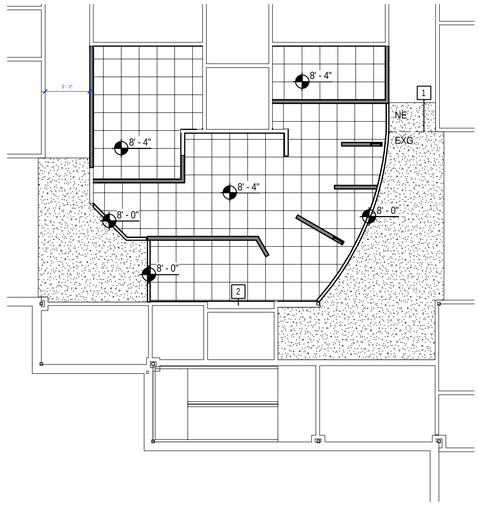
Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
12/13/2018

CEILING NOTES:

1. SEE GI001 FOR GENERAL PROJECT NOTES.
2. SEE FINISH SCHEDULE FOR CEILING AND CEILING GRID TYPES.
3. EXCEPT WHERE INDICATED, CENTER CEILING GRIDS IN ROOMS. USE HALF TILES OF GREATER @ PERIMETERS WHEN POSSIBLE.
4. ALIGN CEILING ITEMS AS SHOWN, WITH COMMON CENTERLINES TYPICALLY. CENTER ITEMS IN CEILING, OR IN AREAS UNLESS INDICATED OTHERWISE.
5. WHERE TEGULAR OR BEVELED TILE IS USED, PAINT ALL CUT EDGES TO MATCH.
6. CAULK JOINT BETWEEN CEILING GRID (WALL ANGLE) AND WALL WHERE GAPS ARE LARGER THAN 1/8" OR GREATER.
7. PROVIDE ACCESS PANELS AS REQUIRED IN GWB CEILINGS FOR ACCESS AS REQUIRED BY ALL TRADES.
8. FIRE SPRINKLERS SHALL BE CENTERED IN CEILING TILE OR HALF TILE AS SHOWN. FIRE SPRINKLERS SHALL BE LOCATED IN ALIGNMENT WITH OTHER CEILING ITEMS AND SHALL BE PLACED IN COORDINATION WITH LIGHT FIXTURE POSITIONS INDICATED, TYPICAL.
9. WHERE ARCHITECTURAL DRAWINGS DEPICT MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT (LIGHTS, DIFFUSERS, ETC.) INSTALLATION OF SUCH ITEMS SHALL BE COORDINATED WITH EACH RESPECTIVE TRADE SUB-CONTRACTOR.
10. WHERE DRAWINGS DO NOT ACCESS INSTALLATION METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH THE MANUFACTURER'S SPECIFICATIONS, AND STANDARD INDUSTRY STANDARDS.

CEILING KEYED NOTES:

1. EXTENTS OF NEW GWB CEILING. MATCH HEIGHT OF EXISTING GWB.
2. EXISTING LIGHT COVE - REPLACE W/ LED.



LEVEL 1 - CEILING PLAN G9
1/8" = 1'-0"

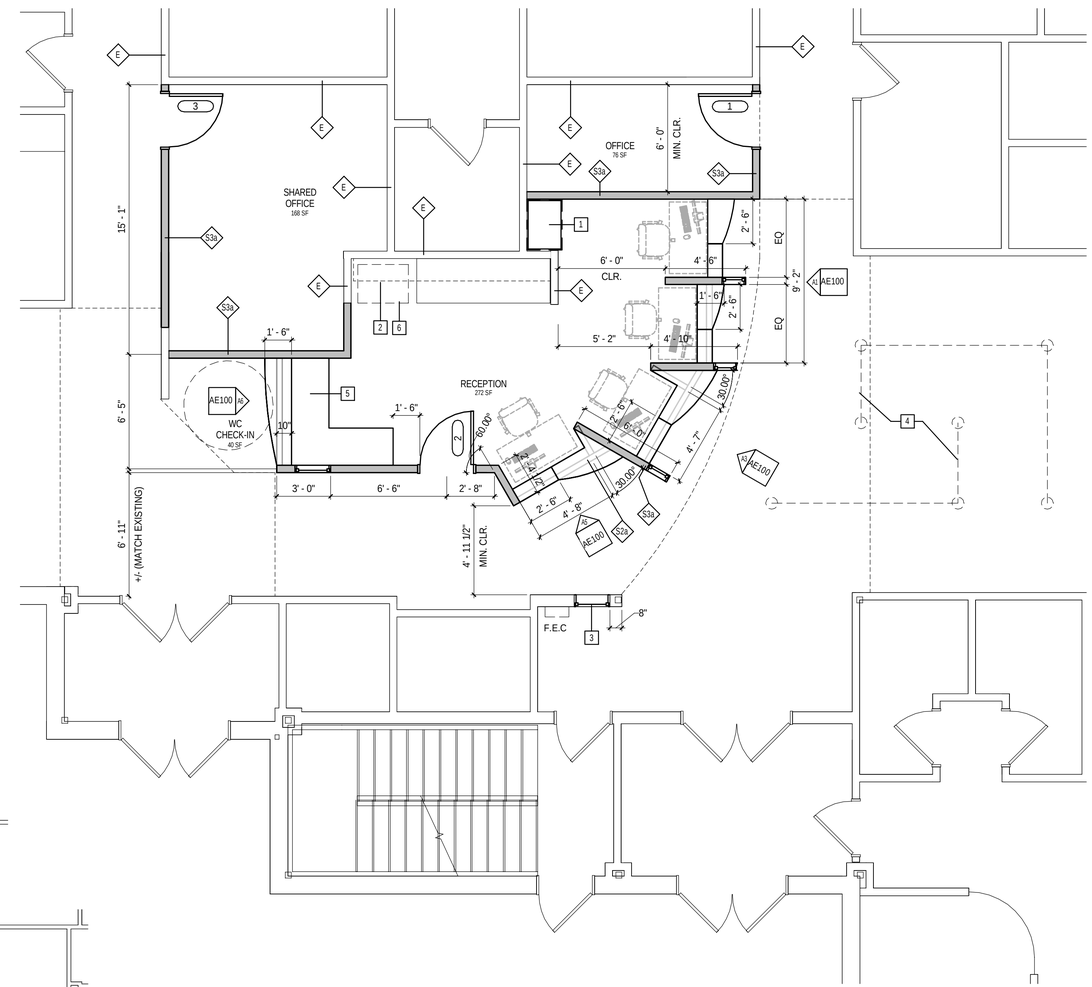
PLAN NOTES:

1. SEE G-001 FOR GENERAL PROJECT NOTES, LEGENDS AND ABBREVIATIONS.
2. SEE G-002 FOR GENERAL MOUNTING HEIGHTS, TOP OF WALL DETAILS AND PARTITION TYPES.
3. CONTRACTOR IS RESPONSIBLE FOR REVIEWING CODE COMPLIANCE PLANS AND NOTIFYING THE ARCHITECT OF CONFLICTS BETWEEN WHAT IS IN THE FIELD AND ON THE CODE DOCUMENTS.
4. DIMENSIONS ARE FACE OF CONCRETE, FACE OF MASONRY AND CENTERLINE OF STUD, UNLESS NOTED OTHERWISE.
5. DOOR JAMBS (HINGE SIDE) SHALL BE 6" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS UNLESS NOTED OTHERWISE.
6. REFER TO DETAILS FOR ADDITIONAL DIMENSIONING INFORMATION.
7. REFER TO ENLARGED PLANS FOR PARTITION TYPES AND DIMENSIONS IN AREAS WHICH ARE DETAILED AT A LARGER SCALE.
8. FURNITURE AND OWNER PROVIDED EQUIPMENT ARE INDICATED BY DASHED LINE TYPE.
9. CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF OWNER PROVIDED EQUIPMENT INCLUDING BUT NOT LIMITED TO DIMENSIONAL INFORMATION, AND MECHANICAL, ELECTRICAL AND PLUMBING REQUIREMENTS.

PLAN KEYED NOTES:

1. NEW COAT CLOSET CABINET.
2. REMOVE LOW SECTION, OTHER EXIST. CABINETS TO REMAIN.
3. ADD WINDOW; REUSE EXISTING ALUM. FRAME. FIELD VERIFY DIMENSIONS FROM SALVAGED STOREFRONT FRAMING.
4. PORTABLE QUEUE BY OWNER.
5. 2'-0"D PLAM COUNTER, 2'-6" AFF ON MTL. BRACKETS, NO BACKSPLASH, PROVIDE COLOR-MATCHED CAULKING BETWEEN TRANSACTION COUNTER AND WORK COUNTER.
6. OWNER-PROVIDED PRINTER.

ALTERNATES:
#1 & #2: PRICE SEPARATELY TO REPLACE FLOORING IN THESE AREAS.
#3: PROVIDE PRICING & SCHEDULE IMPLICATIONS TO FABRICATE LOW WALLS AND DIVIDER WALLS AT CHECK-IN DESK AS MILLWORK IN LIEU OF GWB PARTITIONS.

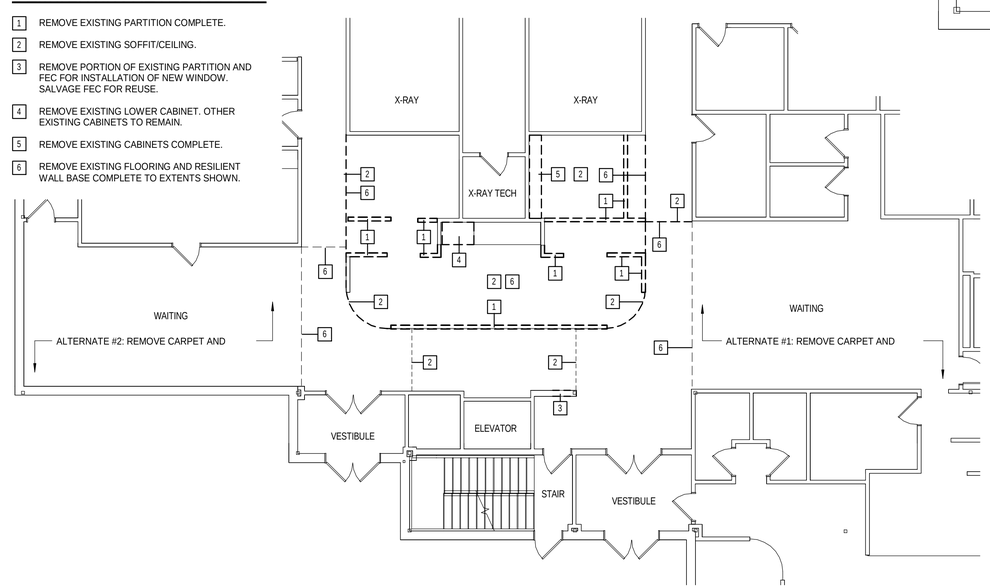


FLOOR PLAN LAYOUT C1
1/4" = 1'-0"

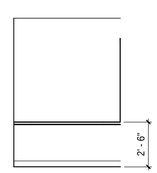
PROTECT EXISTING ELEMENTS/FINISHED TO REMAIN. ANY DAMAGE TO ETR WALLS, CASEWORK, CEILING, FINISHES, AND OTHER ARCHITECTURAL ELEMENTS DURING DEMOLITION AND CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR AT NO ADDITIONAL COST.

DEMOLITION KEYED NOTES:

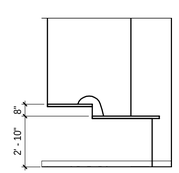
1. REMOVE EXISTING PARTITION COMPLETE.
2. REMOVE EXISTING SOFFIT/CEILING.
3. REMOVE PORTION OF EXISTING PARTITION AND FEC FOR INSTALLATION OF NEW WINDOW. SALVAGE FEC FOR REUSE.
4. REMOVE EXISTING LOWER CABINET. OTHER EXISTING CABINETS TO REMAIN.
5. REMOVE EXISTING CABINETS COMPLETE.
6. REMOVE EXISTING FLOORING AND RESILIENT WALL BASE COMPLETE TO EXTENTS SHOWN.



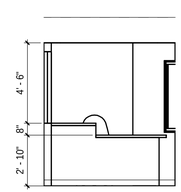
LEVEL 1 - DEMOLITION PLAN A8
1/8" = 1'-0"



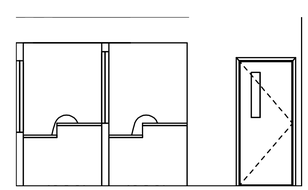
W/C CHECK-IN A6
1/4" = 1'-0"



C/I STATION 1 A5
1/4" = 1'-0"



C/I STATION 2 A3
1/4" = 1'-0"



C/I STATIONS 3 & 4 A1
1/4" = 1'-0"

REV	DESCRIPTION	DATE

ISSUED FOR PERMIT
10-12-18

CURRENT ISSUE STATUS:

TRUE NORTH

PROJECT NORTH:

SMRT Architects and Engineers
144 Fore Street/P.O. Box 618
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ORTHOASSOCIATES PT
OA PORTLAND RECEPTION

PORTLAND, ME

DEMOLITION PLAN, FLOOR PLAN, REFLECTED CEILING PLAN, AND ELEVATIONS

SHEET TITLE:

0" 1/4" 1/2" 1" 2" 3"

SCALE: AS NOTED

PROJECT MANAGER:	RAC	PROJECT NO:	18164
A/E OF RECORD:	RAC		
JOB CAPTAIN:			
DRAWN BY:	JCH		
SMRT FILE:	AE100-18164	SHEET No.	AE100

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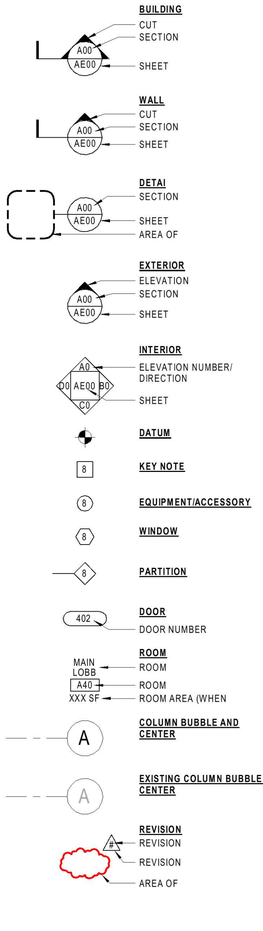
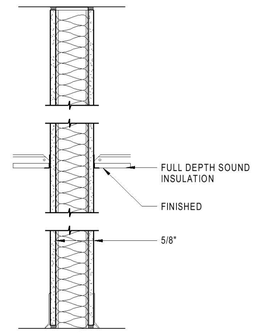
ABBREVIATIONS:

AB	ANCHOR BOLT
A/C	AIR CONDITIONING
ACCU	AIR CONDITIONING CONDENSER UNIT
ACPLAS	ACCOUSTICAL PLASTER
ACT	ACOUSTIC CEILING TILE
AFF	ABOVE FINISH FLOOR
AGG	AGGREGATE
ALT	ALTERNATE
AP	ACCESS PANEL
APROX	APPROXIMATE
ARCH	ARCHITECTURAL
BCX	BOTTOM CORD EXTENSION
BD	BOARD
BIT	BITUMINOUS
BLDG	BUILDING
BLP	BORROWED LIGHT PANEL
BO	BOTTOM OF
BOF	BOTTOM OF FOOTING
BOS	BOTTOM OF STEEL
BOT	BOTTOM
BRDG	BRIDGING
BRG	BEARING
BS	BOTH SIDES
BSE	BRICK SHELF ELEVATION
C	CHANNEL
CB	CATCH BASIN / CHALKBOARD
CEM BD	CEMENTITIOUS BACKER BOARD
CFM	CUBIC FEET PER MINUTE
CIP	CAST IN PLACE
CJ	CONTROL JOINT / CONSTRUCTION JOINT
CL	CENTER LINE
CLL	CONTRACT LIMIT LINE
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CT	CERAMIC TILE
CUH	CABINET UNIT HEATER
D	DIAMETER
DBL	DOUBLE
DF	DRINKING FOUNTAIN
DL	DEAD LOAD
DR	DISPLAY RAIL
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
EA	EACH
EF	EXHAUST FAN / EACH FACE
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
EOP	EDGE OF PAVEMENT
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EQ	EQUAL
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FB	FLAT BAR
FBO	FURNISHED BY OTHERS
FCO	FLOOR CLEA-OUT
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISH FLOOR / FAR FACE
FFE	FINISH FLOOR ELEVATION
FO	FRAMED OPENING
FRP	FIBER REINFORCED PLASTIC
FS	FAR SIDE
FTG	FOOTING
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GDT	GYPSUM DROP-IN TILE
GV	GRAVITY VENT
GWB	GYPSUM WALL BOARD
H	HORIZONTAL
HC	HANDICAPPED / HOLLOW CORE
HORIZ	HORIZONTAL
HM	HOLLOW METAL
HRU	HEAT RECOVERY UNIT
H&V	HEATING AND VENTILATING
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
I	INCLUDED ANGLE
ID	INSIDE DIAMETER
IF	INSIDE FACE
IJ	ISOLATION JOINT
IMP	IMPACT RESISTANT
INS	INSULATED
INV	INVERT
JS	JOINT SUBSTITUTE
K	KIPS
L	ANGLE / LENGTH
LF	LEFT
LINO	SHEET LINOLEUM
LL	LIVE LOAD
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LIGHTING PANEL / LIQUIFIED PROPANE
MAX	MAXIMUM
MB	MARKER BOARD
MDO	MEDIUM DENSITY OVERLAY
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MR	MOISTURE-RESISTANT
MUA	MAKE-UP AIR
N	NOSING
NCB	NEW CATCH BASIN
NDMH	NEW DRAIN MANHOLE
NFM	NEW FORCE MAIN
NIC	NOT IN CONTRACT
NS	NEAR SIDE
NSD	NEW STORM DRAIN LINE
NSS	NEW SANITARY SEWER LINE
NTS	NOT TO SCALE
NW	NEW WATER LINE
OC	ON CENTER
OF	OUTSIDE FACE
OH	OVERHEAD
PA	PUBLIC ADDRESS
PAF	POWER-ACTUATED FASTENER
PDU	POOL DEHUMIDIFICATION UNIT
PL	PLATE / PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLF	POUNDS PER LINEAR FOOT
PP	POWER PANEL
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE-TREATED
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
R	RISER / RADIUS
RB	RESILIENT BASE
RD	ROOF DRAIN
REINF	REINFORCED
REQ'D	REQUIRED
RT	RIGHT
RO	ROUGH OPENING
ROW	RIGHT OF WAY
RR	RUB-RAIL
RTU	ROOF TOP UNIT (HVAC)
SACT	SUSPENDED ACOUSTIC TILE CEILING
SC	SOLID CORE
SF	SQUARE FOOT / SUPPLY FAN
SFRM	SPRAYED FIRE-RESISTIVE MATERIAL
SHT	SHEET
SIM	SIMILAR
SK	SHEAR KEY
SN	SANITARY NAPKIN (DISPENSER)
SP	SPECIAL
SS	STAINLESS STEEL
STA	STATION
STL	STEEL
STRUC	STRUCTURAL
T	TREAD
TB	TACKBOARD
T&B	TOP AND BOTTOM
TBM	TEMPORARY BENCHMARK
TCE	TOP CHORD EXTENSION
TJ	TIE JOIST
TO	TOP OF
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOM	TOP OF MASONRY
TOP	TOP OF PIER
TOS	TOP OF STEEL
TOW	TOP OF WALL
TP	TOILET PAPER (DISPENSER) / TEST PIT
TS	TUBE STEEL
TYP	TYPICAL
UH	UNIT HEATER
UNO	UNLESS NOTED OTHERWISE
V	VENT PIPE / VERTICAL
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VP	VISION PANEL
VTR	VENT THROUGH THE ROOF
W/	WITH
WC	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WH	WATER HEATER
W/O	WITH OUT
WP	WORKING POINT
WS	WEB STIFFENER
WWF	WELDED WIRE FABRIC

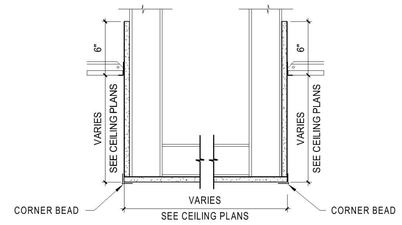
SYMBOL



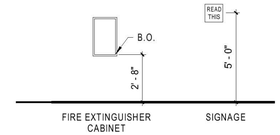


TYPE S3a NON-RATED
(STC 45) ONE LAYER 5/8"GWB EACH SIDE OF 3 5/8" METAL STUDS.

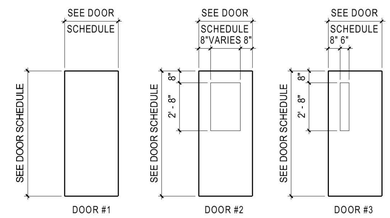
TYPICAL PARTITION TYPE G7
1 1/2" = 1'-0"



SOFFIT DETAIL 1
1 1/2" = 1'-0"



TYP. MOUNTING HEIGHTS J5
1/4" = 1'-0"



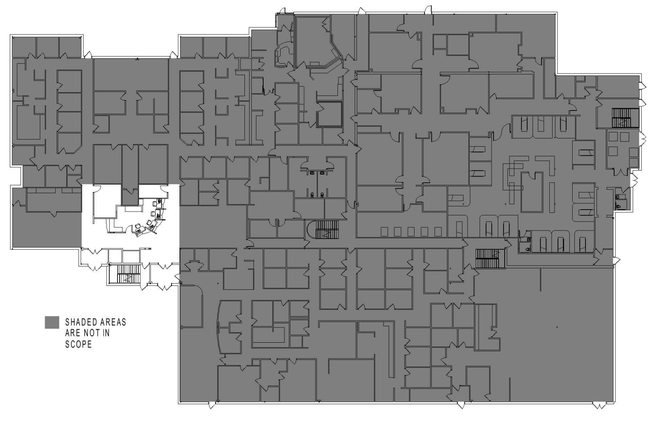
ALL DOORS TO BE WOOD. FRAMES TO BE HOLLOW

DOOR LEAF TYPES G4
1/4" = 1'-0"

GENERAL NOTES:

1. FIELD VERIFY ALL DIMENSIONS AND LAYOUT PRIOR TO PROCEEDING WITH WORK. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES OR INCONSISTENCIES. FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS (UNLESS NOTED OTHERWISE), AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY, AND LOCAL BUILDING CODES AND THIER REQUIREMENTS.
3. CONTRACTOR AND ALL TRADES SHALL NOTE REQUIREMENTS OF "GENERAL NOTES" ON ALL SHEETS.
4. EACH TRADE TO PROVIDE SMOKE OR FIRE SEALANT AT PENETRATIONS AS REQUIRED FOR WALL TYPE (UNLESS NOTED OTHERWISE). ALL SEALANT, FIRE STOPPING AND SMOKE STOPPING ASSEMBLIES SHALL BE U.L. RATED.
5. REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER AREA AND/OR DISCIPLINE AND COORDINATE.
6. PROVIDE BLOCKING IN WALLS AS NECESSARY WHERE CASEWORK, FURNITURE, SHELVES, HANDRAILS, AND/OR OTHER MISC. EQUIPMENT IS LOCATED.
7. REFER TO G-002 SHEETS FOR GENERAL MOUNTING HEIGHTS.
8. DO NOT SCALE CONSTRUCTION DOCUMENTS.
9. PROVIDE MEANS "FURNISH AND INSTALL".

LOCATION MAP:



CODE COMPLIANCE PLAN A6
1/32" = 1'-0"

DRAWING LIST:

GENERAL

GI001 COVER SHEET, GENERAL INFO, AND CODE COMPLIANCE

ARCHITECTURAL

AE100 DEMOLITION PLAN, FLOOR PLAN, REFLECTED CEILING PLAN, AND ELEVATIONS

INTERIORS

ID100 FLOOR AND WALL FINISH PLAN
MECHANICAL, ELECTRICAL & PLUMBING BY OTHERS

CODE COMPLIANCE SUMMARY:

USE & OCCUPANCY:
BUILDING: BUSINESS & HEALTHCARE, MIXED USE, SEPARATED.
AREA OF WORK: BUSINESS (EXISTING)

TYPE OF CONSTRUCTION: TYPE IIB, UNPROTECTED

SEE PLAN, ADJACENT: SHADED AREAS ARE NOT IN SCOPE.

THIS RENOVATION / REPAIR AT THE RECEPTION AREA DOES NOT CHANGE ANY OF THE EXISTING CORRIDORS, ENTRIES OR MEANS OF EGRESS BEYOND THE DOORS TO INDIVIDUAL OFFICE SPACES. ANY WORK EXTENDING INTO SHADED AREAS SHALL BE LIMITED TO FINISHES REPAIR AND REPLACEMENT.

LIFE SAFETY PLANS, IF REQUIRED TO BE FIELD VERIFIED AND SUBMITTED BY THE DESIGN-BUILD SUB-CONTRACTOR.

APPLICABLE CODES & REGULATIONS:
MUBEC/IBC 2015
PORTLAND FIRE CODE CH. 10/NFPA 1, NFPA 101 2009
ADA 2010

OA Centers for Orthopaedics
Spectrum Healthcare Partners

ALTERNATES:
#1 & #2: PRICE SEPARATELY TO REPLACE FLOORING IN THESE AREAS.
#3: PROVIDE PRICING & SCHEDULE IMPLICATIONS TO FABRICATE LOW WALLS AND DIVIDER WALLS AT CHECK-IN DESK AS MILLWORK IN LIEU OF GWB PARTITIONS.

REV	DESCRIPTION	DATE

ISSUED FOR PERMIT
10-12-18
CURRENT ISSUE STATUS:

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144 Fore Street/P.O. Box 618
Portland, Maine 04104
ARCHITECTURE | ENGINEERING | PLANNING | INTERIORS | ENERGY

ORTHOASSOCIATES PT
OA PORTLAND RECEPTION

PORTLAND, ME

COVER SHEET, LEGEND AND ABBREVIATIONS

SHEET TITLE:

0" 1/4" 1/2" 1" 2" 3"
SCALE: AS NOTED

PROJECT MANAGER:	RAC	PROJECT NO:	18164
A/E OF RECORD:	RAC		
JOB CAPTAIN:		GI001	
DRAWN BY:	JCH		
SMRT FILE:	GI001-18164	SHEET No.	

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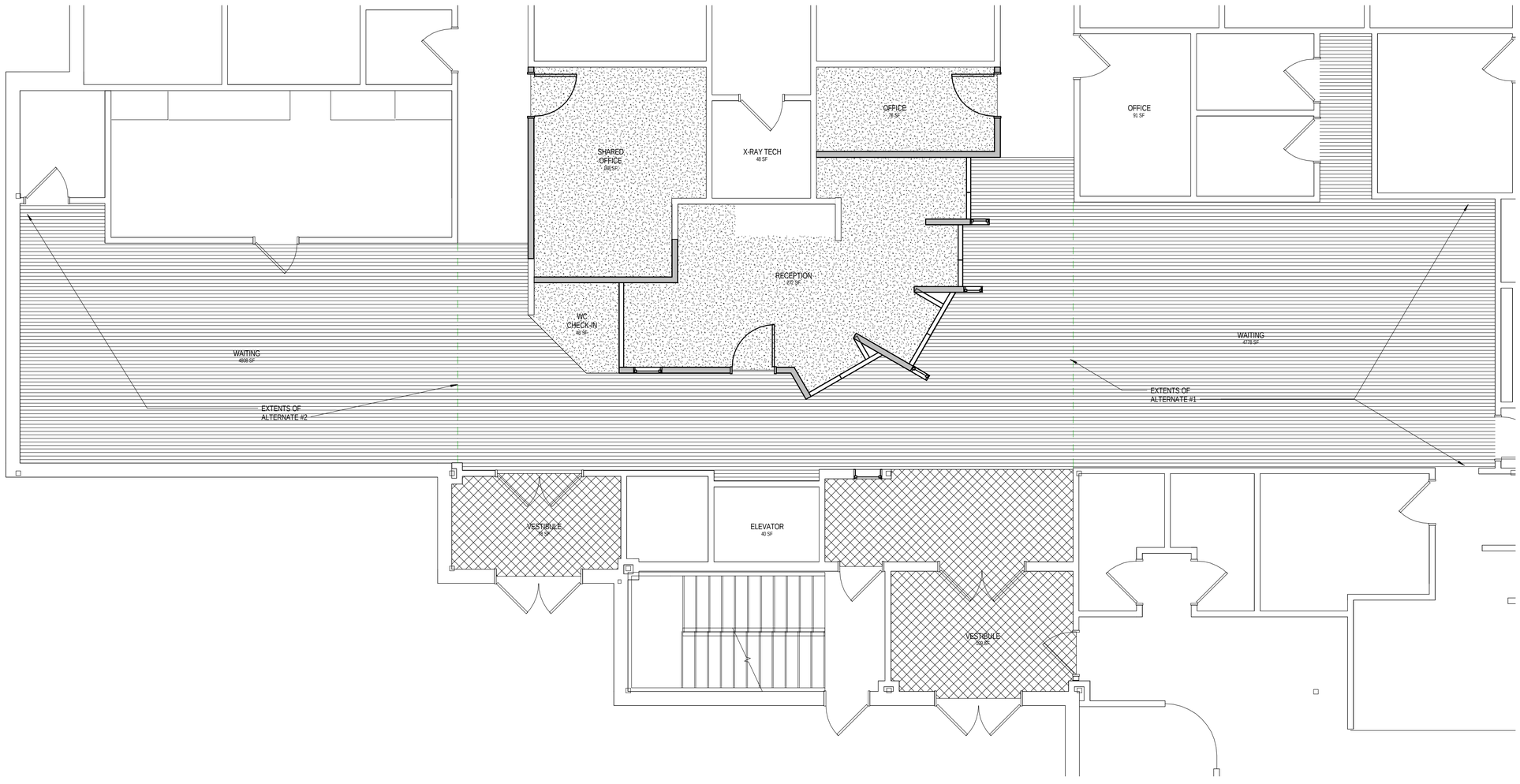

FLOOR AND WALL FINISH PLAN (A1)
1/4" = 1'-0"

FLOOR FINISH NOTES:

1. REFER TO THIS SHEET FOR LAYOUT OF FLOOR FINISH MATERIALS, REFER TO FINISH LEGEND ON (*Insert Sheet Number*) FOR ACTUAL MATERIALS USED.
2. REFER TO WALL FINISH PLAN(S) (*Insert Sheet Number*) FOR INFORMATION REGARDING LOCATIONS OF PAINTED ACCENT WALLS AND OTHER WALL APPLIED FINISHES.
3. REFER TO SPECIFICATIONS FOR INFORMATION REGARDING RESILIENT TRANSITIONS, THRESHOLDS, METAL EDGE STRIPS AND OTHER FLOORING ACCESSORIES.
4. FLOORING TO RUN BENEATH CASEWORK, UNLESS NOTED OTHERWISE.
5. *Insert porcelain tile installation method(s) if applicable (ashlar, etc. and percent stagger).*
6. *Insert carpet installation method(s) if applicable (ashlar, brick, quarter-turned, monolithic, random).*
7. *Insert special instructions for sheet flooring seam locations, if applicable.*

ALTERNATES:
#1 & #2: PRICE SEPARATELY TO REPLACE FLOORING IN THESE AREAS.
#3: PROVIDE PRICING & SCHEDULE IMPLICATIONS TO FABRICATE LOW WALLS AND DIVIDER WALLS AT CHECK-IN DESK AS MILLWORK IN LIEU OF GWB PARTITIONS.

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OA PORTLAND RECEPTION

PORTLAND, ME

FLOOR AND WALL FINISH PLAN
SHEET TITLE:

0" 1/4" 1/2" 1" 2" 3"
SCALE: AS NOTED

PROJECT MANAGER:	RAC	PROJECT NO:	18164
A/E OF RECORD:	RAC		
JOB CAPTAIN:		ID100	
DRAWN BY:	Author		
SMRT FILE:	ID100-18164	SHEET No.	

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