

Signature of Applicant: [Signature]
 Type Name of Applicant: [Name]
 Address: [Address]
 City: [City]
 State: [State]
 Zip: [Zip]

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?
 Will work require disturbing of any tree on a public street?
 Will automobile repairing be done other than minor repairs to cars actually stored in the proposed building?
 No cars not accommodated on same lot, to be accommodated, number of cars to be accommodated.

IF A GARAGE

Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor, and that roof on over 8 ft. Joists and rafters: 1st floor, 2nd floor, 3rd floor, roof.
 On centers: 1st floor, 2nd floor, 3rd floor, roof.
 Maximum span: 1st floor, 2nd floor, 3rd floor, roof.
 If one story building with masonry walls, thickness of walls?
 Height average grade to top of 1st floor?
 Height average grade to top of 1st floor?
 Has septic tank been seen?
 Is connection to be made to public sewer?
 Is any plumbing involved in this work?
 Is any electrical work involved in this work?

DETAILS OF NEW WORK

Is connection to be made to public sewer? **Yes**
 If not, what is proposed for sewer?
 Has septic tank been seen?
 Form notice sent?
 Height average grade to top of 1st floor?
 Height average grade to top of 1st floor?
 No stories, depth of earth or rock?
 Material of foundation?
 Kind of roof?
 Rise per foot?
 Material of chimneys?
 Kind of chimney?
 Material of chimneys?
 Kind of chimney?
 Framing Lumber—Kind?
 Dressed or full size?
 Corner posts?
 Sill?
 Size Under Columns under girders?
 Size, Max. on centers?
 Studs (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor, and that roof on over 8 ft. Joists and rafters: 1st floor, 2nd floor, 3rd floor, roof.
 On centers: 1st floor, 2nd floor, 3rd floor, roof.
 Maximum span: 1st floor, 2nd floor, 3rd floor, roof.
 If one story building with masonry walls, thickness of walls?
 Height average grade to top of 1st floor?
 Height average grade to top of 1st floor?
 Has septic tank been seen?
 Is connection to be made to public sewer?
 Is any plumbing involved in this work?
 Is any electrical work involved in this work?

TO THE CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
 The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:
LOCATION
 53 Small Street
 Fire District #1 □ #2 □
 1. Owner's name and address: E. E. Stevens & Sons, 150 Park Ave, Telephone: 775-407
 2. Lessee's name and address: Arthur P. Stevens & Sons, 23 Oak St, Portland, Telephone: 775-3445
 3. Contractor's name and address: Stevens Associates, In. P. Box 9, Telephone: 775-3445
 Proposed use of building: medical building
 No. of families: 04330
 No. of sheets: 623-2528
 Estimated contractual cost: \$2,050,000
 Appeal Fee: \$
 Base Fee: \$350,000
 Land Fee: \$10,250,000
TOTAL

APPLICATION FOR PERMIT
 B.O.C.A. USE GROUP
 B.O.C.A. TYPE OF CONSTRUCTION: 001719
 PORTLAND, MAINE
 MAY 20, 1966
 CITY OF PORTLAND
 DEC 4 1966
 PERMIT ISSUED

CITY OF PORTLAND, MAINE
SITE PLAN REVIEW
Processing Form

Applicant: 123 Main Avenue - 773-4567
 Mailing Address: 123 Main Avenue
 Proposed Use of Site: 10,350 sq ft
 Total Area: 10,350 sq ft

Address of Proposed Site: _____
 Site Identifier(s) from Assessor's Maps: _____
 (Date Received) _____
 Proposed Number of Floors: _____
 Total Floor Area: _____
 Acrage of Site: _____
 Ground Floor Coverage: _____
 Site Location Review (DEP) Required: () Yes (X) No
 Board of Appeals Action Required: () Yes (X) No
 Planning Board Action Required: () Yes (X) No
 Other Comments: _____
 Date Dept. Review Due: _____

PUBLIC WORKS DEPARTMENT REVIEW

REASONS SPECIFIED BELOW	CONDITIONS SPECIFIED BELOW
TRAFFIC CIRCULATION	<input checked="" type="checkbox"/>
ACCESS	<input checked="" type="checkbox"/>
CURB CUTS	<input checked="" type="checkbox"/>
ROAD WIDTH	<input checked="" type="checkbox"/>
PARKING	<input checked="" type="checkbox"/>
SIGNALIZATION	<input checked="" type="checkbox"/>
TURNING MOVEMENTS	<input checked="" type="checkbox"/>
LIGHTING	<input checked="" type="checkbox"/>
CONFLICT WITH CITY CONSTRUCTION	<input checked="" type="checkbox"/>
NEIGHBOR	<input checked="" type="checkbox"/>
SOIL TYPES	<input checked="" type="checkbox"/>
SEWERS	<input checked="" type="checkbox"/>
CLIPPING	<input checked="" type="checkbox"/>
SIDEWALKS	<input checked="" type="checkbox"/>
OTHER	<input checked="" type="checkbox"/>

APPROVED
 APPROVED CONDITIONALLY
 DISAPPROVED

(Attach Separate Sheet if Necessary)

SIGNATURE OF REVIEWING STAFF/DATE
Robert J. [Signature]
 PUBLIC WORKS DEPARTMENT COPY

901971

Permit # _____ City of Portland BUILDING PERMIT APPLICATION Fee \$45.00 Zone _____ Map # _____ Lot # _____
Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Central Maine Power Co. Phone # 623-3521-Joseph
Address: Edison Drive, Augusta, ME 04335 Firlotte
LOCATION OF CONSTRUCTION: Small Street Sub Station
Contractor: _____ Sub: _____
Address: _____ Phone # _____
Est. Construction Cost: 5,000.00 Proposed Use: Sub Station
Past Use: SAME
of Existing Res. Units _____ # of New Res. Units _____
Building Dimensions L _____ W _____ Total Sq. Ft. _____
Stories: _____ # Bedrooms _____ Lot Size: _____
Is Proposed Use: Seasonal _____ Condominium _____ Conversion _____
Explain Conversion: Replace 2 cement piers and remove 6 cement piers,

For Official Use Only PERMIT IS
Date: Sept. 17, 1990 Max. division: _____
Name: OCT 2
Inside Fire Limits _____ Lot: _____
Bldg Code _____ Ownership: CITY OF P
Time Limit _____
Estimated Cost: \$5,000.00

Zoning: _____
Street Frontage Provided: _____
Provided Setbacks: Front _____ Back _____ Side _____
Review Required:
Zoning Board Approval: Yes _____ No _____ Date: _____
Planning Board Approval: Yes _____ No _____ Date: _____
Conditional Use: _____ Variance _____ Site Plan _____ Sub _____
Shoreland Zoning: Yes _____ No _____ Floodplain: Yes _____ No _____
Special Exception _____
Other (Explain): OK W/D/A = 9-22-90

as per plans. (foundation) ? sets of plans.

Foundation:
1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

Floors:
1. Sill Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:
1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:
1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

Ceiling:
1. Ceiling Joists Size: _____ Spacing _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceilings: _____
4. Insulation Type _____ Size _____
5. Ceiling Height: _____

Roof:
1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____ Size _____
3. Roof Covering Type _____
Acton: _____ App: _____
Date: _____

Chimneys:
Type: _____ Number of Fire Places _____
Signature: _____

Heating:
Type of Heat: _____

Electrical:
Service Entrance Size: _____ Smoke Detector Required _____ Yes _____ No _____

Plumbing:
1. Approval of soil test if required _____ Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:
1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Permit Received By Joyce M. Rinaldi

Signature of Applicant: Joseph S. Filante OWNER Date: SE

Signature of CEO _____ Date _____

Inspection Dates _____

White-Tax Assessor _____ Yellow-GPCOG _____ White Tag - CEO 18 © Copyright GPCOG 1988 M.R. IRVING



PLOT PLAN

FEES (Breakdown From Front)

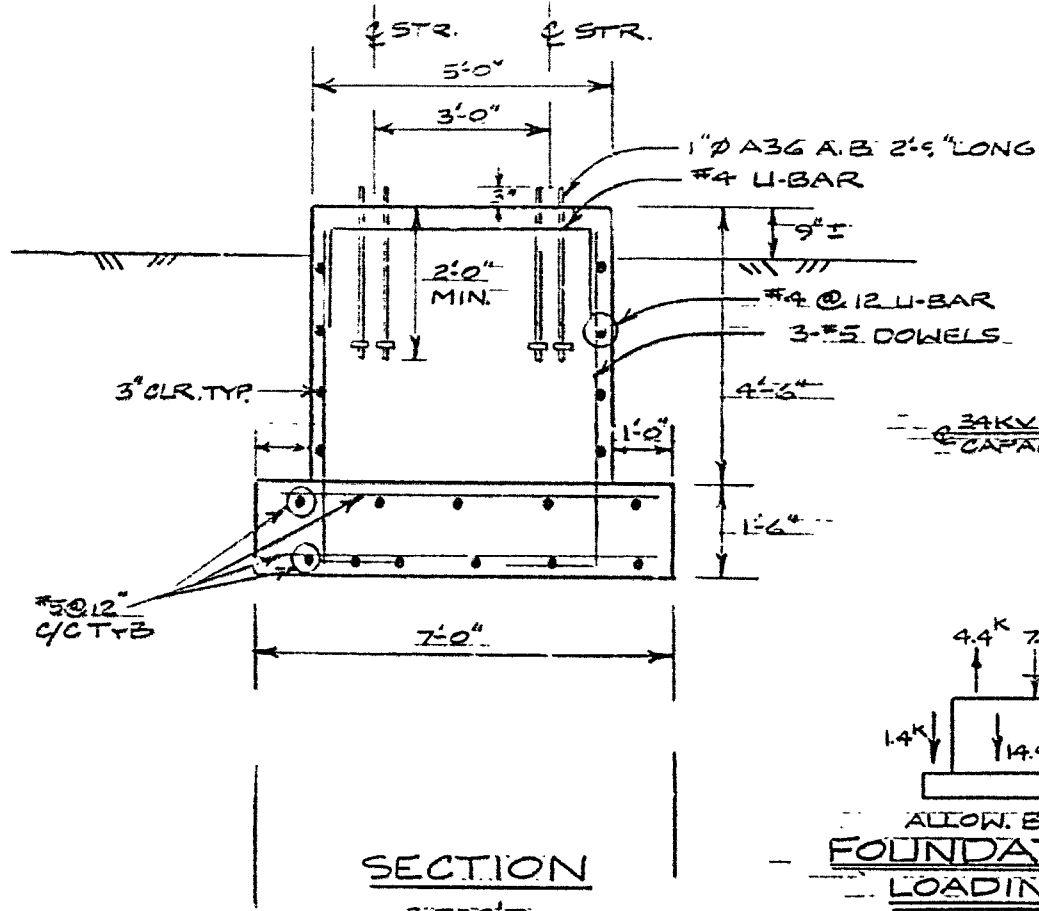
Base Fee \$ 45.00 _____
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Type	Inspection Record	Date
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____
_____	_____	____/____/____

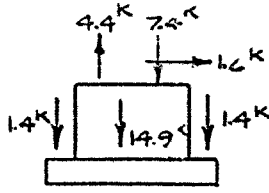
COMMENTS *4/19/91 - Completed as per plan*

Signature of Applicant *Joseph S. Fialla* AGENT FOR OWNER Date SEPT. 17, 1990

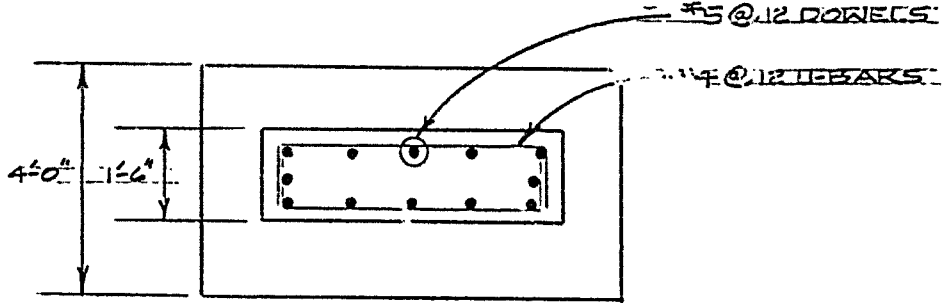
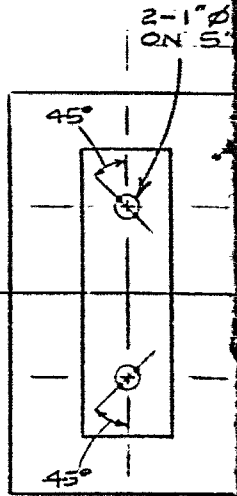
FIRST USED AT BOWMAN ST S/S QUAKER HILLS S/S
REF. 25-325-55.2



34KV BAY AND CAPACITOR BANK



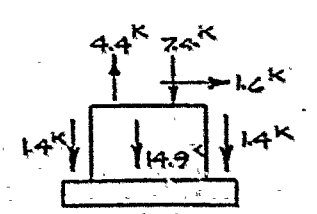
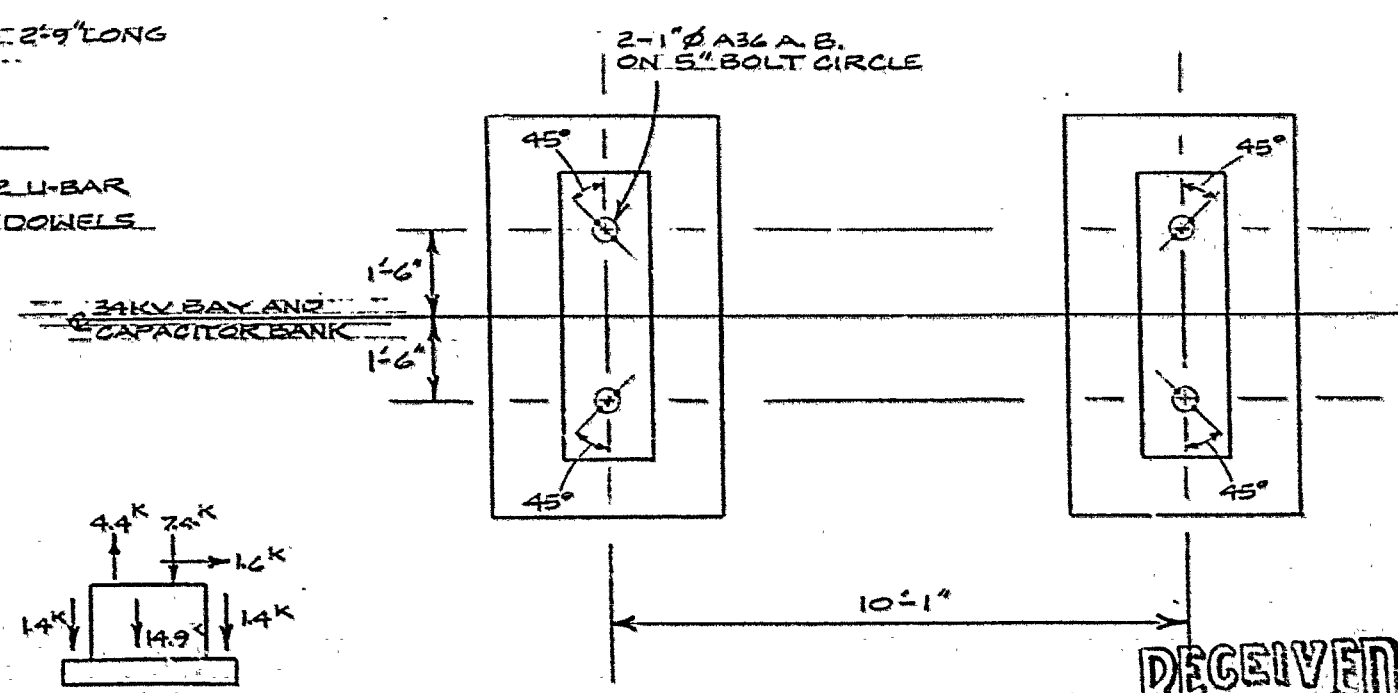
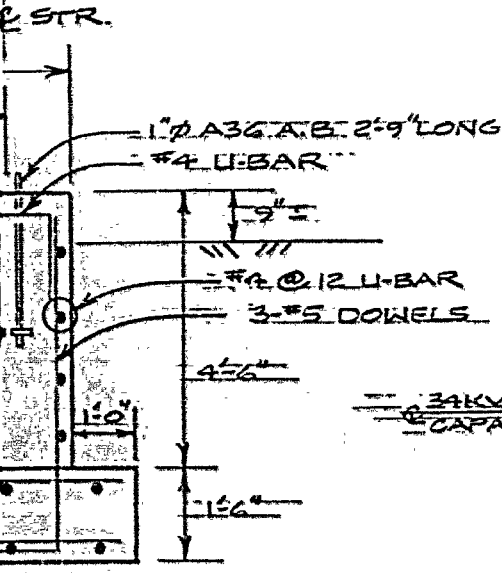
ALLOW. BRG. = 2.0 KSF
FOUNDATION DESIGN
LOADING (ES=2)



NOTES

1. COAT ANCHOR BOLTS WITH HEAVY GREASE
2. REINFORCING RODS SHALL BE EPOXY GRouted @ 28 DAYS, AND SHALL BE PROTECTED WITH AN ANCHOR BOLT
3. CONCRETE SHALL BE CURED FOR 28 DAYS, AND SHALL BE PROTECTED WITH AN ANCHOR BOLT
4. FOUNDATIONS SHALL BE CONSTRUCTED TO THE FOLLOWING DIMENSIONS
5. ALL ANCHOR BOLTS SHALL BE NOTED OTHERWISE

DES	DES.	NO.	REVISION	DATE
DR.	MJS	1		
TR.		2		
CK.		3		
APPR.	MS	4		
		5		
		6		



ALLOW. BRG. = 2.0 KSF
FOUNDATION DESIGN
 LOADING (ES=2)

BASE PLAN
 SCALE 3/8" = 1'-0"

RECEIVED
 SEP 17 1990
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND

NOTES

1. COAT ANCHOR BOLT THREADS THOROUGHLY WITH HEAVY GREASE PRIOR TO PLACEMENT OF CONCRETE.
2. REINFORCING ROD SHALL BE 60000 PSI YIELD 3" MIN. COVER
3. CONCRETE SHALL BE 3000 PSI MIN. COMPRESSION STRENGTH @ 28 DAYS, AND SHALL CONTAIN 6% ± 1% ENTRAINED AIR.
4. FOUNDATIONS SHALL BE PLACED ON UNDISTURBED SOIL.
5. ALL ANCHOR BOLTS SHALL BE SUPPLIED BY CMP UNLESS NOTED OTHERWISE OR SPECIFIED BY REQ'D, CMP S.C.#270250

#5 @ 12 DOWELS
 #4 @ 12 CORNERS

DES. DES.	NO.	REVISION	DATE	BY
DR. MJS	1			
TR	2			
CK	3			
APPR. JTS	4			
	5			
	6			

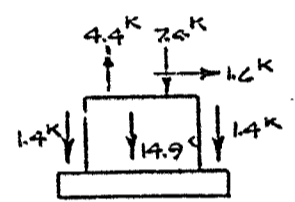
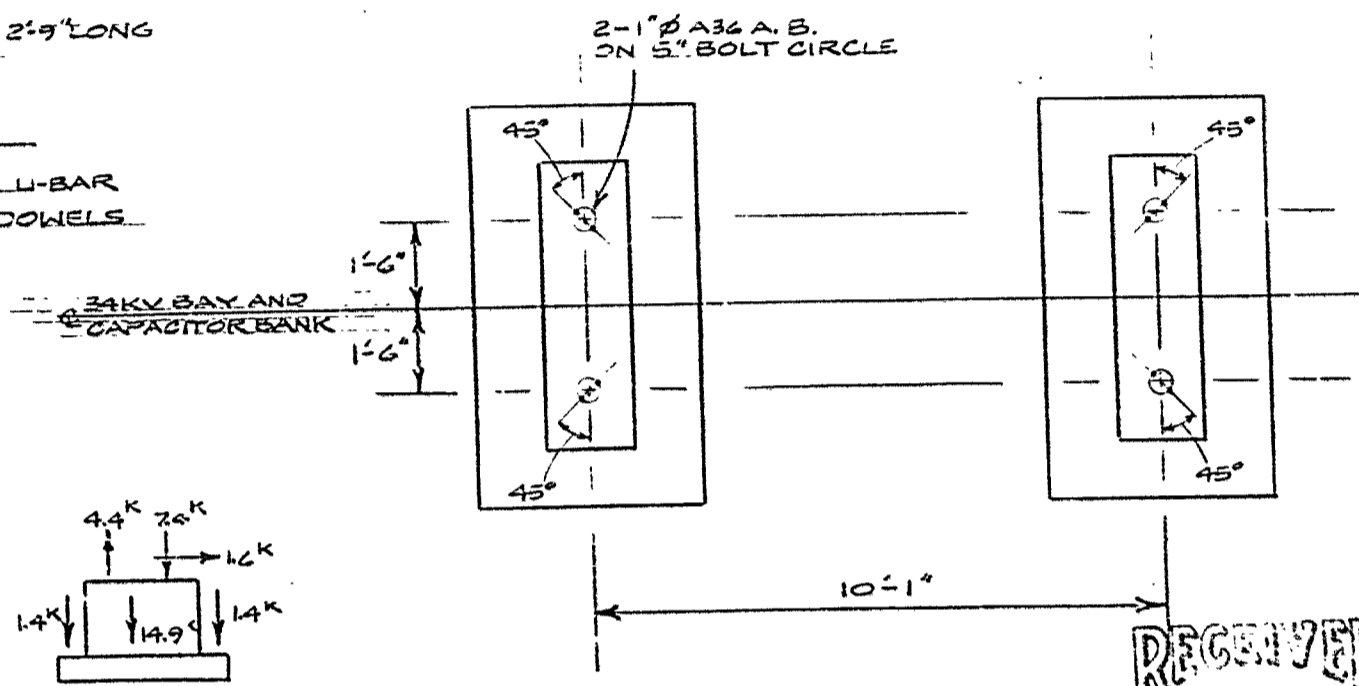
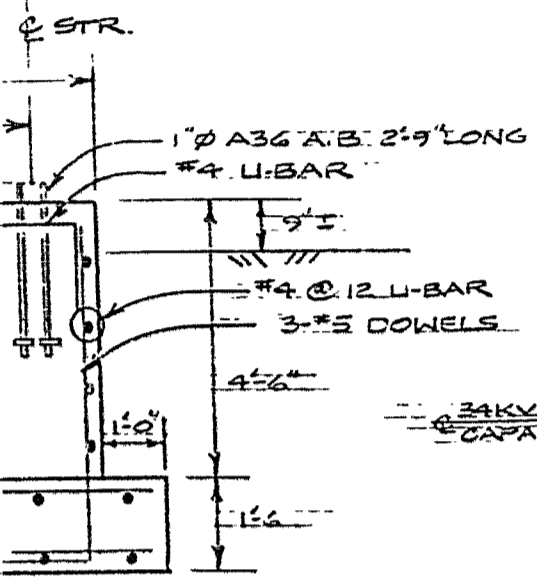
FOUNDATION DETAIL

GE TO 8 MVAR CAP BANK

CENTRAL MAINE POWER COMPANY
 DEPARTMENT

25-325

SCALE AS NOTED DATE 8-17-88



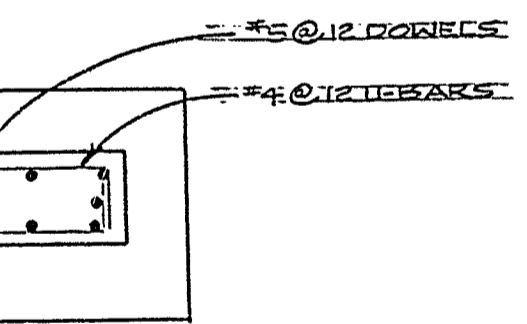
ALLOW. BRG. #2.0
FOUNDATION DESIGN
 LOADING (ES)

BASE PLAN
 SCALE 3/8" = 1'-0"

RECEIVED
 SEP 17 1990
 DEPT OF BUILDING INSPECTION
 CITY OF PORTLAND

NOTES

1. CUT ANCHOR BOLT THREADS THOROUGHLY WITH HEAVY BRASS PRIOR TO PLACEMENT OF CONCRETE.
2. REINFORCING ROD SHALL BE 60000 PSI YIELD, 3" MIN. COVER
3. CONCRETE SHALL BE 3000 PSI MIN. COMPRESSION STRENGTH @ 28 DAYS, AND SHALL CONTAIN 6% ± 1% ENTRAINED AIR.
4. FOUNDATIONS SHALL BE PLACED ON UNDISTURBED SOIL.
5. ALL ANCHOR BOLTS SHALL BE SUPPLIED BY CMP UNLESS NOTED OTHERWISE OR SPECIFIED 8 REQ'D, CMP S.C.#270250



DES DES.	NO.	REVISION	DATE	BY
DR. M.L.S.	1			
TR	2			
CA	3			
UPPR. H.S.	4			
	5			
	6			

FOUNDATION DETAIL

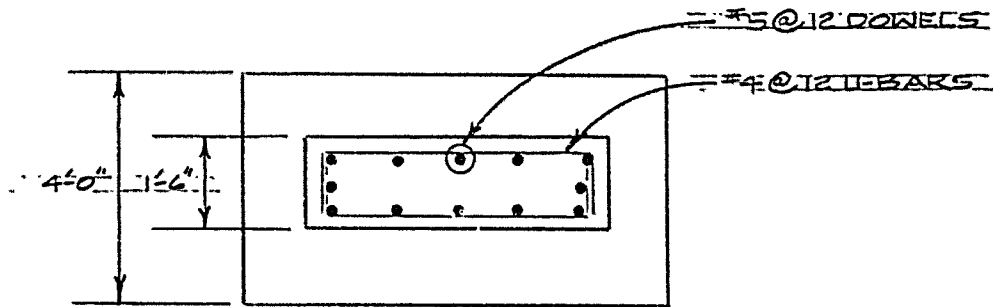
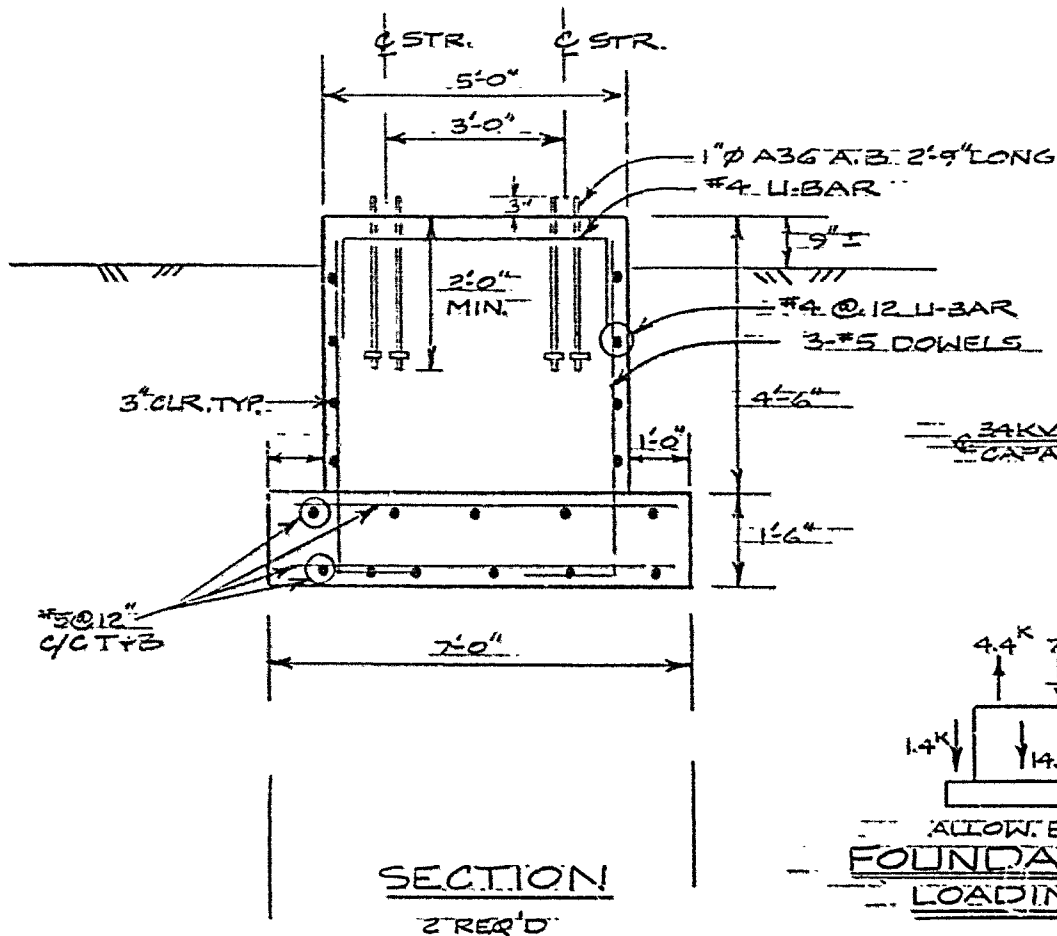
GE TO 8 MVAR CAP BANK

CENTRAL MAINE POWER COMPANY
 DEPARTMENT

25-325

SCALE AS NOTED DATE 8-17-88

FIRST USED AT BOWMAN ST S/S + QUAKER HILLS S/S
REF. 25-325-55.6



ALLOW. BRC. 2.0 KSF
FOUNDATION DESIGN
LOADING (FS=2)

- NOTE**
1. COAT A HEAVY
 2. REINFOR
 3. CONCRE
 4. @ 28 DAY
 5. FOUNDA
 6. ALL AN NOTED

DES. DES.	NO.	REV.
DR. MDS	1	
TR.	2	
CK.	3	
APPR. KTS	4	
	5	
	6	

SEWALL ST. - SUB-STATION



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP 000835

OCT 9 1979

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, ... Oct. 9, 1979 CITY OF PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE
The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications if any, submitted herewith and the following specifications:

LOCATION Sewall Street - Sub-Station Fire District #1 #2

1. Owner's name and address Central Maine Power - Canco Road Telephone 772-7411

2. Lessee's name and address

3. Contractor's name and address Owner Telephone

4. Architect

Specifications

Plans

No. of sheets

Proposed use of building

No. families

Last use

No. families

Material

No. stories

Heat

Style of roof

Roofing

Other buildings on same lot

Estimated contractor cost \$ 8,000 Fee \$ 37.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451

Dwelling Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

Stamp of Special Conditions

CMP

Send permit to Myron Curtis Edison Drive, Augusta, Me. 04336

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? ...

ZONING:

BUILDING CODE: Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Fire Dept.:

Health Dept.:

Others:

Signature of Applicant Ronald Barrios Phone #

Type Name of above Central Maine Power 1 2 3 4

Other

and Address

FIELD INSPECTOR'S COPY

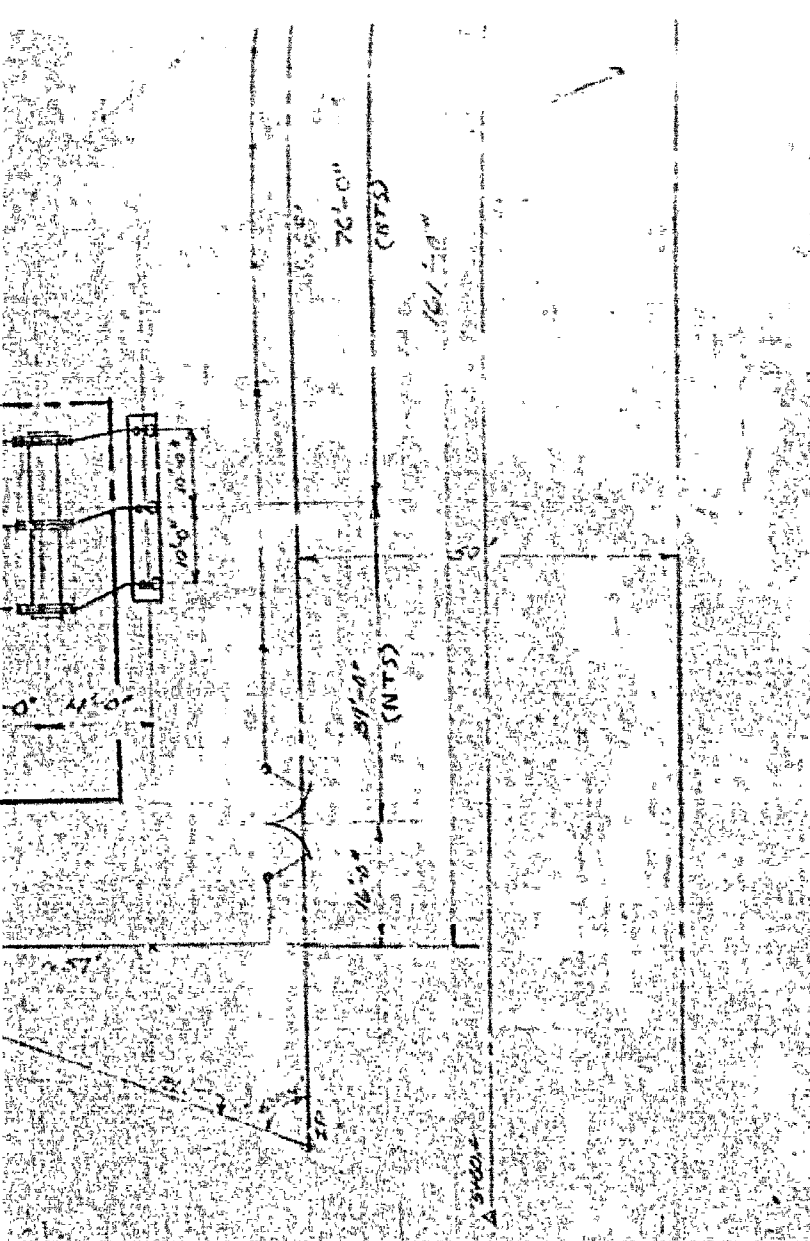
NOTES

12-13-79 Name working - APPEARS
 works on p. 21-8

Permit No. 99/895
 Location Shively
 Owner Central Maine Power
 Date of permit 10-9-79
 Approved 10-9-79

~~[Large handwritten X mark]~~

[Empty lined section]



RECEIVED
 OCT-9 1979
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

337-65	Check Books, Codes & Study New Plan
337-62	Foundation Reg. Plan
337-21	Cable and Grounding Plan
337-18	General Arrgt - Plan 115/11 KV O.D. Substation
337-16	Foundation Plan 115/11 KV O.D. Substation
337-8/9/10	(Prints) Bldg. Details & Index Arrgt of Equip.
337-7	Plan & Details 38 KV O.D. Sub
337-6	Foundation Plan & Details 38 KV O.D. Sub

NO	REVISION	DATE	CHKD
14	ADD DUCT SKIN	7-20-79	JPL
13	Add New 38 KV Feed	11/4/77	JPL
12	Chng. Cable Term. Location	8/11/75	OKP
11	Revised MTS Dimensions	8-1-75	
10	Added 75' Pipe Structure	3-3-75	WLB
9	New E. Poles	2-1-75	
8	ASH DUCT LAYOUT	7-1-74	
7	Revised M. Foundation	7-2-73	
6	IP. to AB Added	3-2-72	25/11
5	Added 38 KV Equip. Pad	5-8-72	FLK
4	Chng. 17' Equip. Location	5-8-72	FLK
3	M.S. ARR. TERM. S. Island	3-9-72	FR
2	Relocated 115 KV TOWER	11-6-59	WLB
1	Redrawn from 337-9	1-5-57	Edwin

GENERAL LOCATION PLAN
 SEWALL STREET SUBSTATION
 CENTRAL MAINE POWER CO

DESIGNED: [Signature]
 DRAWN: [Signature]
 TRACED: [Signature]

CHKD. [Signature]
 APPR. [Signature]

NEPSCO SERVICES, INC.
 ENGINEERING DEPARTMENT
 SCALE 1"=20'
 DATE 4/5/51

337-15

11/13/78

TREET

SEWALL STREET

To Portland —

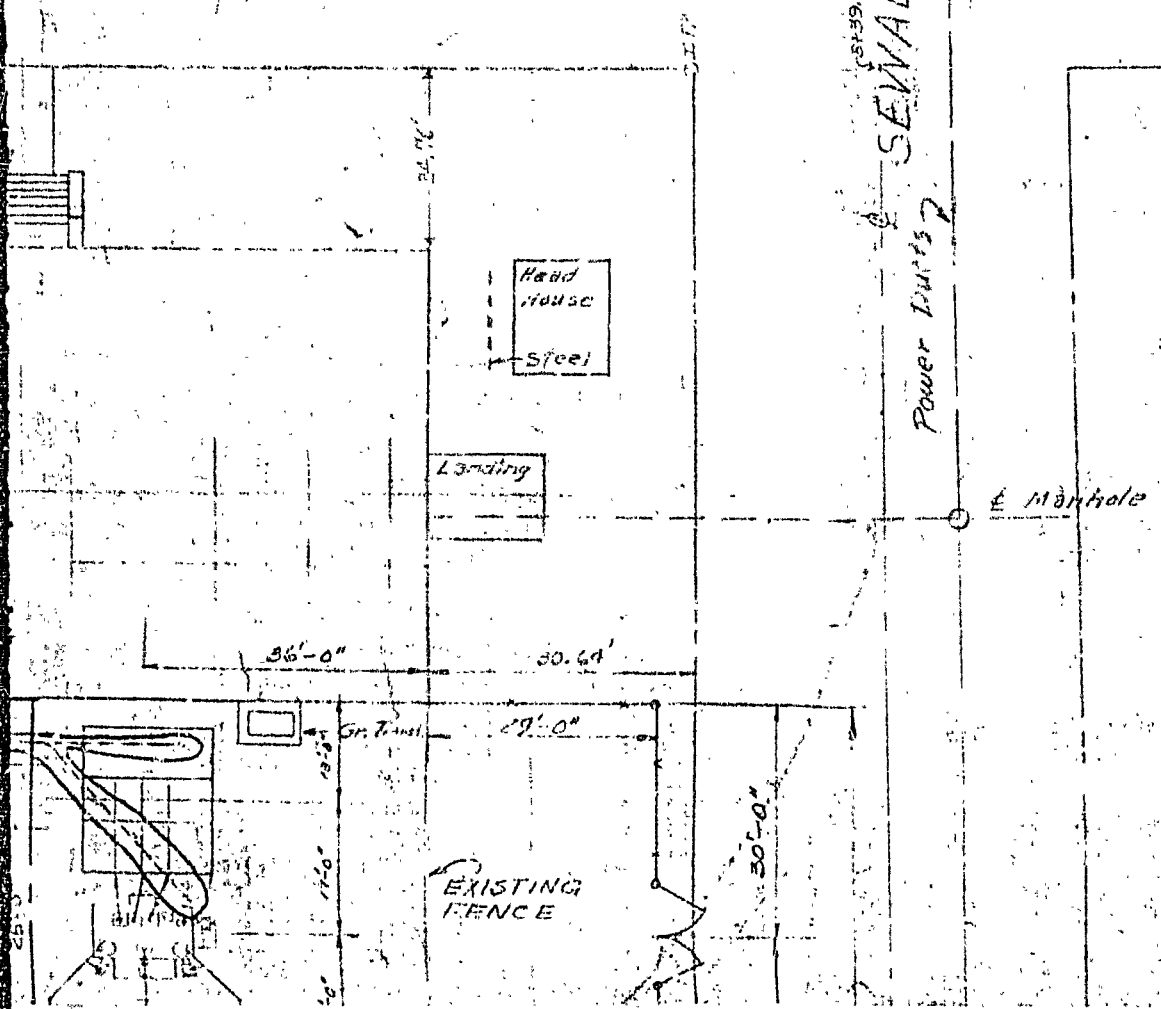
SEWALL STREET

Power Ducts

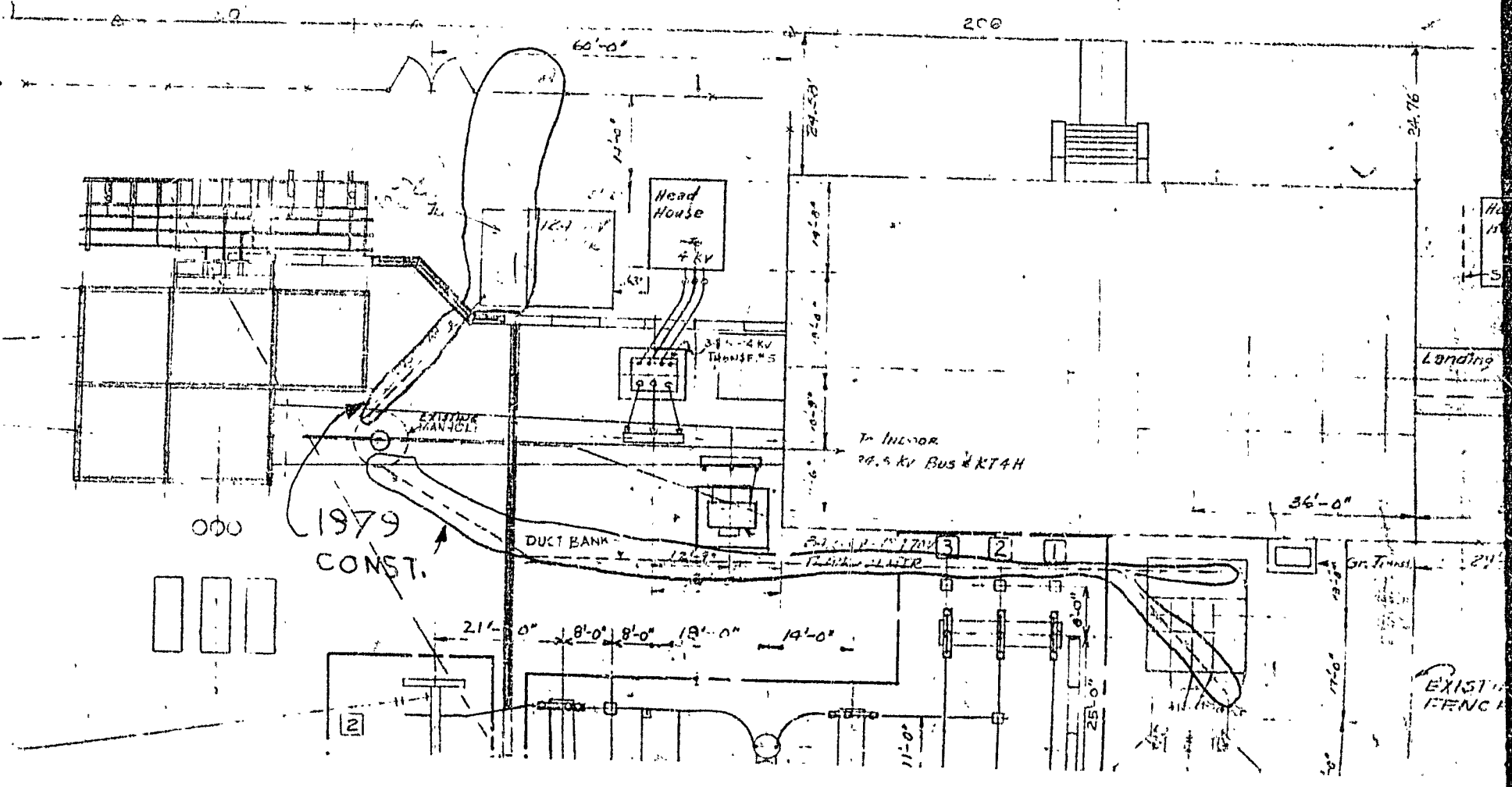
E Manhole

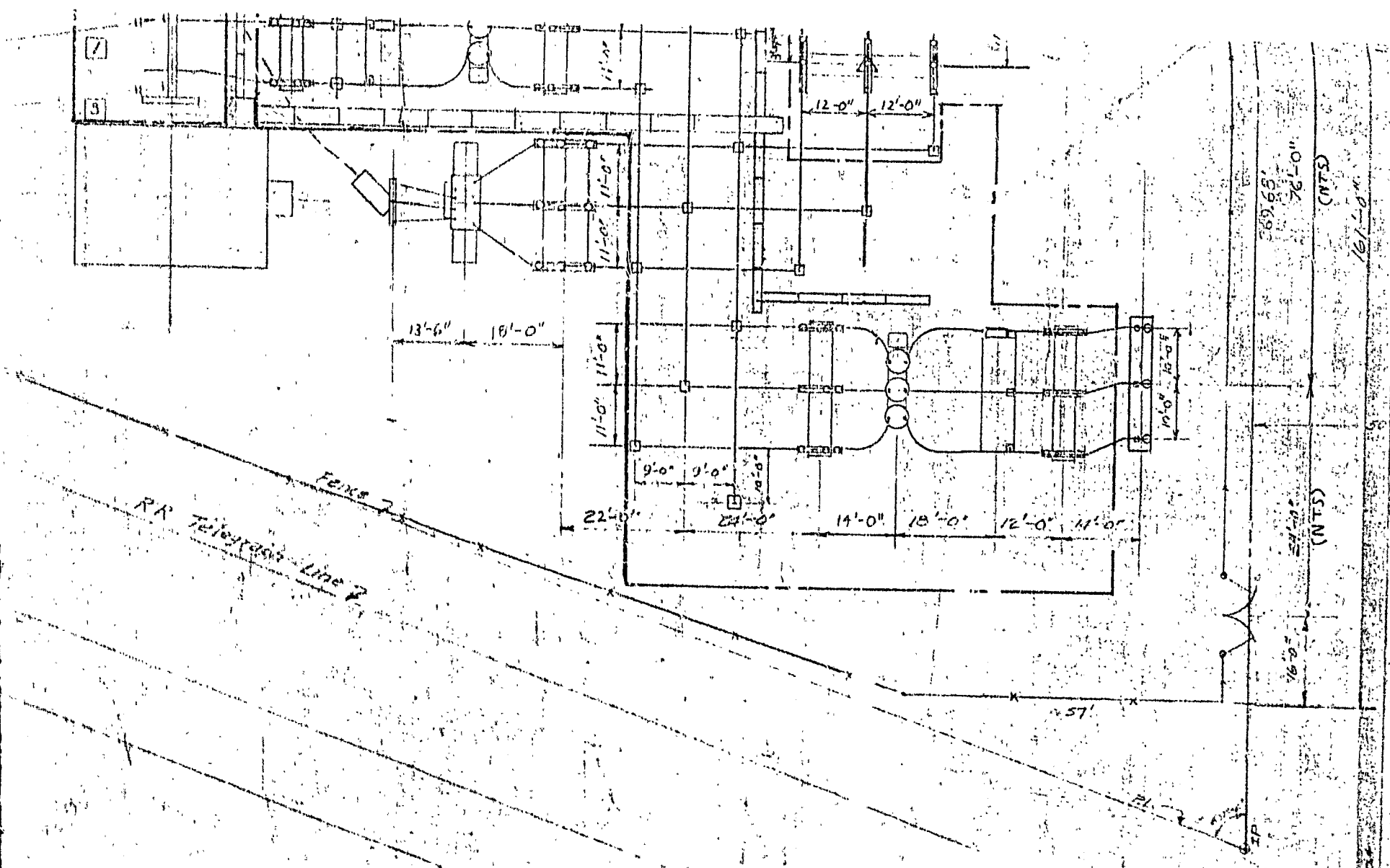
NOTES

1. Present 38 KV line to be relocated to make room for 115 KV Line & Sub
2. Prop. lines located from information supplied by Portland Public Works Dept. using Sewer traverse on C of Sewall Street



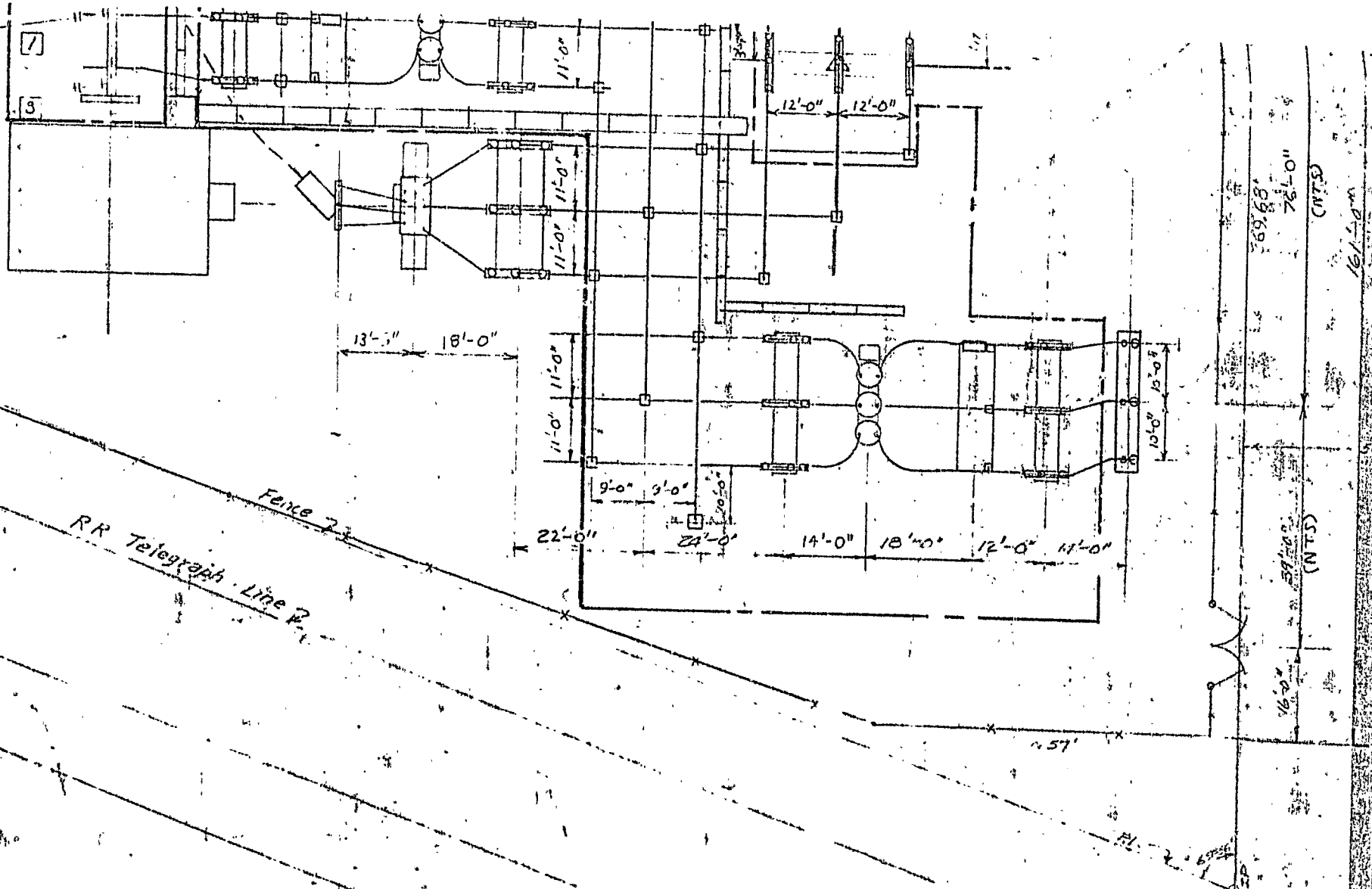
HOOPER STREET





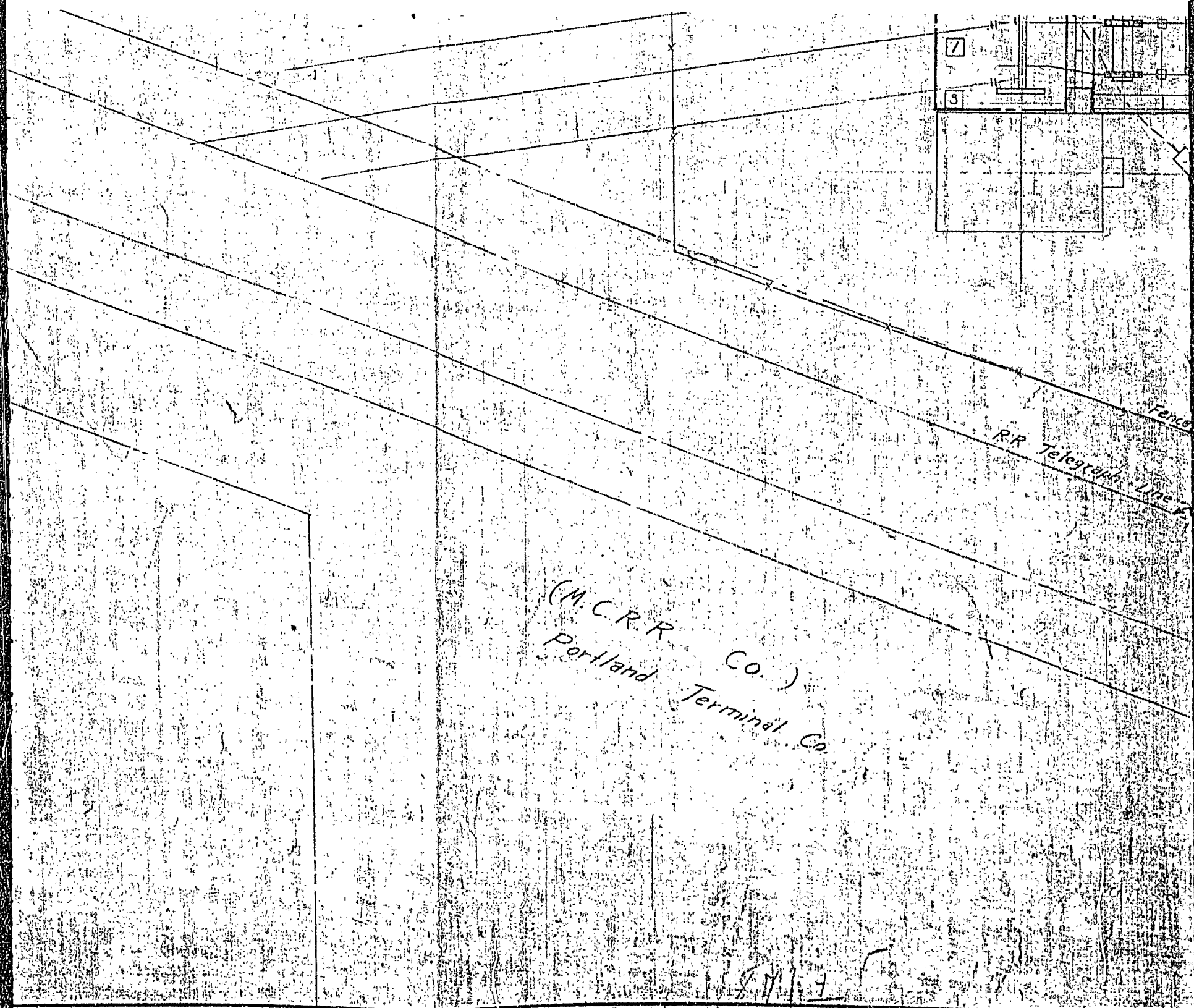
14	ADD DUCT BANK	11/1/77	JPL	7	REVISION
13	ADD NEW 34.5KV FEED	11/1/77	JPL	6	IR
12	CHG. CABLE TRAY LOCATION	5/1/75	JPL	5	CHG.
11	REPLACE 175 BOARD	5/1/75	JPL	4	CHG.
10	ADD 75 FEED BOARD	5-3-75	JPL	3	CHG.
9	NEW 15 FEED	2-2-75	JPL	2	REVISION
8	ADD 15KV FEED	2-2-75	JPL	1	ADD

DESIGNED BY
 DRAWN BY
 TRACED BY



14	ADAPT. DUCT BANK	2-21-71	JPL	7	Check
13	Add New 34.5KV Feed	11/1/71	JPL	6	IR
12	Change Subst. Term. Location	9/15/71	JPL	5	Check
11	REWORK 1971 EQUIPMENT	5/1/71	JPL	4	Check
10	ADDS 75' DIST. FROM	3/3/71	JPL	3	Check
9	ADDS 15' FEED	2-1-71	JPL	2	Relocate
8	ADDS 120' DIST.	2-1-71	JPL	1	Relocate

DESIGNED BY
 DRAWN BY
 CHECKED BY
 TRACED BY



(M. C. R. R. Co.)
Portland Terminal Co.

Fence
RR Telegraph Lines

Meyers & Mahoney

IP

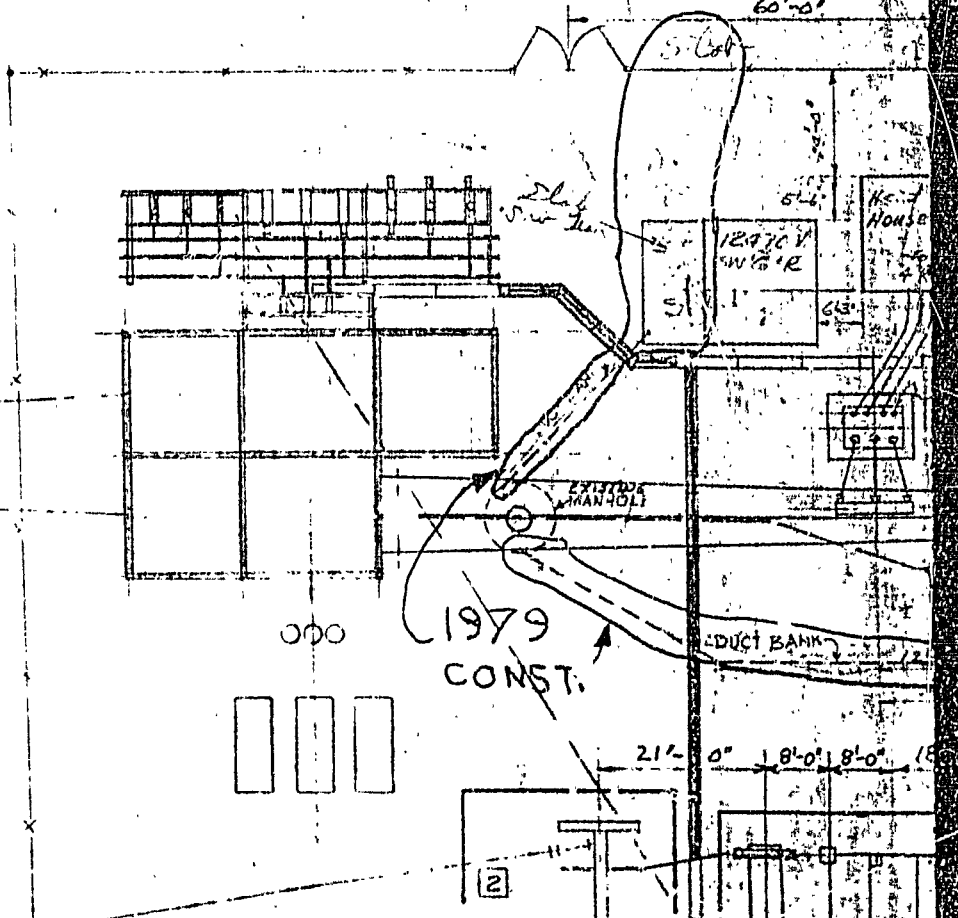
102'

50'

50'

60'-0"

Moshers
170
383KV
S. 2000
170



000

1979
CONST.

21'-0" 8'-0" 8'-0" 15'-0"

2

227-17

Meyers & Mahoney

OIP

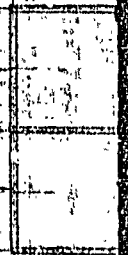
100'

50'

Moshers
170

38 KV

506. St.
3 KV



901844

PERMIT # _____ TOWN OF Portland BUILDING PERMIT APPLICATION \$100 MAP # _____ LOT# _____
building permit app. 8/17/90

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Rheumatology Associates, P.A. - 774-6016-Bill McKenney

Address: 51 Sewall St., Portland, ME 04104 228-0622

LOCATION OF CONSTRUCTION 51 Sewall Street

CONTRACTOR: _____ SUBCONTRACTORS: Call when ready

ADDRESS: _____

Est. Construction Cost: 15,649 Type of Use: commercial with parking lot

Past Use: same

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____

Conversion - Explain Minor Site Plan review for parking lot expansion for 24 additional cars

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE making a total of 76

Residential Buildings Only: _____ vehicles.

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundation: BUILDING PERMIT APPLICATION - parking lot expansion

1. Type of Soil: _____

2. Set Backs - Front _____ Rear _____ Side(s) _____

3. Footings Size: _____

4. Foundation Size: _____

5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.

2. Girder Size: _____

3. Lally Column Spacing: _____ Size: _____

4. Joists Size: _____ Spacing 16" O.C.

5. Bridging Type: _____ Size: _____

6. Floor Sheathing Type: _____ Size: _____

7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____

2. No. windows _____

3. No. Doors _____

4. Header Sizes _____ Span(s) _____

5. Bracing: Yes _____ No _____

6. Corner Posts Size _____

7. Insulation Type _____ Size _____

8. Sheathing Type _____ Size _____

9. Siding Type _____ Weather Exposure _____

10. Masonry Materials _____

11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____

2. Header Sizes _____ Span(s) _____

3. Wall Covering Type _____

4. Fire Wall if required _____

5. Other Materials _____

For Official Use Only

Date October 31, 1989 Subdivision: us / No

Inside Fire Limits _____ **PERMIT ISSUED**

Bldg Code _____ Lot _____

Time Limit _____ Block _____

Estimated Cost _____ Permit Expiration: AUG 30, 1990

Value/Structure _____ Ownership: _____ Public _____ Private _____

Fee \$300.00 Minor Site Plan Review **City Of Portland**

Ceiling:

1. Ceiling Joist Size: _____

2. Ceiling Strapping Size _____ Spacing _____

3. Type Ceilings: _____

4. Insulation Type _____ Size _____

5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____

2. Sheathing Type _____ Size _____

3. Roof Covering Type _____

4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____

2. No. of Tubs or Showers _____

3. No. of Flushes _____

4. No. of Lavatories _____

5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____

2. Pool Size: _____ x _____ Square Footage _____

3. Must conform to National Electrical Code and State Law.

Zoning: R-5

District _____ Street Frontage Req.: _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt. _____ Special Exemption _____

Other (Explain) _____

Date Approved _____

Permit Received By Joyce M. Bernal 8-17-90

Signature of Applicant _____

Signature of CEO _____ Date 8/17/90

Inspection Dates _____

White-Tax Assesor Yellow-GPCOG White Tag -CEO 18/ MA 12/11/90



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
August 28, 1990

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

RE: 51 Sewall Street

Rheumatology Assoc. P.A.
51 Sewall Street
Portland, Maine 04104

Dear Sir:

Your application to expand parking lot from 52 to 76 vehicles has been reviewed and a permit is herewith issued subject to the following requirements:

No certificate of occupancy can be issued until all requirements of this letter are met.

Site Plan Review Requirements

Inspection Services Approved William Giroux
Public Works Approved Steve Harris
Planning Division Approved R. Henry
Fire Department 10' wide lane at face of building required to 16" minimum. There must be a hydrant located within 800' of the building measured along the path of travel of fire apparatus.

Building Code Requirements

Handicapped parking spaces shall be provided as per State Law.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

P. Samuel Hoffses
Chief of Inspection Services

/el

cc: Steve Harris, Public Works
Paul Niehoff, Public Works
Rich Henry, Planning
William Giroux, Zoning Codes Enforcement Officer
LT. Wallace Garroway, Fire Prevention Bureau

CITY OF PORTLAND, MAINE

SITE PLAN REVIEW

Processing Form

Rheumatology Assoc., P.A. - 774-6016 Bill McKenney, Architect

October 31, 1989
Date

Applicant 51 Sewall Street
 Mailing Address 51 Sewall Street, Portland, ME 04104
 Address of Proposed Site
 Parking lot for a total of 76 vehicles
 Site Identifier(s) from Assessors Maps
 Proposed Use of Site 190-D-6
 Zoning of Proposed Site
 Acreage of Site / Ground Floor Coverage 1.2 acres + or / -
R-P

Site Location Review (DEP) Required: () Yes () No
 Board of Appeals Action Required: () Yes () No
 Planning Board Action Required: () Yes () No

Proposed Number of Floors _____
 Total Floor Area _____

Other Comments: _____
 Date Dept. Review Due: _____

BUILDING DEPARTMENT SITE PLAN REVIEW
 (Does not include review of construction plans)

- Use does NOT comply with Zoning Ordinance
 - Requires Board of Appeals Action
 - Requires Planning Board/City Council Action

Explanation _____

Use complies with Zoning Ordinance — Staff Review Below

Zoning: SPACE & BULK, as applicable

	DATE	ZONE LOCATION	INTERIOR OR CORNER LOT	40 FT. SETBACK AREA (SEC. 21)	USE	SEWAGE DISPOSAL	REAR YARDS	SIDE YARDS	FRONT YARDS	PROJECTIONS	HEIGHT	LOT AREA	BUILDING AREA	AREA PER FAMILY	WIDTH OF LOT	LOT FRONTAGE	OFF-STREET PARKING	LOADING BAYS	
COMPLIES																			
COMPLIES CONDITIONALLY																			
DOES NOT COMPLY																			

CONDITIONS SPECIFIED BELOW
 REASONS SPECIFIED BELOW

REASONS:

OK WPA 8-22-90

SIGNATURE OF REVIEWING STAFF/DATE

BUILDING DEPARTMENT-- ORIGINAL

T E R R I E N
A R C H I T E C T S

Transmittal

Terrien Architects, Inc.
900 Maine Savings Plaza
Portland, Maine 04101
207 774-6016 Fax 774-9128

To FM. 315 Date 10.26.89
PORTLAND CITY HALL Re.
PORTLAND, MAINE Job No. 89066.10

Item Attached Hand delivered Under separate cover via
 Shop drawings Prints Samples Specifications
 Copy of letter Change order Other

Copies	Date	No.	Description
<u>7</u>	<u>10.16.89</u>		<u>HELMPTOWBY ASSOCIATES</u> <u>AMENDED SITE PLAN</u>

Purpose For approval No exception taken Rejected
 For your use Make corrections noted Review and comment
 As requested Revise and resubmit Other

Remarks

RECEIVED

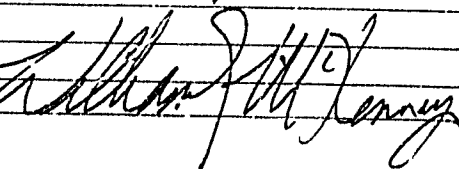
OCT 31 1989

51 Sewall St.

DEPT OF BUILDING INSPECTION
CITY OF PORTLAND

Copy to

Signed



If enclosures are not as noted kindly notify us at once

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW**

Processing Form

Rheumatology Assoc., P.A. - 774-6016 Bill McKenney, Architect

October 31, 1989

Applicant
51 Sewall St., Portland, ME 04104

51 Sewall Street
Address of Proposed Site

Mailing Address
Parking lot for a total of 76 vehicles

190-D-6

Proposed Use of Site
1.2 acres + or -

Site Identifier(s) from Assessors Maps
R-P

Acreage of Site / Ground Floor Coverage

Zoning of Proposed Site

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

FIRE DEPARTMENT REVIEW

(Date Received) _____

	ACCESS TO SITE	ACCESS TO STRUCTURES	SUFFICIENT VEHICLE TURNING ROOM	SAFETY HAZARDS	HYDRANTS	SIAMISE CONNECTIONS	SUFFICIENCY OF WATER SUPPLY	OTHER	
APPROVED	X	X	X				X		
APPROVED CONDITIONALLY		X			X				CONDITIONS SPECIFIED BELOW
DISAPPROVED									REASONS SPECIFIED BELOW

REASONS: 10' wide zone at head of bldg required to 16' min.
There must be a hydrant located within 80'
of the building measured along the path of travel
of fire apparatus.
 (Attach Separate Sheet if Necessary)

William J. ...
 SIGNATURE OF REVIEWING STAFF/DATE

FIRE DEPARTMENT COPY

**CITY OF PORTLAND, MAINE
SITE PLAN REVIEW**

Processing Form

Rheumatology Assoc., P.A. - 774-6014 Bill McMorrey, Architect

October 31, 1988
Date

Applicant
31 Sewall St., Portland, ME 04106

31 Sewall Street
Address of Proposed Site

Mailing Address
Parking lot for a total of 75 vehicles

190-1-1
Site Identifier(s) from Assessors Maps

Proposed Use of Site
1.2 acres + or -

R-P
Zoning of Proposed Site

Acres of Site / Ground Floor Coverage

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors _____

Board of Appeals Action Required: () Yes () No

Total Floor Area _____

Planning Board Action Required: () Yes () No

Other Comments: _____

Date Dept. Review Due: _____

PLANNING DEPARTMENT REVIEW

(Date Received) _____

Major Development — Requires Planning Board Approval: Review Initiated

Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED												
APPROVED CONDITIONALLY												CONDITIONS SPECIFIED BELOW
DISAPPROVED												REASONS SPECIFIED BELOW

REASONS: _____

(Attach Separate Sheet if Necessary)

Richard A. Henry 9/15/90

SIGNATURE OF REVIEWING STAFF/DATE

PLANNING DEPARTMENT COPY

CITY OF PORTLAND, MAINE

S. Harris

SITE PLAN REVIEW

Processing Form

Rheumatology Assoc., P.A. - 774-6016 Bill McKenney, Architect

October 31, 1989
Date

Applicant

51 Sewall St., Portland, ME 04104

51 Sewall Street
Address of Proposed Site

Mailing Address

Parking lot for a total of 76 vehicles

190-D-6
Site Identifier(s) from Assessors Maps

Proposed Use of Site

1.2 acres + or / -

R-P
Zoning of Proposed Site

Acreage of Site / Ground Floor Coverage

Site Location Review (DEP) Required: () Yes () No

Proposed Number of Floors

Board of Appeals Action Required: () Yes () No

Total Floor Area

Planning Board Action Required: () Yes () No

Other Comments:

Date Dept. Review Due:

PUBLIC WORKS DEPARTMENT REVIEW

(Date Received)

	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED																
APPROVED CONDITIONALLY																CONDITIONS SPECIFIED BELOW
DISAPPROVED																REASONS SPECIFIED BELOW

REASONS:

(Attach Separate Sheet if Necessary)

[Signature]
SIGNATURE OF REVIEWING STAFF/DATE

PUBLIC WORKS DEPARTMENT COPY

57 SEWALL ST.

N/F E. SANBORN

N/F S. TROTT

N/F C. MILLER

N/F H. PETERSON

N 32°-00' E

12 FN

36

35.67

EXISTING MANHOLE
FIM: 36.20

36.83

37

WOOD STOCKADE
FENCE ALONG
REAR PROPERTY
LINE

13 SPACES @ 9' EA. = 117'
1/2 MIN. SLOPE

BITUMINOUS
CONCRETE

LIMIT OF
EXISTING
PAVEMENT

EXISTING PROPOSED

EXISTING
12" STORM
DRAIN

6" x 30"
SOD STRIP

35.73

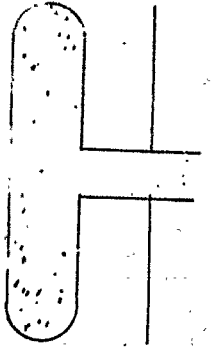
35.55

1.7

1/2 MIN.

1.7

EXISTING CURBED OPENWAY



EXISTING
CATCH
BASIN
FIM: 34.15

LIMIT OF
EXISTING PAVEMENT

EXISTING
PARKING

30" x 30" C.M.P. DUCT

EW

9' (TYP) 2" COPPER WATER

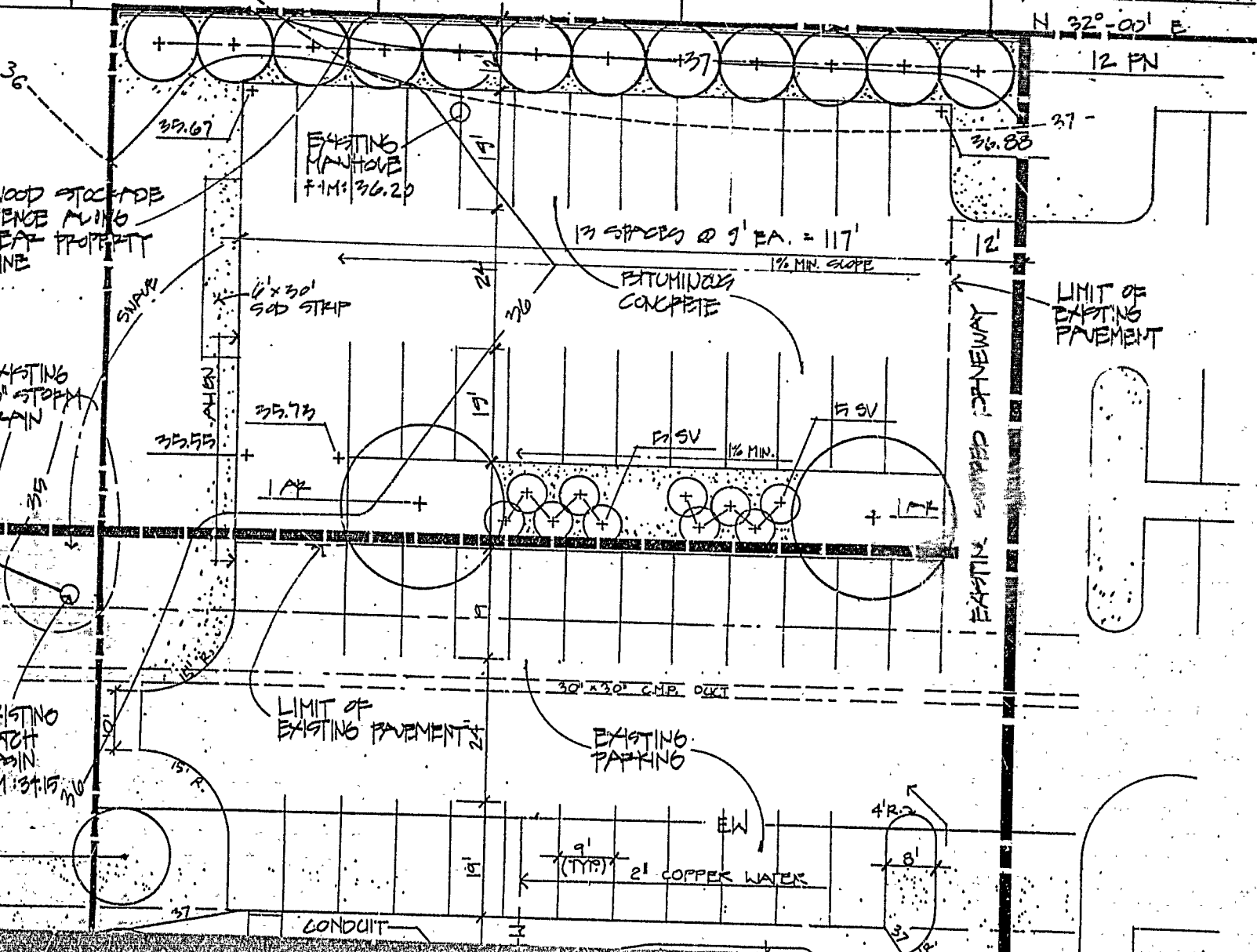
4 R. 2

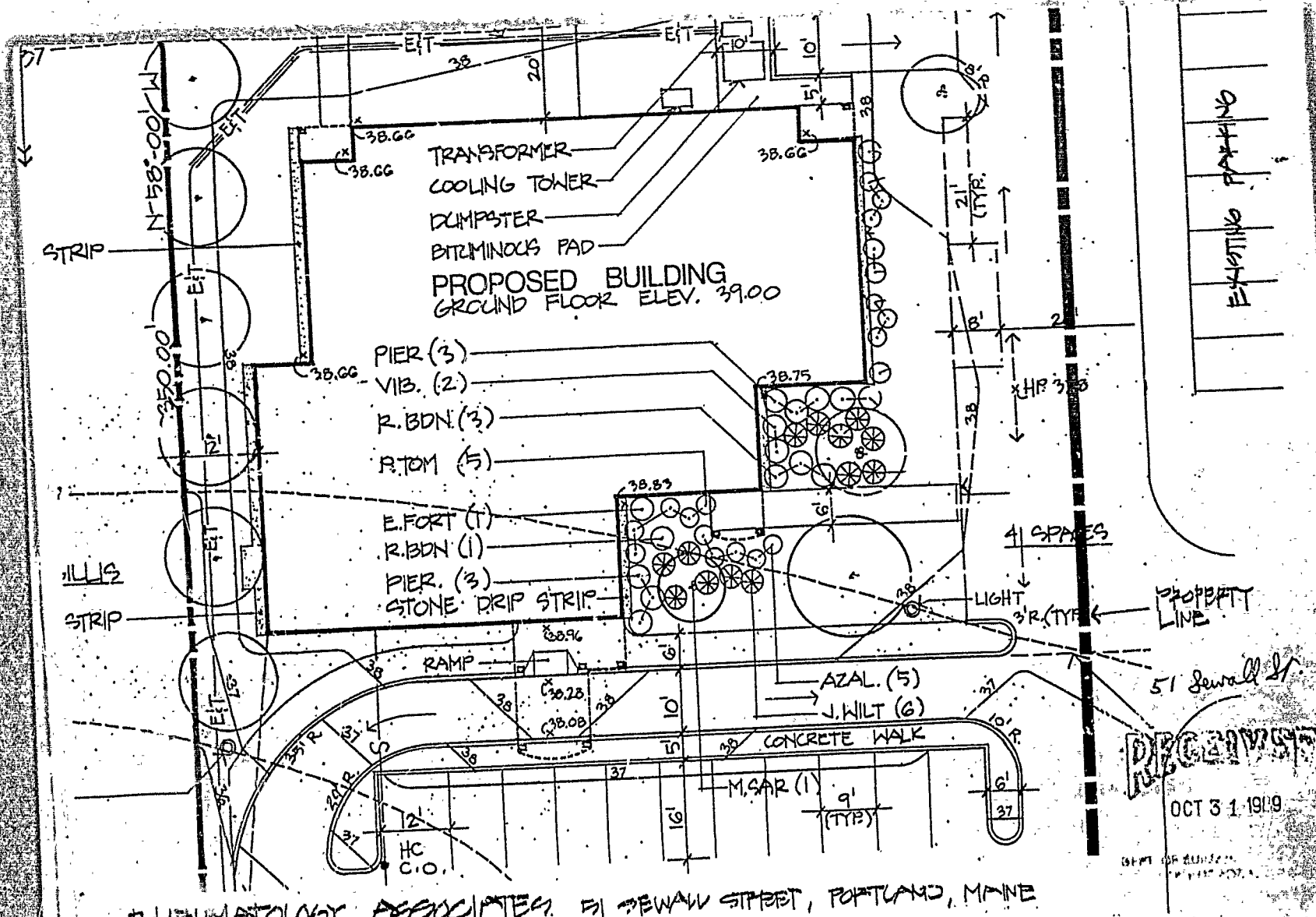
8'

CONDUIT

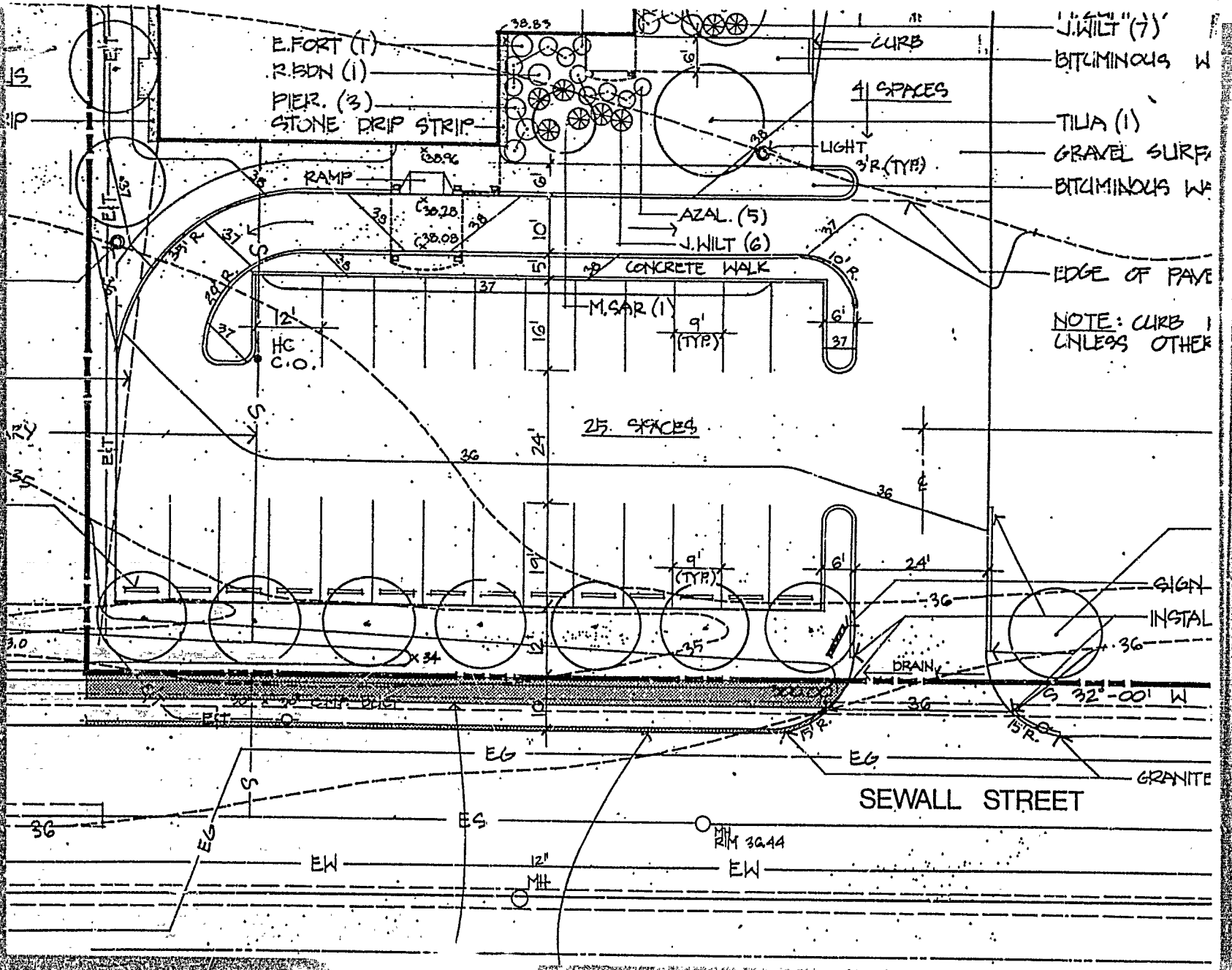
37

37





RHEUMATOLOGY ASSOCIATES 51 SEWALL STREET, PORTLAND, MAINE
 PARKING LOT IMPROVEMENTS
 TERPILLEN ARCHITECTS 300 MAINE SAVINGS PLAZA, PORTLAND, MAINE 1" = 20' - 0" 10.16.89



5' WIDE CONC. SIDEWALK
4" DEPTH
4,500 PSI CONC. 6x6 10.10 W/WF
CONTROL JOINTS AT 3' 00"
EXPANSION JOINTS AT 20' 00"
LIGHT BROOM FINISH W/ TOURED EDGE

GRANITE CURBING TO MEET CITY OF
PORTLAND STANDARDS, PROVIDE TIP DOWN
AT HANDICAP RAMP

RHEUMATOLOGY ASSOCIATES 51 SEWALL STREET, PORTLAND, MAINE
1" = 20'-0" 10.26.89

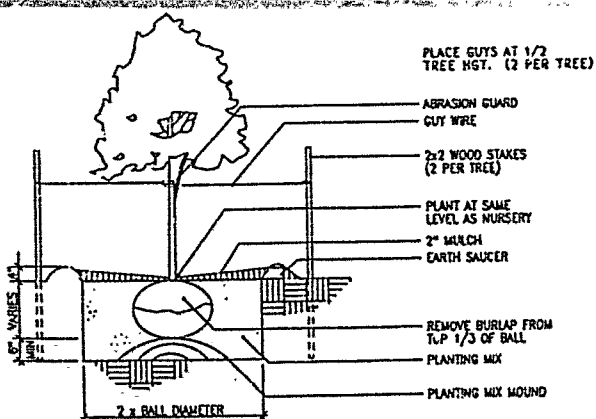
T E R R I E N
A R C H I T E C T S

900 Maine Savings Plaza
Portland, Maine 04101
207 774-6018

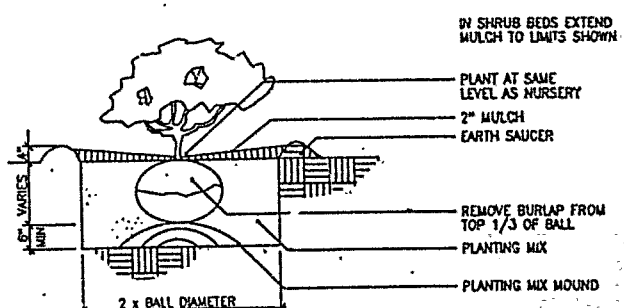
NOTES

1. EXISTING TOPOGRAPHIC INFORMATION EXCEPTED FROM A PLAN ENTITLED 'PLAN SHOWING DRAINAGE STRUCTURE LOCATIONS AND ELEVATIONS' PREPARED BY WELLS ENGINEERING, INC., SCARBOROUGH, MAINE, DATED 10.4.89 AND FROM A PLAN ENTITLED 'SITE PLAN AND PLANTING PLAN' PREPARED BY SAMUEL VAN DAM, PORTLAND, MAINE, DATED 2-17-89
2. EXISTING PROPERTY LINE AND EXISTING SITE IMPROVEMENTS, INFORMATION EXCEPTED FROM A PLAN ENTITLED 'SITE PLAN AND PLANTING PLAN' PREPARED BY SAMUEL VAN DAM, PORTLAND, MAINE, DATED 2-17-89
3. EXISTING PARKING: 56 SPACES
EXISTING SPACES TO BE REMOVED: 4
PROPOSED SPACES: 24

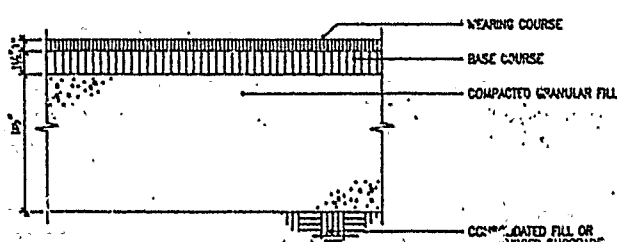
TOTAL PARKING: 76 SPACES
TOTAL REQUIRED BY ORDINANCE: 29 SPACES
4. CONTRACTOR SHALL CONFIRM LOCATION OF SURFACE UTILITIES PRIOR TO COMMENCING CONSTRUCTION
5. PROVIDE POSITIVE DRAINAGE FROM NEW PARKING LOT TO EXISTING CATCH BASIN. FEATHER PAVEMENT AND MEET GRADE AT EDGE OF EXISTING PAVEMENT. MEET GRADE AT PROPERTY LINE.
6. CONTRACTOR SHALL REFER TO BASE DRAWINGS NOTED ABOVE FOR BENCH MARK REFERENCES AND EXISTING SPOT ELEVATIONS
7. PLANTING SHALL MEET AMERICAN NURSERYMAN STANDARDS MAY 1986. PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LOCATION OF PLANT MATERIAL SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. PLANTING BEDS SHALL RECEIVE 18" LOAM; ALL DISTURBED AREAS SHALL RECEIVE 6" LOAM AND SEED.
9. PERMISSION TO ALLOW STORM WATER TO PASS FROM THE PROPOSED PARKING LOT TO A CATCH BASIN ON ADJUTING PROPERTY AS SHOWN, WILL BE OBTAINED FROM THE ADJUTER BY RHEUMATOLOGY ASSOCIATES PRIOR TO CONSTRUCTION



TREE PLANTING DETAIL
N.T.S.



SHRUB PLANTING DETAIL
N.T.S.



PARKING LOT PAVEMENT DETAIL
N.T.S.

PLANT LIST

NO.	KEY	POTENTIAL NAME	COMMON NAME	SIZE	R-ROOT
2	AR	ACER RUBRUM 'NORTHWOODS'	NORTHWOODS MAPLE	2 1/2 - 3" CAL.	P+P
12	PN	PINUS NIGRA	AUSTRALIAN PINE	4-5' HT.	P+P
10	SV	SYRINGA VULGARIS	COMMON LILAC	4-5' HT.	P+P

CITY OF PORTLAND, MAINE
 Department of Parks and Public Works

SUBDIVISION / SITE DEVELOPMENT

COST BREAKDOWN OF IMPROVEMENTS TO BE COVERED BY PERFORMANCE GUARANTEE

DATE 8 November 1989
 Name of Project Rheumatology Associates
 Address / Location 51 Sewall Street
 Developer _____
 Form of Performance Guarantee Escrow Account
 Type of Development- Subdivision Site Plan (Major / Minor)
 XXXXXXXX

ITEM	QUANTITY	UNIT COST	SUBTOTAL	COMPLETED
1. STREET/SIDEWALK:				
Road	834 SY	\$15.00/SY		\$12,510
Granite Curbing	N/A			
Sidewalks	N/A			
Esplanades	N/A			
Monuments	N/A			
Street Lighting	N/A			
Other	excavate swale and rip rap; allow			\$500.00
2. SANITARY SEWER:				
Manholes	N/A			
Piping	N/A			
Connections	N/A			
Other				
3. STORM DRAINAGE				
Manholes	N/A			
Catch Basins	N/A			
Piping	N/A			
Detention Basin	N/A			
Other				
4. SITE LIGHTING N/A				
5. EROSION CONTROL 100 LF \$2.84/LF \$284.00				
6. RECREATION AND OPEN SPACE AMENITIES N/A				
7. LANDSCAPING (Attach breakdown of plant materials, quantities, and unit costs) \$2355.00 see below				
8. MISCELLANEOUS				

*PARKING
 LT*

TOTAL AMOUNT OF PERFORMANCE GUARANTEE \$15,649.00
 X 1.7% = INSPECTION FEE \$ 266.00

Approved: *[Signature]* 11/15/89
 Approved: *[Signature]*
 REV. 9/15/87

2 Acer Rubrum	\$281.25	\$562.50
12 Pinus Nigra	\$90.00	\$1080.00
10 Syringa Vulgaris	\$71.25	\$712.50
		\$2355.00