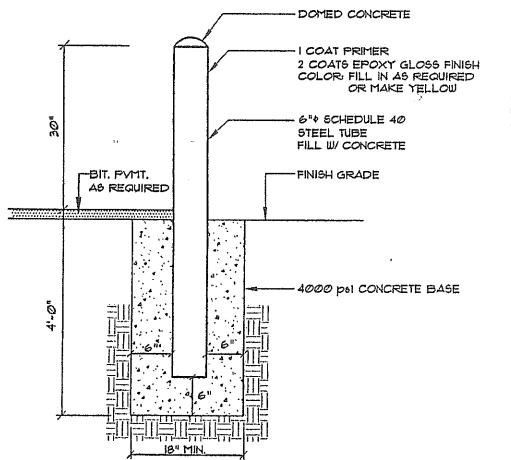
00207L



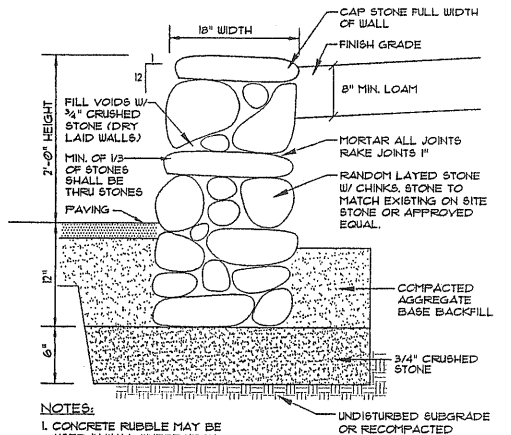
1 HEAVY DUTY CONCRETE PAVEMENT
NOT TO SCALE



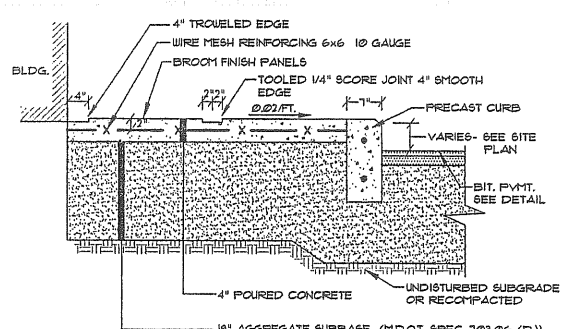
2 TYP. PAVED PARKING LOT SECTION
NOT TO SCALE



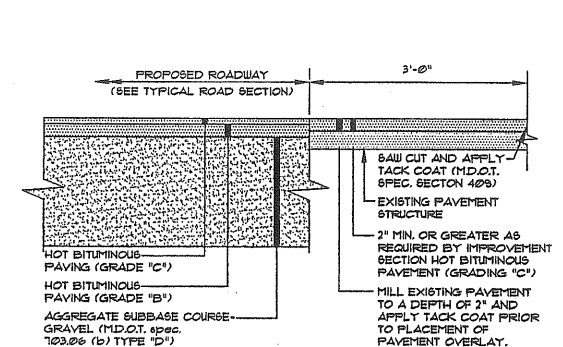
3 METAL BOLLARD
NOT TO SCALE



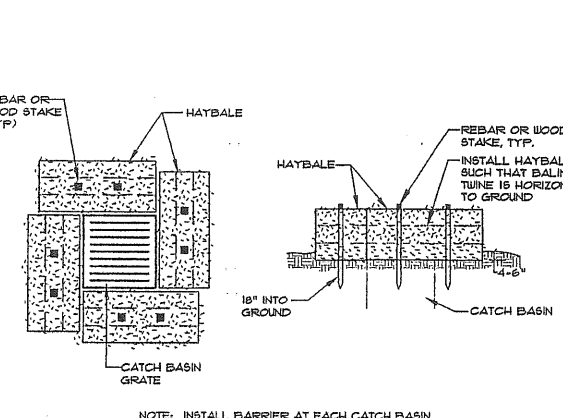
4 STONE WALL
NOT TO SCALE



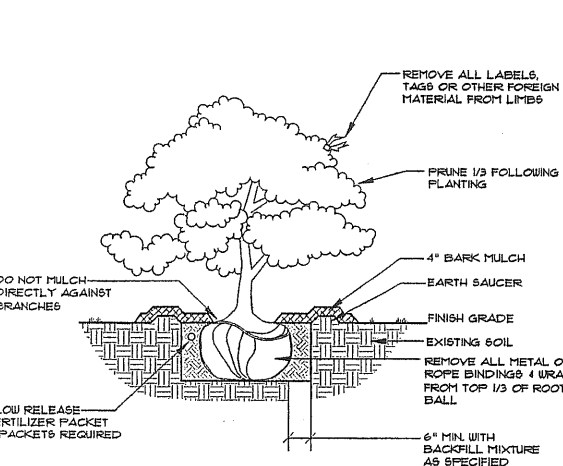
5 CONCRETE SIDEWALK
NOT TO SCALE



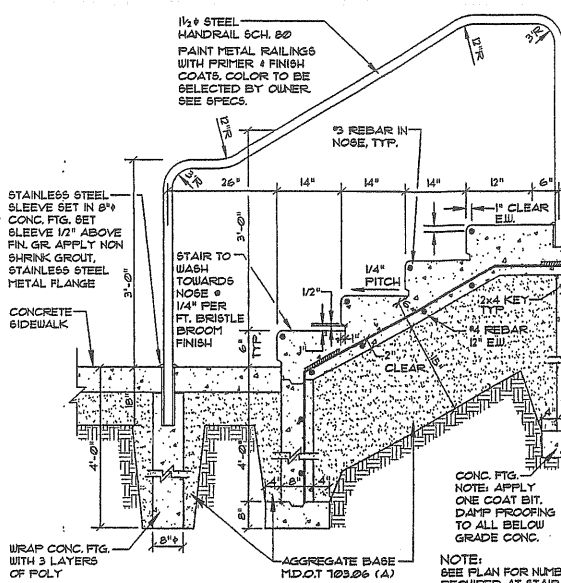
6 TYPICAL PAVEMENT JOINT
NOT TO SCALE



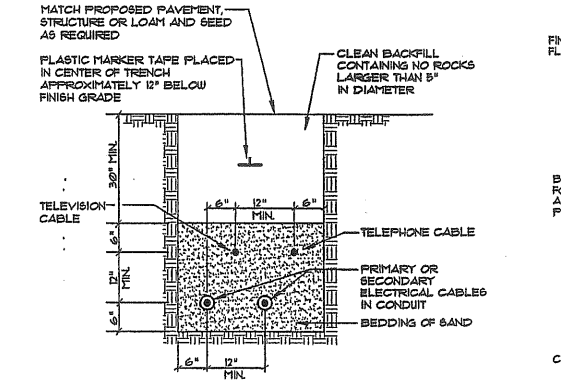
7 CATCH BASIN HAYBALE BARRIER
NOT TO SCALE



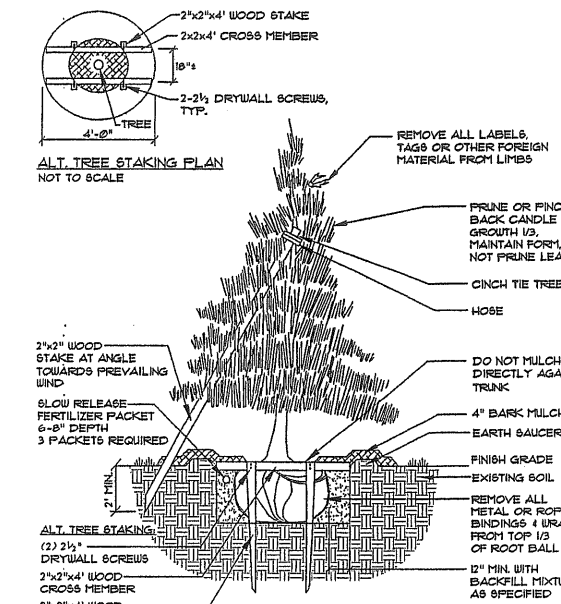
8 DECIDUOUS & EVERGREEN SHRUB
NOT TO SCALE



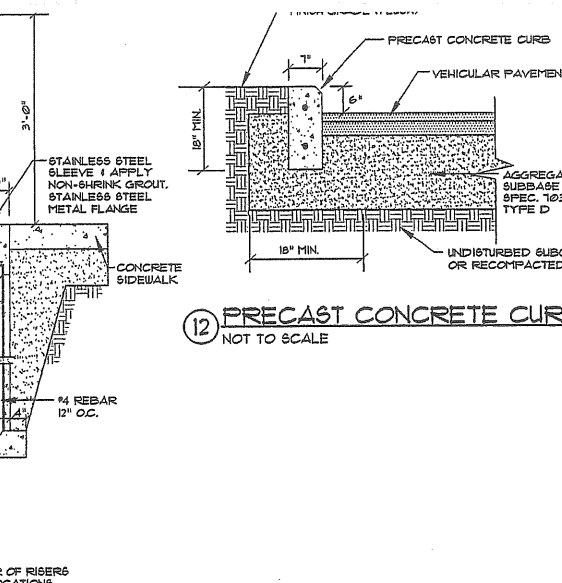
9 CONCRETE STAIR
NOT TO SCALE



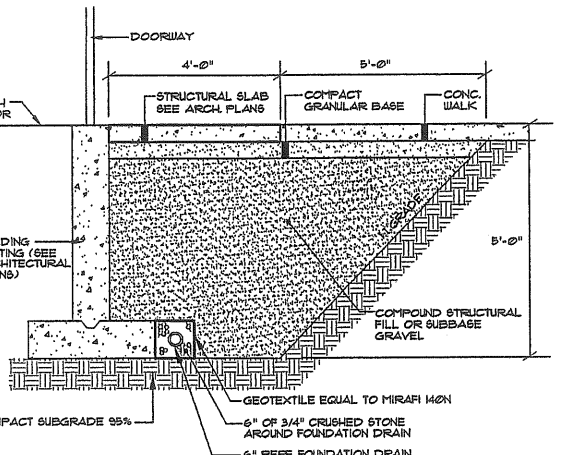
10 TYPICAL UNDERGROUND CABLE INSTALLATION
NOT TO SCALE



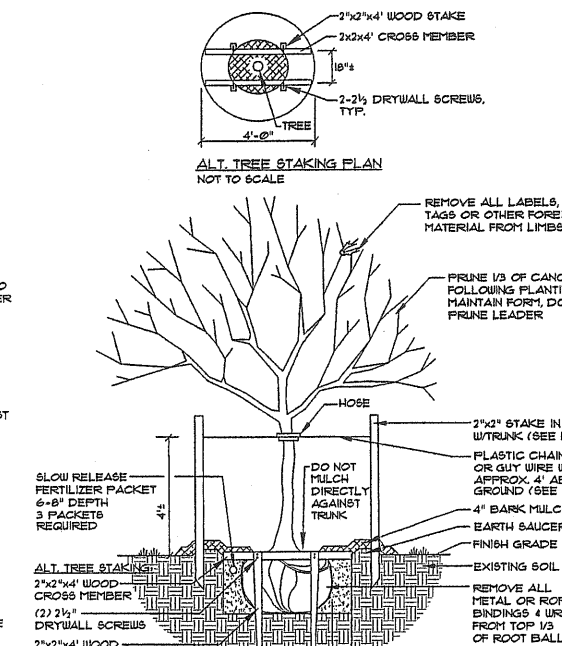
11 DECIDUOUS TREES
NOT TO SCALE



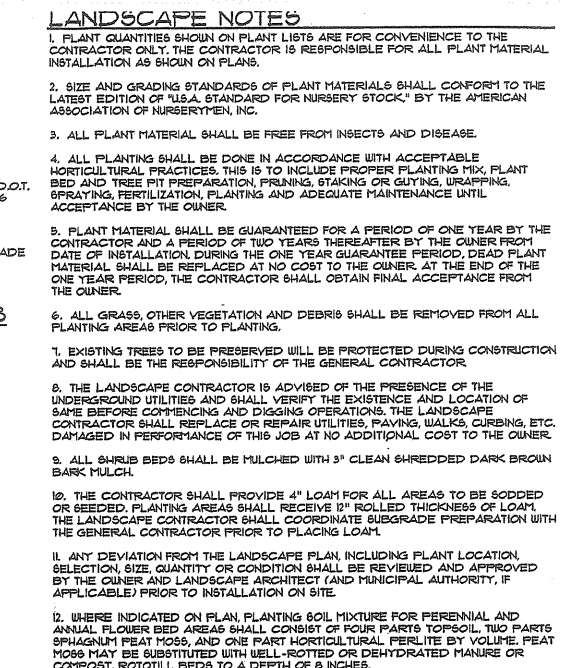
12 PRECAST CONCRETE CURB
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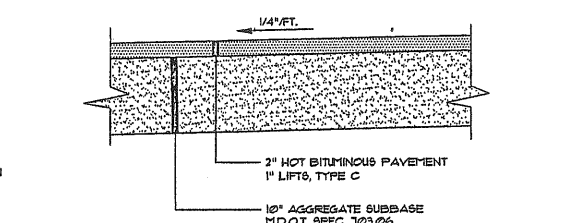
13 5' GRANULAR BASE @ DOOR THRESHOLD
NOT TO SCALE



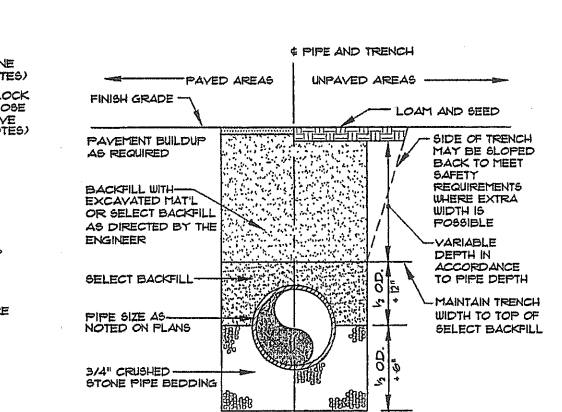
14 DECIDUOUS TREES
NOT TO SCALE



15 TYPICAL TIPDOWN CURB INSTALLATION
NOT TO SCALE



16 BITUMINOUS SIDEWALK
NOT TO SCALE



17 TYPICAL TRENCH SECTION
NOT TO SCALE

LANDSCAPE NOTES

1. PLANT QUANTITIES SHOWN ON PLANT LISTS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF U.S.A. STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE FIT PREPARATION, PRUNING, STAKING OR GUYING, UNWRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION DURING THE ONE YEAR GUARANTEE PERIOD. DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER AT THE END OF THE ONE YEAR PERIOD. THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES, PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODDED OR SEEDED. PLANTING AREAS SHALL RECEIVE 1" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

12C

ISSUED FOR FINAL SITE PLAN APPROVAL		DATE:	03-03-03	STATUS:	REVISED
BY:	SSD	DATE:	03-03-03	STATUS:	REVISED
REV:	SSD	DATE:	03-03-03	STATUS:	REVISED
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One Chestnut Street
Portland, Maine 04101-1339
Tel: (207) 856-0277

PROJECT NO.: 00207
FIELD BOOK: 00207
DESIGN: SSD
CHD: SSD
DRAWN: BRF

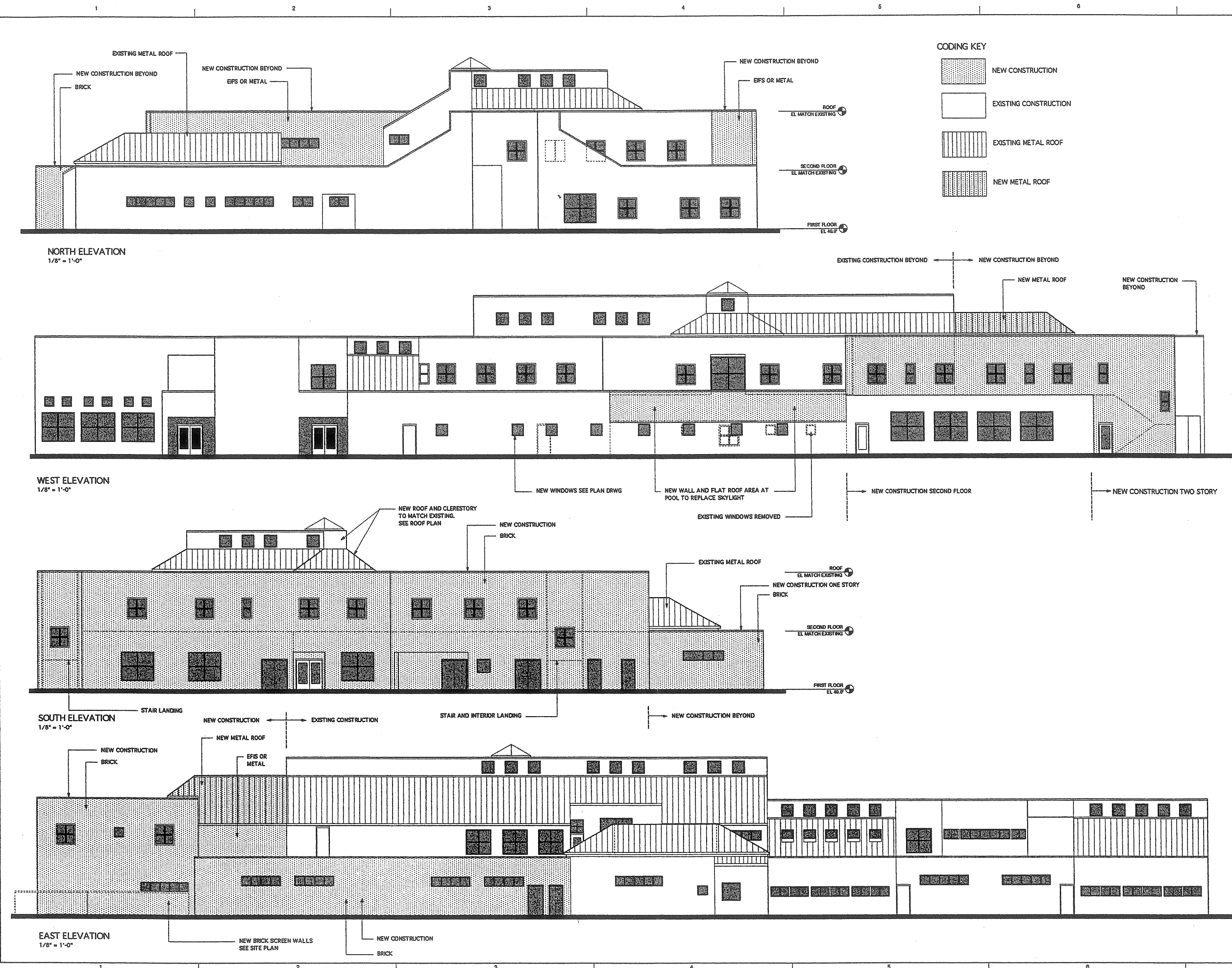
DETAILS OF: ORTHOPAEDIC ASSOCIATES OF PORTLAND P.A.
33 SEAWALL STREET
PORTLAND, MAINE 04101-1260

FOR: ORTHOPAEDIC ASSOCIATES OF PORTLAND P.A.
P.O. BOX 1260
PORTLAND, MAINE 04104-1260

DATE: 02-25-03
SCALE: AS NOTED

SHEET 4 OF 4

Att. 13

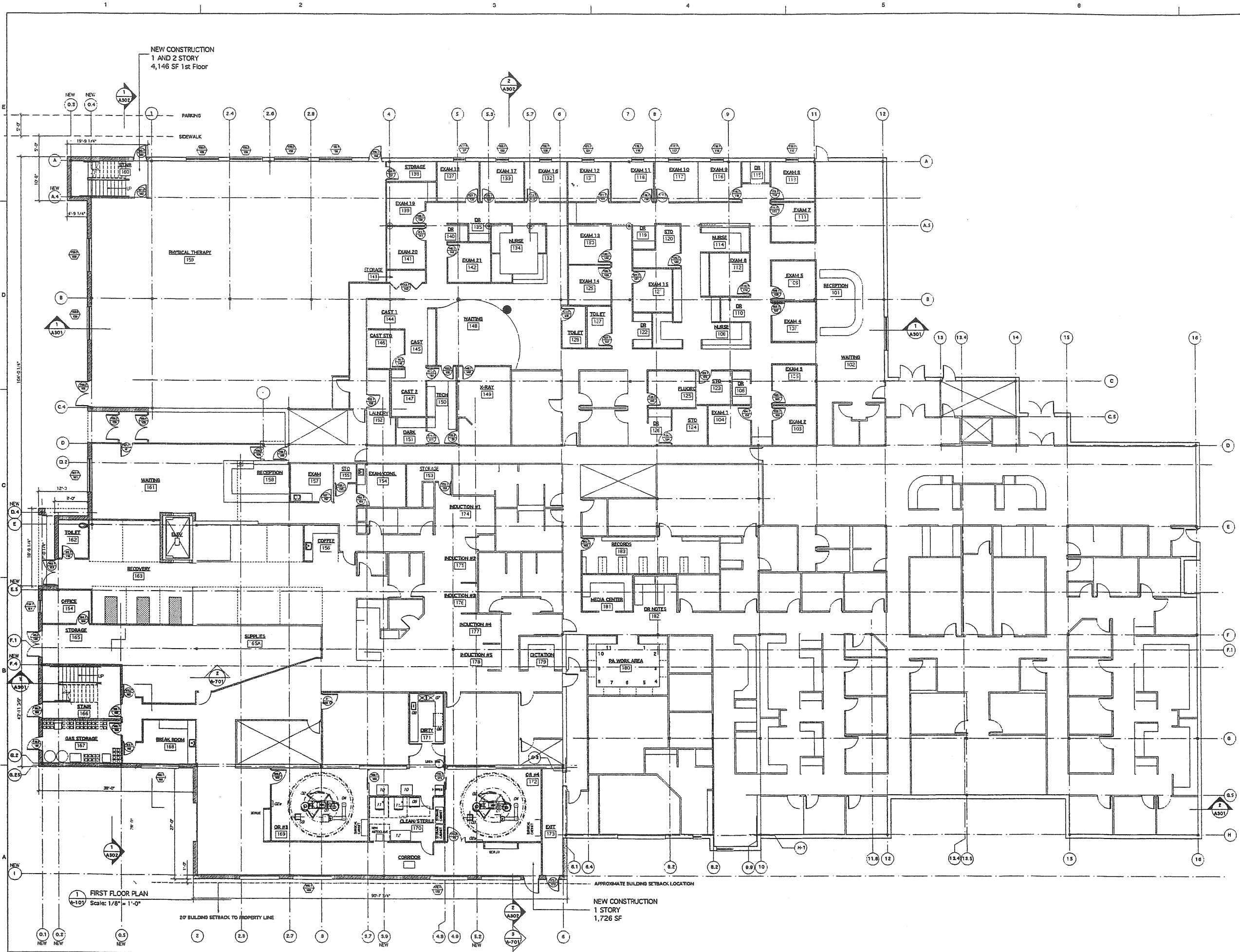


Design Firm
HETA architects
1000 Congress Street, Suite 200
Portland, Maine 04101
Tel: 207.774.4444
Fax: 207.774.4444

Consultant
ROBERT BOWE
No. 1241
STATE OF MAINE

Project Title
ORTHOPAEDIC ASSOCIATES, PA
BUILDING EXPANSION
33 SEWALL STREET
PORTLAND, MAINE

Revision
Project ID: 200318.00
CAUTION: NO ELEVATIONS
Drawn by: BOD
Checked by:
Scale: 1/8" = 1'-0"
Plot Date: 2003
Reviewed by:
Designed by:
Drawing Code:
Sheet Title: ELEVATIONS
Drawing No: A-201
of 1



Design Firm

HKTA / architects, Inc.
4000 Main Street
Portland, Maine 04101
Phone: 207.775.1818
Fax: 207.775.1819
www.hkta.com

Consultant

ORTHOPAEDIC ASSOCIATES, P.A.
BUILDING EXPANSION
33 SEWALL STREET
PORTLAND, MAINE

Project Title

ORTHOPAEDIC ASSOCIATES, P.A.
BUILDING EXPANSION
33 SEWALL STREET
PORTLAND, MAINE

Revision

Project No. 20000180A
CAUTION: 20000180A
Drawn By: E.F.
Checked By: Checked By
Scale: 2000A
Plot Date: 2000A
Reviewed By: Checked By
Designed By: E.F.
Submitted By: Submitted By
Utility Code: Floor Plan-1
Sheet Title: Floor Plan-1

Drawing No.

A-101

of 30

13A

