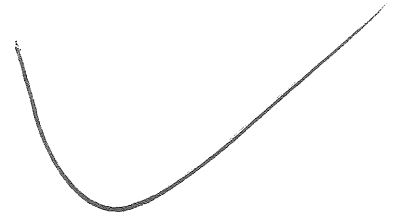


189-A-31

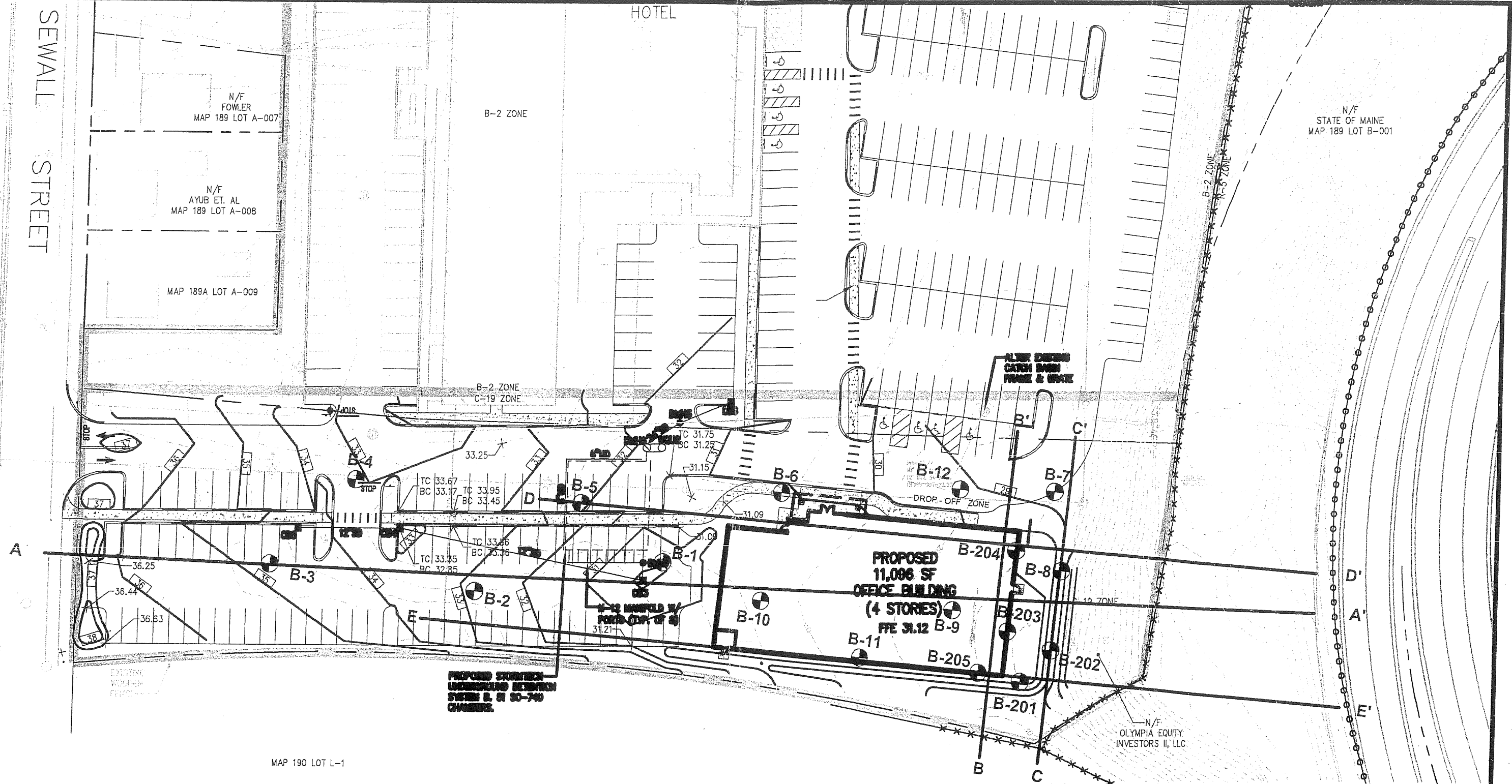
50 Sewall St.

Medical Bld. (Contract Zone)

Olympia Equity



F:\PROJECTS\2004\0983\04-0983 EXPLORATION LOCATION PLAN 01-06-05.dwg, SWC EXP LOC, 1/7/2005 f AM, DRay, 2600.pcb, 11x17, 1:1



**LEGEND**

● Approximate Test Boring Location

**NOTE :**

- 1.) Base plan provided by DeLuca - Hoffman.
- 2.) Boring B-1 through B-12 made in 1997 for previously proposed project.



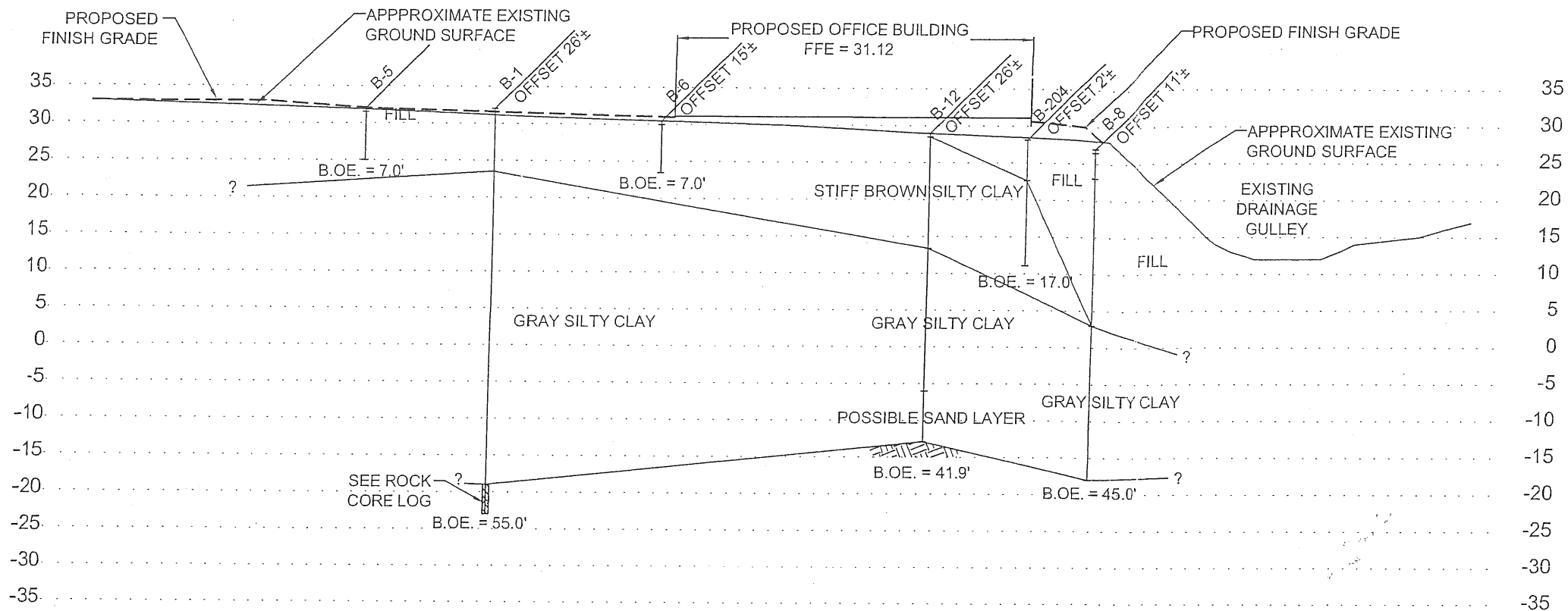
**S.W. COLE**  
ENGINEERING, INC.

OLYMPIA EQUITY INVESTORS II, LLC  
**EXPLORATION LOCATION PLAN**  
Proposed Medical Office Building  
Sewall Street  
Portland, Maine

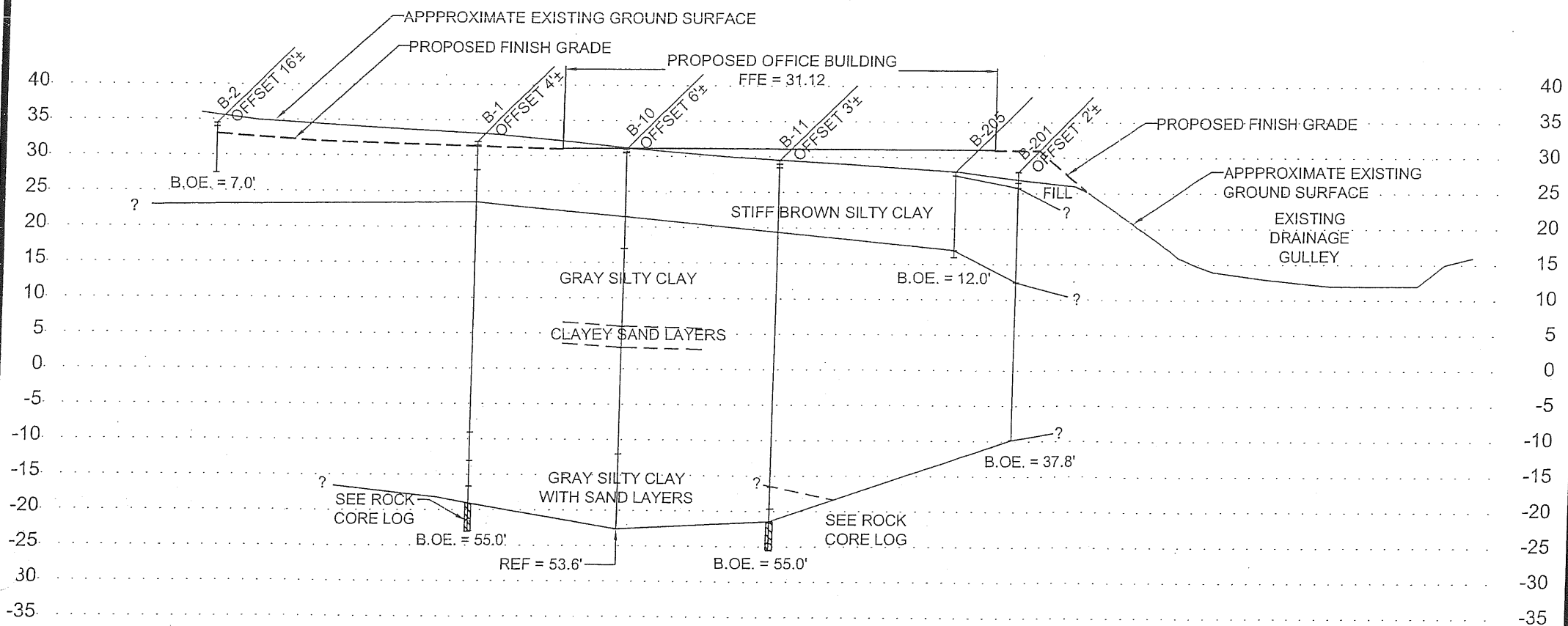
Job No. 04-0983 S  
Date : 01/07/05

Scale 1" = 50'  
Sheet 1

**PROFILE D - D'**



**PROFILE E - E'**



**SCALE :**  
 1" = 20' VERTICAL  
 1" = 50' HORIZONTAL

**NOTES :**

1.) THE INDICATED STRATIGRAPHY IS OUR INTERPRETATION OF THE FINDINGS AT THE EXPLORATION LOCATIONS. ACTUAL CONDITIONS WILL DIFFER FROM THOSE DEPICTED.

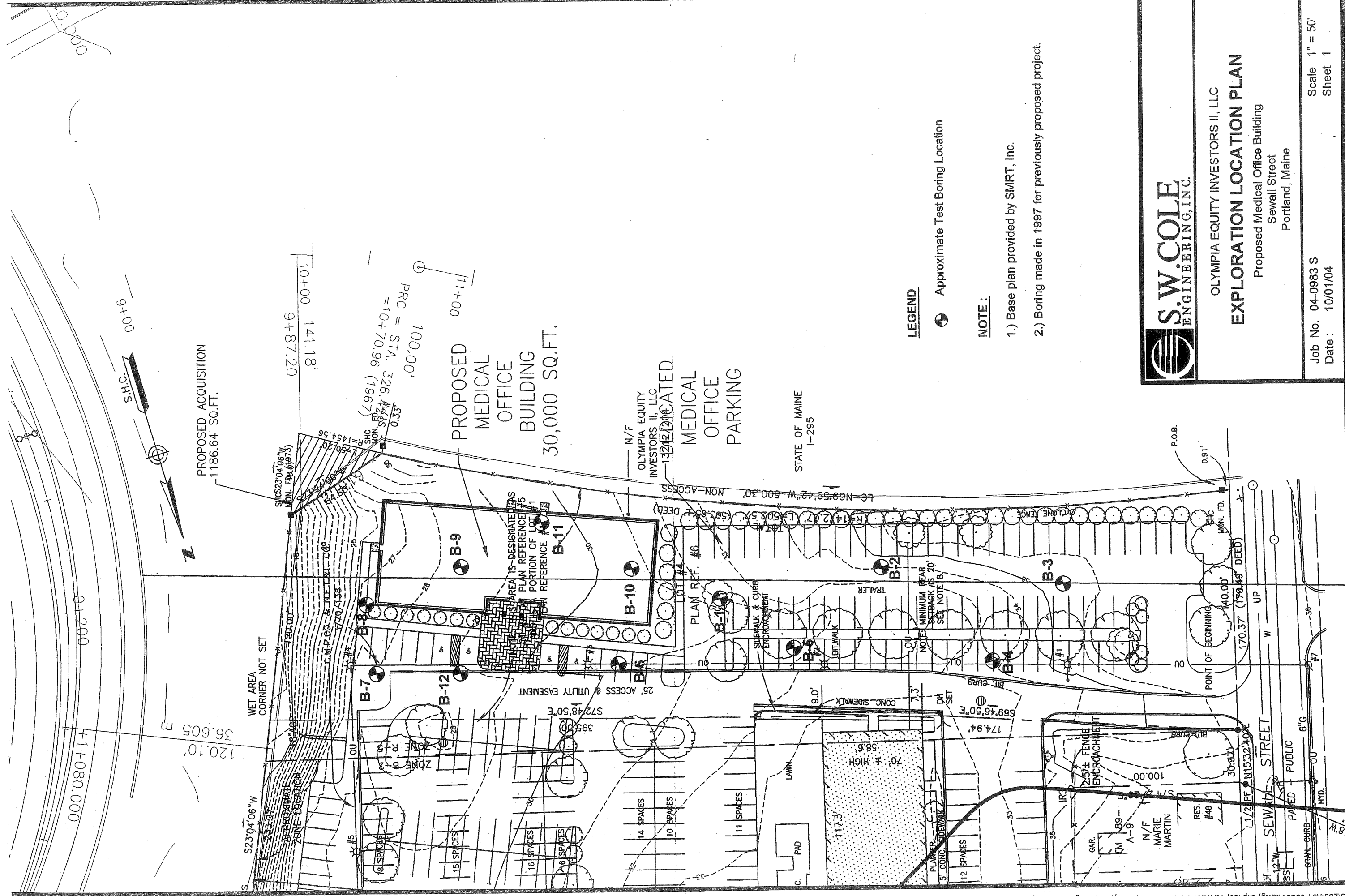


OLYMPIA EQUITY INVESTORS II, LLC  
**INTERPRETIVE SUBSURFACE PROFILE**  
 Proposed Medical Office Building  
 Sewall Street  
 Portland, Maine

Job No. 04-0983 S  
 Date : 01/07/05

Scale As Shown  
 Sheet 1B

F:\PROJECTS\12004\04-0983\04-0983 PROFILES 01-07-05.dwg, SWC PROFILES (2), 1/7/2005 9:56:39 AM, DRay, Konica 11X17.pc3, 11" x 17", 1:1



PROPOSED ACQUISITION  
1186.64 SQ.FT.

PROPOSED  
MEDICAL  
OFFICE  
BUILDING  
30,000 SQ.FT.

OLYMPIA EQUITY  
INVESTORS II, LLC  
DEDICATED  
MEDICAL  
OFFICE  
PARKING

STATE OF MAINE  
1-295

**LEGEND**

● Approximate Test Boring Location

**NOTE:**

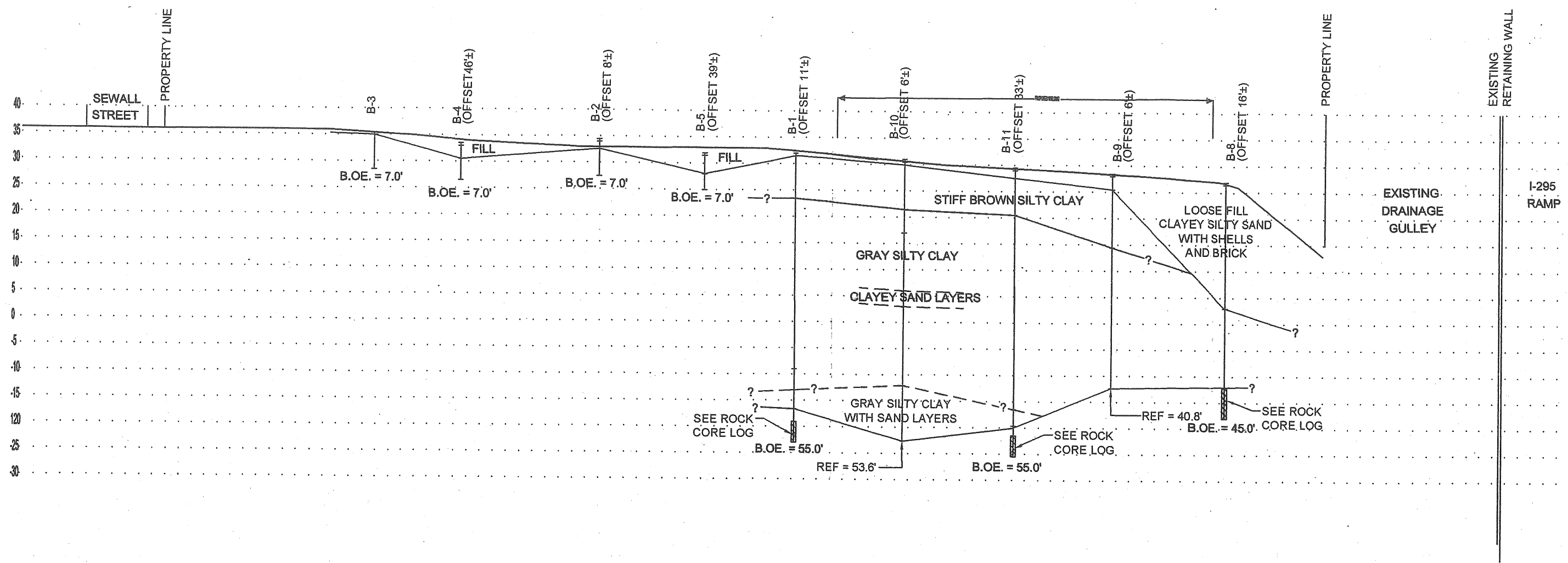
- 1.) Base plan provided by SMRT, Inc.
- 2.) Boring made in 1997 for previously proposed project.



OLYMPIA EQUITY INVESTORS II, LLC  
**EXPLORATION LOCATION PLAN**  
Proposed Medical Office Building  
Sewall Street  
Portland, Maine

Job No. 04-0983 S  
Date: 10/01/04

Scale 1" = 50'  
Sheet 1



**SCALE :**  
 1" = 20' VERTICAL  
 1" = 50' HORIZONTAL

**NOTES :**

1.) THE INDICATED STRATIGRAPHY IS OUR INTERPRETATION OF THE FINDINGS AT THE EXPLORATION LOCATIONS. ACTUAL CONDITIONS WILL DIFFER FROM THOSE DEPICTED.

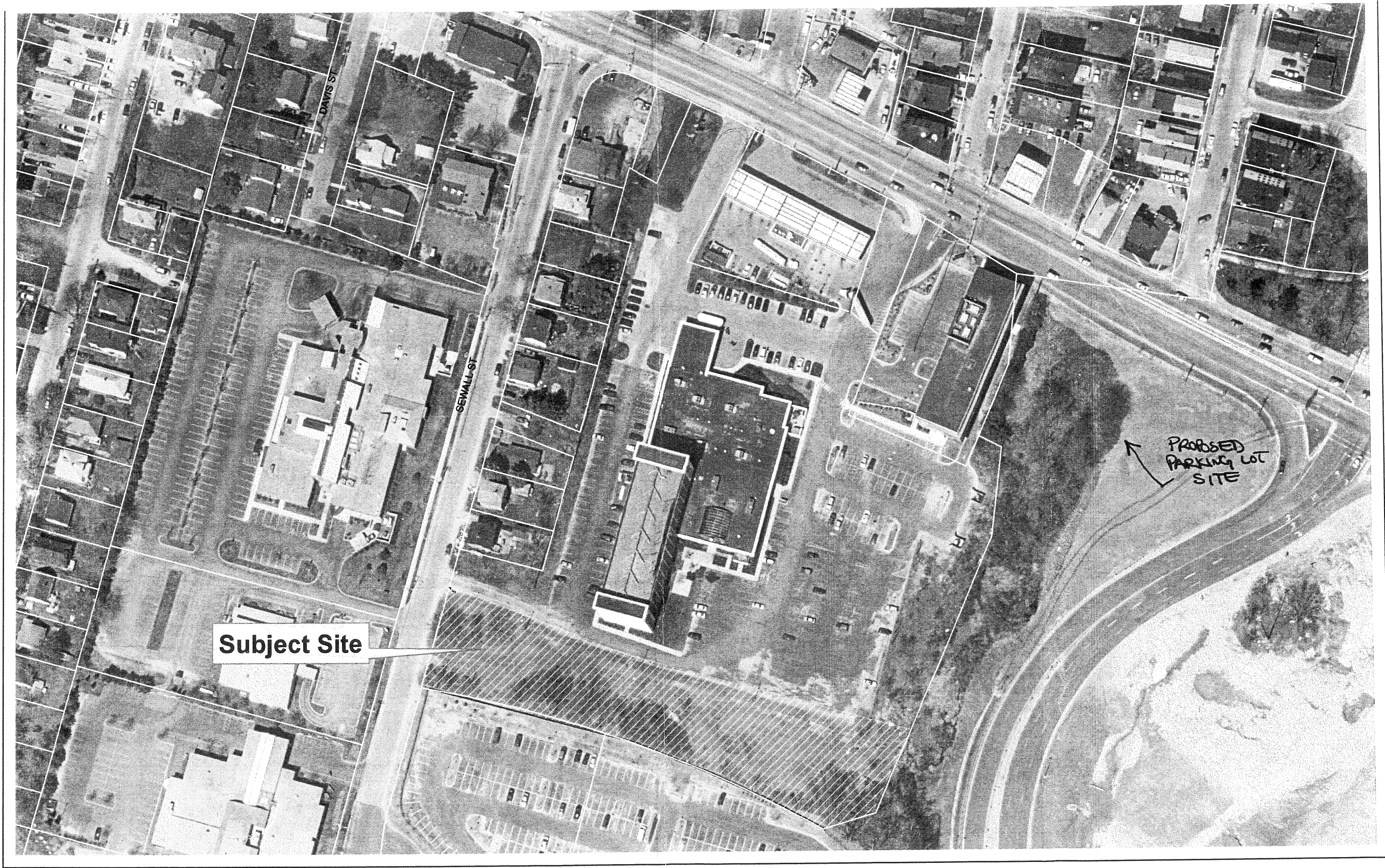


OLYMPIA EQUITY INVESTORS II, LLC  
**INTERPRETIVE SUBSURFACE PROFILE**

Proposed Medical Office Building  
 Sewall Street  
 Portland, Maine

Job No. 04-0983 S  
 Date: 10/05/04

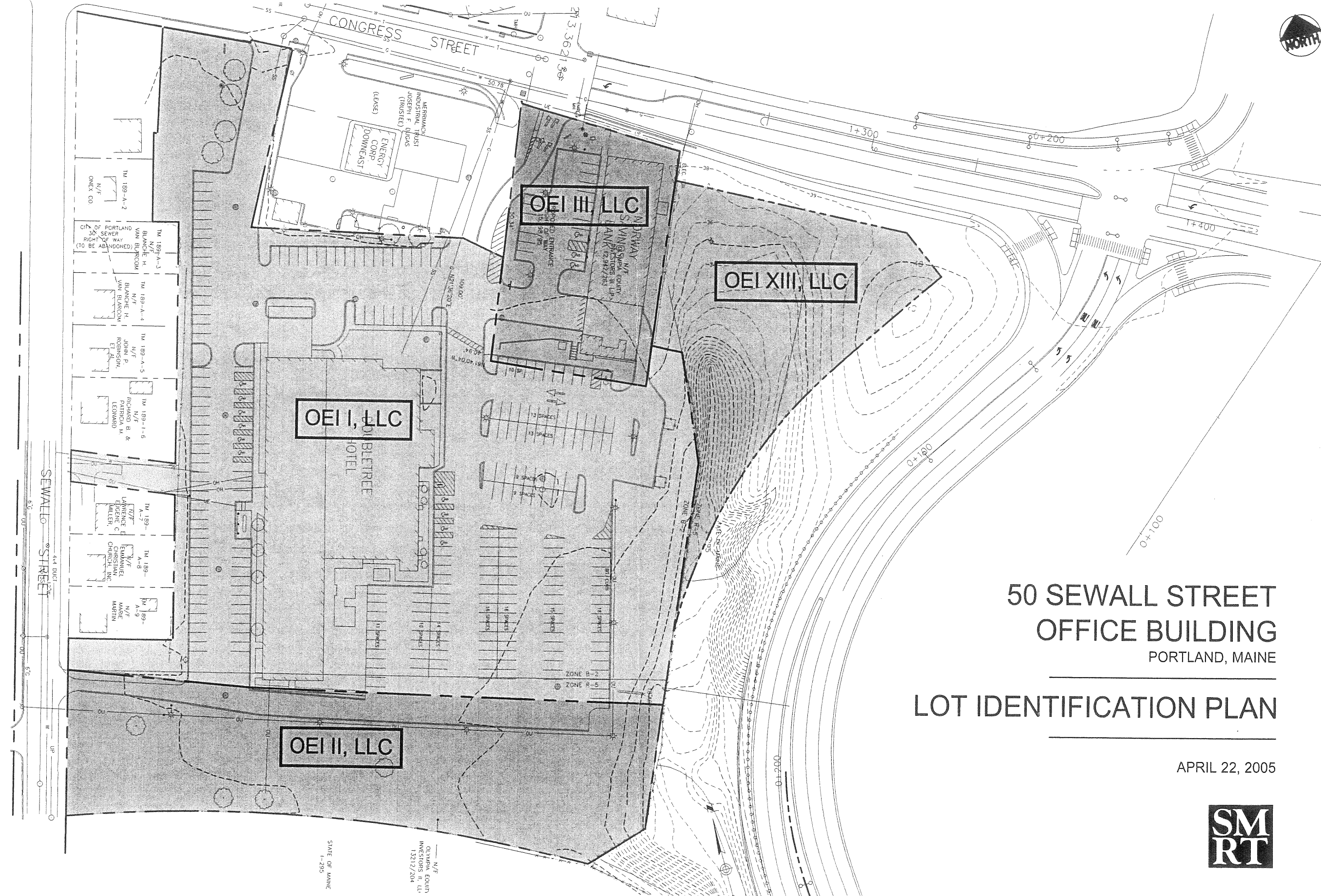
Scale As Shown  
 Sheet 1A



**Vicinity 50 Sewall Street - Olympia Equity Contract Zone - Medical Office Building**

PREPARED BY THE PORTLAND PLANNING DIVISION USING GIS WORKGROUP DATA





**50 SEWALL STREET  
OFFICE BUILDING**  
PORTLAND, MAINE

**LOT IDENTIFICATION PLAN**

APRIL 22, 2005



STATE OF MAINE  
1-295

N/E  
OLYMPIA EQUIN  
INVESTORS II, LLC  
13212/204

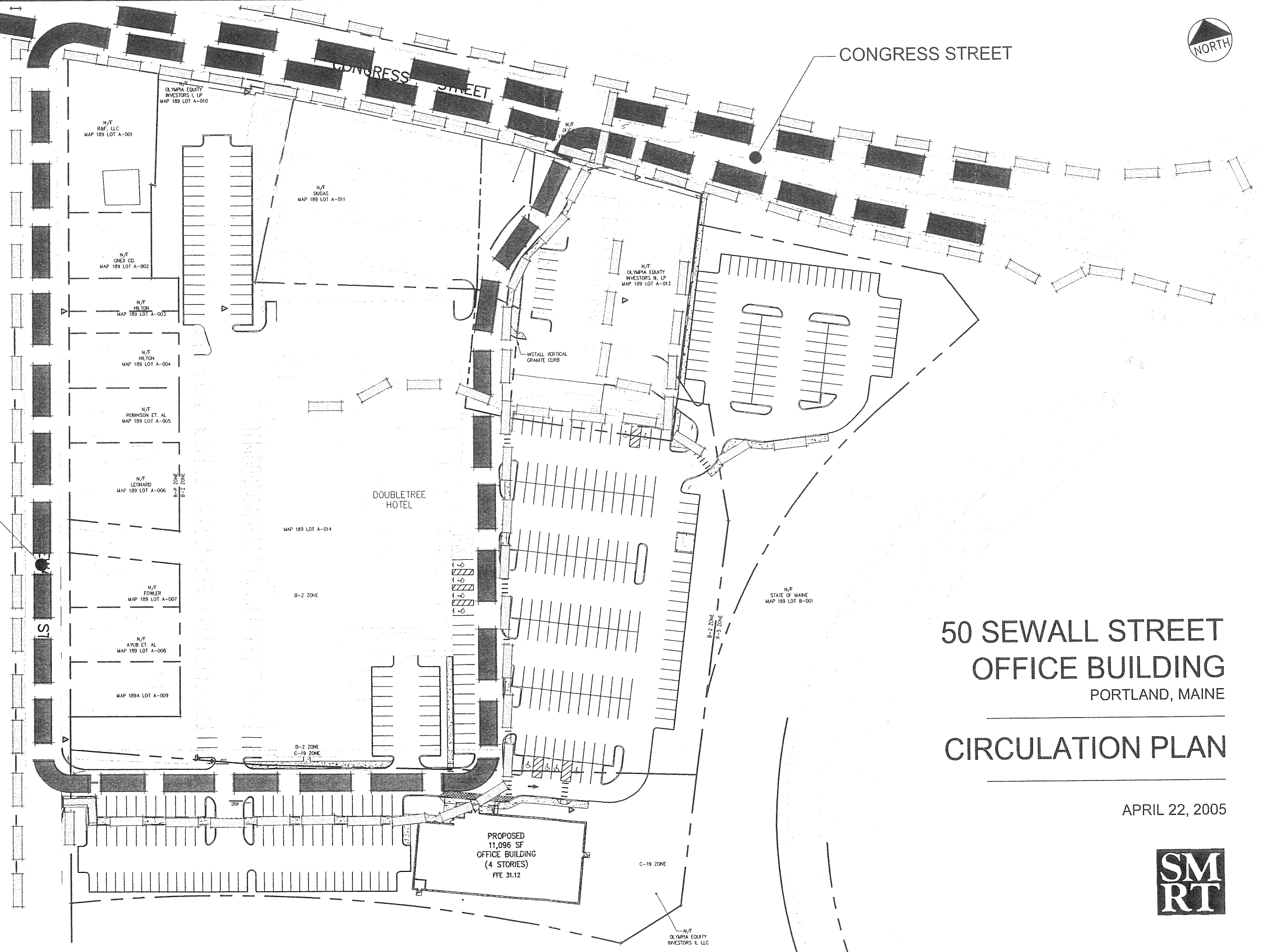




CONGRESS STREET

CONGRESS STREET

SEWALL STREET



50 SEWALL STREET  
OFFICE BUILDING  
PORTLAND, MAINE  
CIRCULATION PLAN

APRIL 22, 2005



PROPOSED  
11,096 SF  
OFFICE BUILDING  
(4 STORIES)  
FFE 31.12

W



May 12, 2005 - 4:56pm

H:\Master Proj Files\OlympiaSewallStreet MOB\cad\components\unacolliders\ACAD-AK.dwg



1 NORTH ELEVATION  
1/8" = 1'-0"

LEGEND

- 1 MASONRY
- 2 METAL PANEL
- 3 EIFS EXTERIOR INSULATION AND FINISH SYSTEM
- 4 VENTILATING METAL PANEL MECHANICAL SCREEN

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50 Sewall Street  
PORTLAND, MAINE

OLYMPIA EQUITY INVESTORS

JOB NO.  
04-132

DRWN. CHK  
tak

SCALE:  
1/8"=1'-0"

ISSUE  
17 December 2004  
Revised  
02 February 2005

TITLE  
Exterior Elevations

SHEET  
A4.1

May 12, 2005 - 4:55pm

H:\Master Proj Files\OlympiaSewallSheet.MOB\cad\comout\kamallender\ACAD\A4.2.dwg



1 SOUTH ELEVATION  
1/8" = 1'-0"

ARCHITECTURE  
INTERIOR  
PLANNING  
ARCHITECTS  
49 DARTMOUTH STREET  
PORTLAND, ME 04109  
207.775.2694 FAX

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50 Sewall Street  
PORTLAND, MAINE

OLYMPIA EQUITY INVESTORS



JOB NO.  
04-132

DRWN. CHK  
tak

SCALE:  
1/8" = 1'-0"

ISSUE  
17 December 2004  
Revised  
02 February 2005

TITLE  
Exterior Elevations

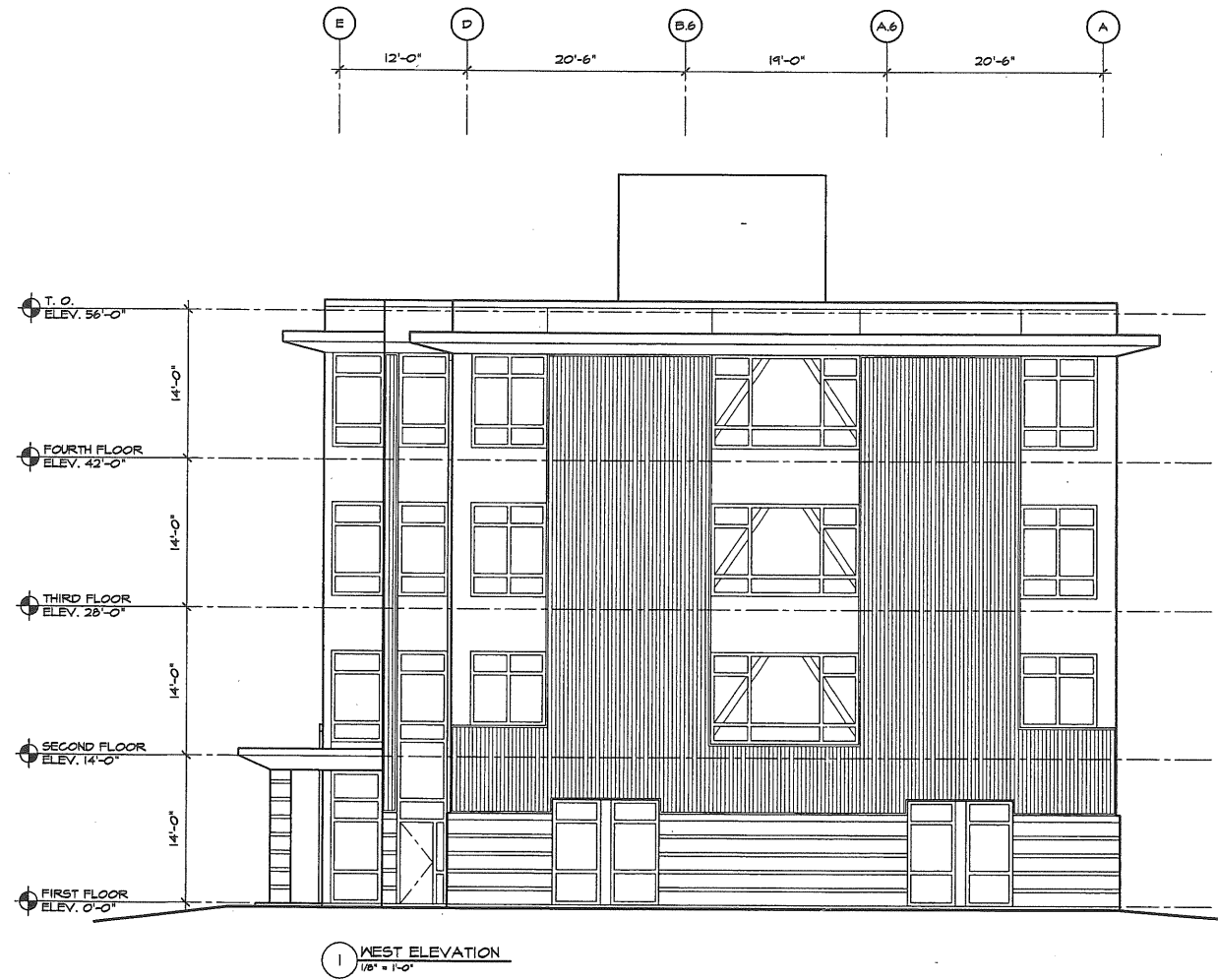
SHEET

A4.2

82

May 12, 2005 - 4:56pm

H:\Master Proj Files\OlympiaSewallStreet MOB\cut\concrete\vacualladder\ACAD\A4X.dwg



ARCHITECTURE  
INTERIOR DESIGN  
PLANNING  
PDT ARCHITECTS

49 DARTMOUTH STREET  
PORTLAND, ME 04101  
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PORTLAND, MAINE

OLYMPIA EQUITY INVESTORS



JOB NO.  
04-132

DRWN. CHK  
tak

SCALE:  
1/8" = 1'-0"

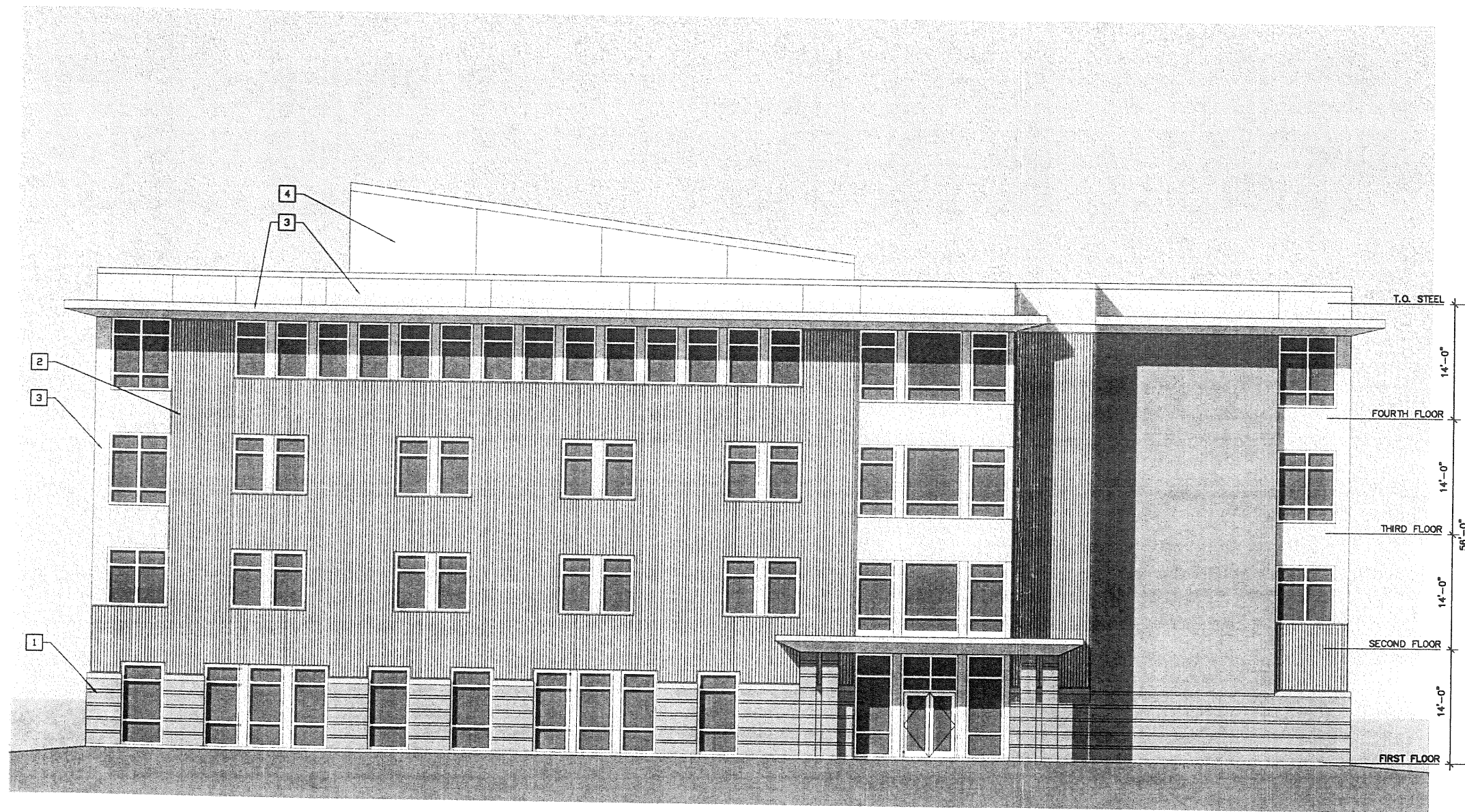
ISSUE  
17 December 2004  
Revised  
02 February 2005

TITLE  
Exterior Elevations

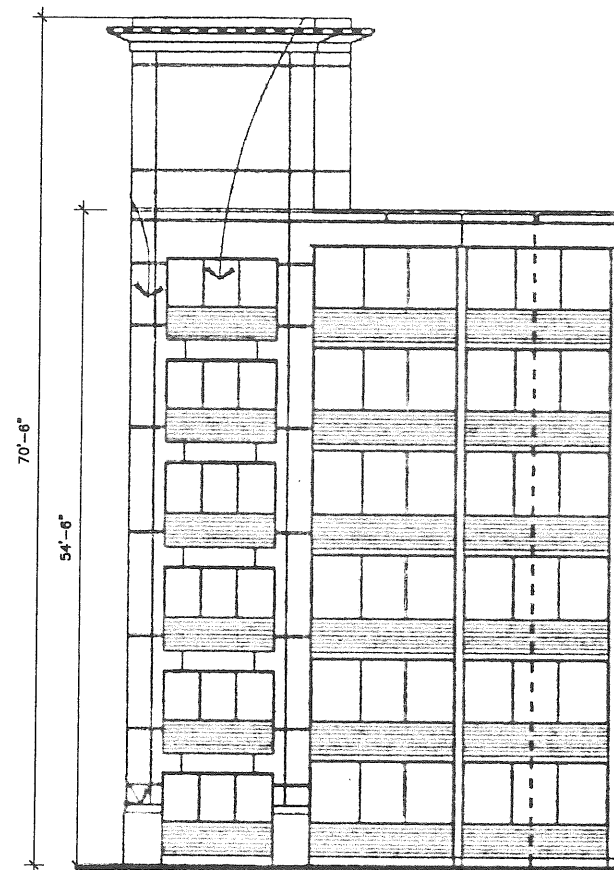
SHEET

A4.3

X3



North Elevation



Partial DoubleTree East Elevation

LEGEND

- 1 MASONRY
- 2 METAL PANEL
- 3 EIFS EXTERIOR INSULATION AND FINISH SYSTEM
- 4 VENTILATING METAL PANEL MECHANICAL SCREEN

50 Sewall Street  
PORTLAND, MAINE

JOB # 04-132  
DATE Revised: 02 February, 2005  
SCALE 1/16"=1'-0"

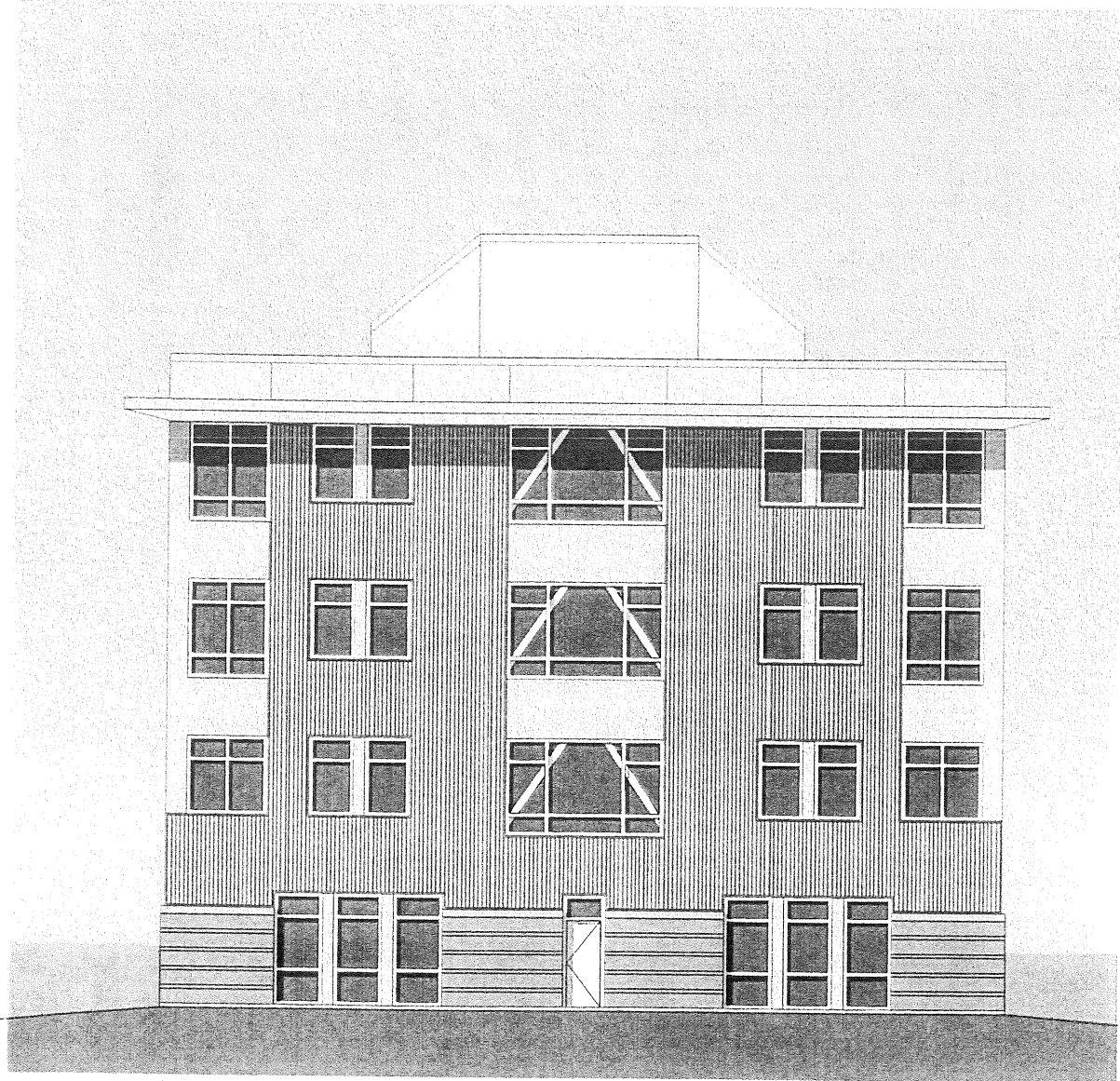
TITLE  
North Elevation

OLYMPIA DESIGN SERVICES

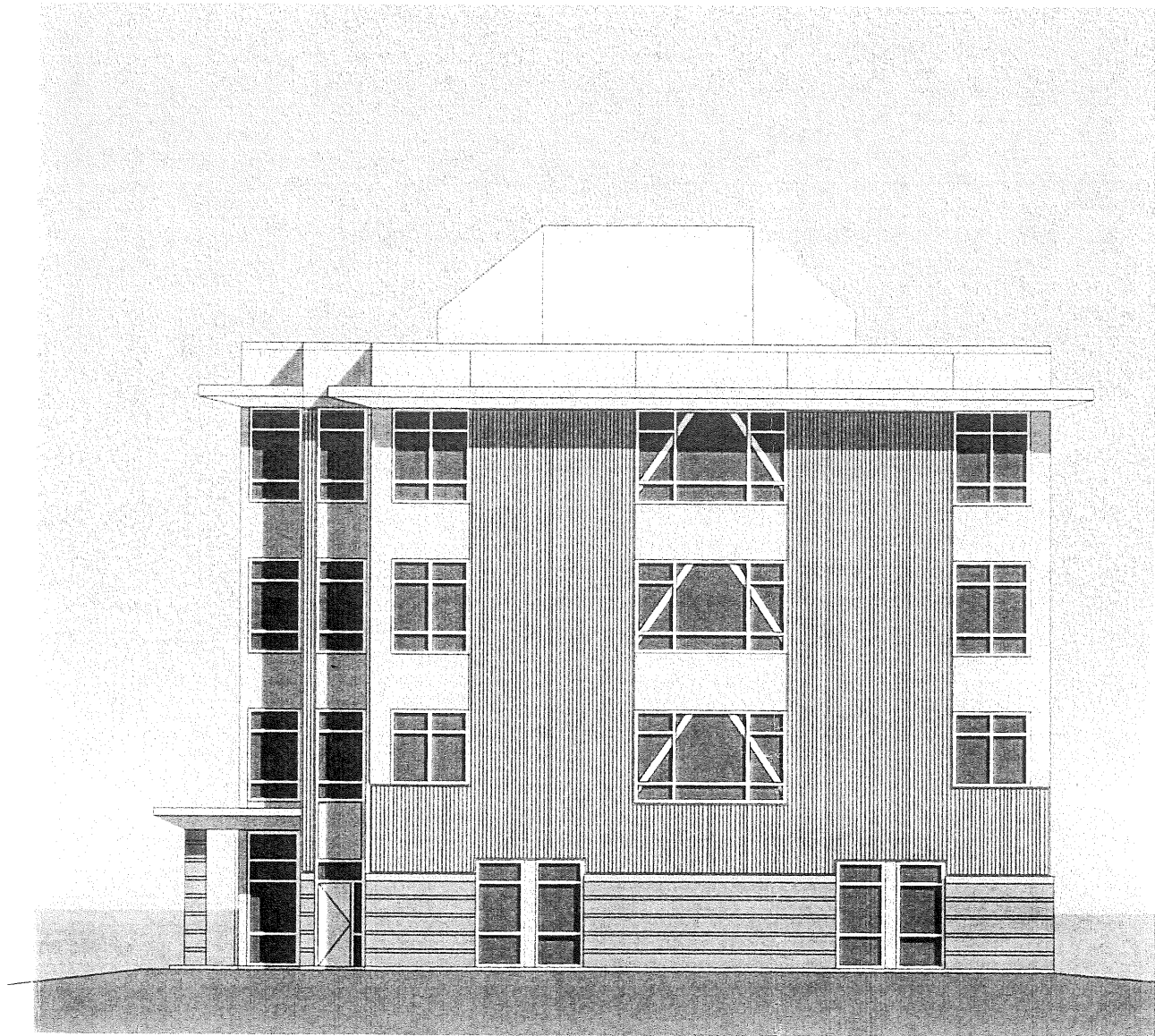
ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

49 DARTMOUTH STREET  
PORTLAND, ME 04101  
207.775-1059  
207.775-2694 FAX

P D T A R G H I T E C T S



East Elevation



West Elevation

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

P D T A R C H I T E C T S  
49 DARTMOUTH STREET  
PORTLAND, ME 04101  
207.775.1050  
207.775.2694 FAX

X5



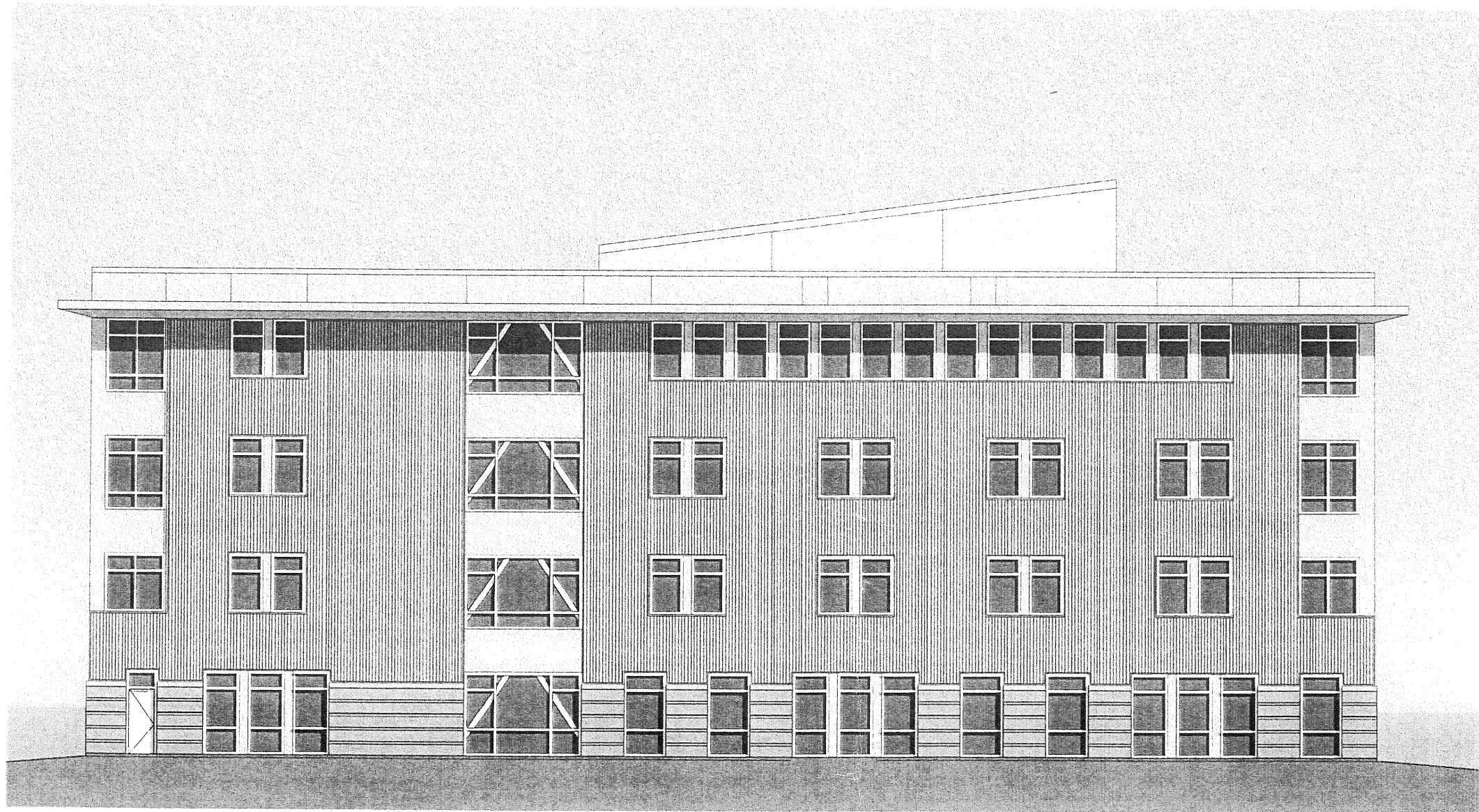
OLYMPIA ARCHITECTURE

50 Sewall Street  
PORTLAND, MAINE

TITLE  
East and West Elevations

JOB # 04-132  
DATE Revised: 02 February, 2005  
SCALE 1/16"=1'-0"

SHEET  
A7



South Elevation



OLYMPIA ARCHITECTS

50 Sewall Street  
PORTLAND, MAINE

TITLE  
South Elevation

JOB # 04-132

DATE Revised: 02 February, 2005

SCALE 1/16"=1'-0"

SHEET

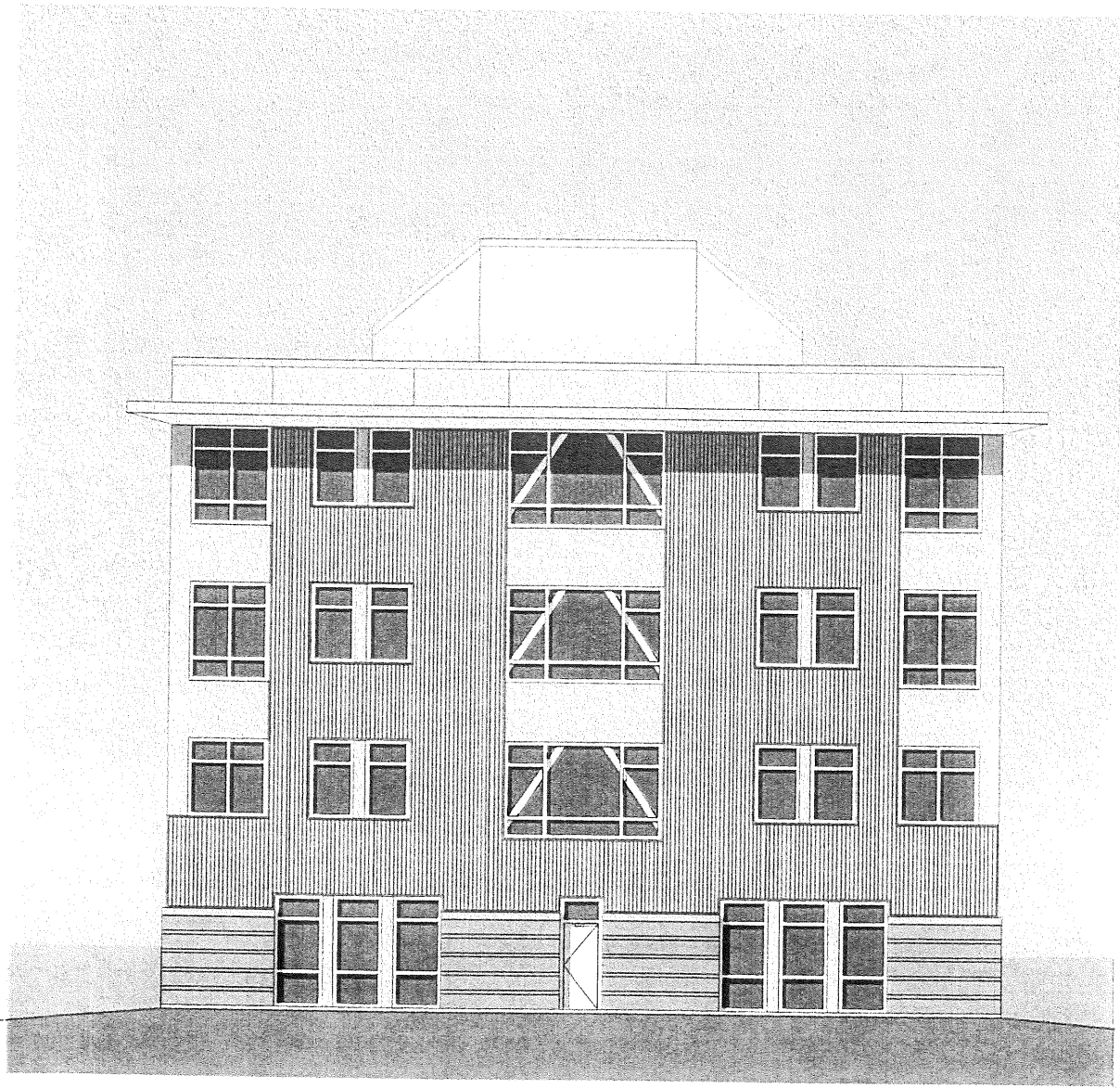
A6

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

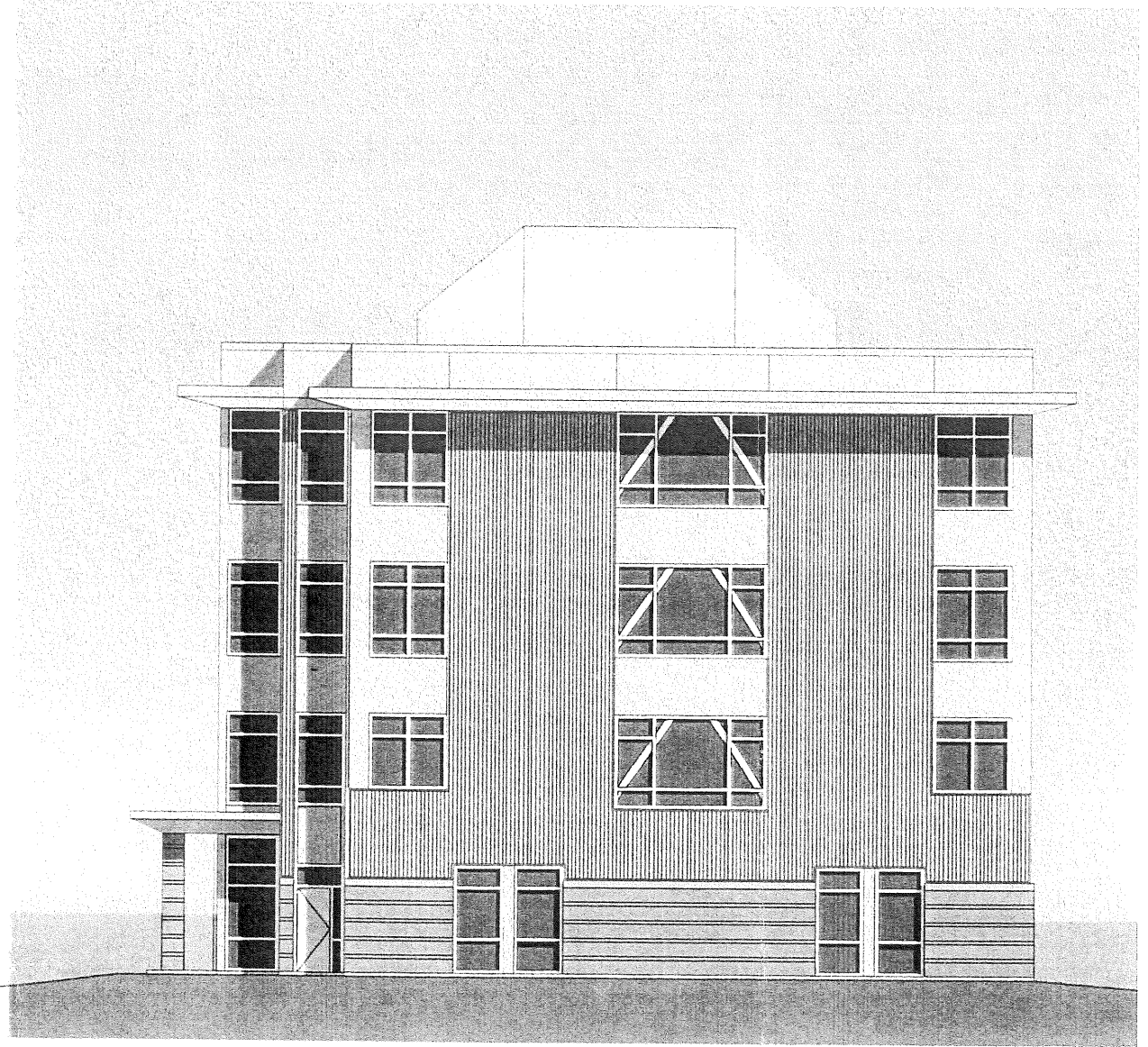
P D T A R C H I T E C T S

49 DARTMOUTH STREET  
PORTLAND, ME 04101  
207 775-1059  
207 775-2694 FAX

16



East Elevation



West Elevation



OLYMPIA ARCHITECTS

**50 Sewall Street**  
PORTLAND, MAINE

JOB #	04-132	SHEET	A7
DATE	Revised: 02 February, 2005		
SCALE	1/16"=1'-0"		

TITLE	East and West Elevations
-------	--------------------------

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

P D T A R C H I T E C T S

49 DARTMOUTH STREET  
PORTLAND, ME 04101  
755-2694 FAX

(X7)





# GENERAL NOTES

- 1. OWNER:**  
 OLYMPIA EQUITY INVESTORS II, LLC  
 280 FORE STREET, SUITE 202  
 PORTLAND, ME 04101
- 2. CONSULTANTS USED FOR PLAN PREPARATION:**  
 PDT ARCHITECTS  
 49 DARTMOUTH STREET  
 PORTLAND, MAINE 04103  
 B. CIVIL ENGINEER  
 DALUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN STREET, SUITE B  
 SOUTH PORTLAND, MAINE 04106
- 3. THE PROJECT IS SITUATED ON ONE LOT WHICH HAS THE FOLLOWING TAX ASSESSOR AND ACREAGE INFORMATION:**
- | MAP | LOT NO. | APPROX. ACREAGE |
|-----|---------|-----------------|
| 189 | A-031   | 1.70            |
- PORTLAND TAX ASSESSOR**
- 4. THE CONTRACTOR SHALL REFER TO THE PROJECT MANUAL FOR CONSTRUCTION SPECIFICATIONS AND BIDDING PROCEDURES.**
- 5. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF THE ENTRANCE, PAVING, UTILITY ENTRANCE POINTS.**
- 6. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE FINAL SERVICE CONNECTIONS.**
- 7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING CORRECT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELocate ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.**
- 8. THE FOLLOWING ITEMS ARE TYPICAL OF THE MATERIALS WHICH WILL BE ENCOUNTERED DURING SITE CLEARING/DEMOLITION. THE BIDDER IS ADVISED TO VISIT THE SITE TO CONFIRM DEMOLITION ITEMS SINCE THE LIST IS NOT ALL-INCLUSIVE OF THE SITE CONDITIONS WHICH MAY BE ENCOUNTERED:**
- CONCRETE FOUNDATIONS/SLABS
  - BITUMINOUS ASPHALT PAVEMENT
  - CONCRETE PAVES AND BLOCKS
  - UNDERGROUND UTILITY LINES (ELECTRIC, WATER, SEWER)
- CITY OF PORTLAND**  
 ATTN: FRANK BRANDELL  
 55 PORTLAND STREET  
 PORTLAND, MAINE 04101  
 (207) 874-8846
- CENTRAL MAINE POWER COMPANY**  
 ATTN: PAUL DUPERRÉ  
 162 CANOE ROAD  
 PORTLAND, MAINE 04103  
 (207) 828-2882
- VERIZON**  
 ATTN: RICHARD HARPER, P.E.  
 139 STATE STREET  
 AUGUSTA, MAINE 04320  
 (207) 626-2021
- DIGSAFE**  
 1-888-344-7233
- NORTHERN UTILITIES**  
 ATTN: PERRY ROBINCHAU  
 P.O. BOX 3566  
 PORTLAND, MAINE 04104  
 (207) 797-8002
- 9. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.**
- 10. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS, LATEST REVISIONS.**

**LANDSCAPE NOTES:**

- ALL PLANT MATERIALS SHALL MEET THE STANDARDS AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL TREES, SHRUB BEDS, ETC. ARE TO BE MULCHED WITH 4" OF SHREDDED HARDWOOD BARK MULCH.
- TOPSOIL PRIOR TO PERMANENT SEEDING.
- ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL PRIOR TO PERMANENT SEEDING.

**GRADING & DRAINAGE NOTES:**

- ALL STORM DRAIN PIPE SHALL BE 508-35 POLYETHYLENE GLYCOL PIPE OR HDPE N-12 UNLESS EXPOSED TO SUNLIGHT, IN WHICH CASE HDPE N-12 SHALL BE USED.

**EROSION CONTROL NOTES:**

- LAND DISTURBING ACTIVITIES SHALL BE ACCOMPLISHED IN A MANNER AND SEQUENCE THAT CAUSES THE LEAST PRACTICAL DISTURBANCE OF THE SITE.
- PRIOR TO BEGINNING ANY CLEARING/LAND DISTURBING ACTIVITIES, THE CONTRACTOR SHALL INSTALL THE PERMETER SILT FENCES AND THE CONSTRUCTION ENTRANCE.
- ALL GROUND AREAS GRADED FOR CONSTRUCTION WILL BE GRADED, LOAMED AND SEEDS AS SOON AS POSSIBLE.
- THE CONTRACTOR SHALL FLUSH SILT FROM PRIOR TO PAVING.
- ALL STORM DRAIN LINES SHALL BE REPAIRED AND CLEANED AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
- SILT FENCES SHALL BE INSPECTED, REPAIRED AND CLEANED AS NECESSARY OR AS DIRECTED BY THE ENGINEER.
- CONSTRUCTION ENTRANCE AS IT BECOMES SATURATED WITH MUD TO THE CONTRACTOR SHALL REPAIR AND ADD STONE TO THE CONSTRUCTION ENTRANCE.
- SILT REMOVED FROM AROUND INLETS AND BEHIND THE SILT FENCES SHALL BE PLACED ON A TOPSOIL STOCKPILE AND MIXED INTO IT FOR LATER USE IN LANDSCAPING OPERATIONS.
- THE CONTRACTOR IS CAUTIONED THAT FAILURE TO COMPLY WITH THE SEQUENCE OF CONSTRUCTION EROSION/SEDIMENT CONTROL PLAN, AND OTHER PERMIT REQUIREMENTS MAY RESULT IN MONETARY PENALTIES. THE CONTRACTOR SHALL BE ASSESSED ALL SUCH PENALTIES AT NO COST TO THE OWNER OR PERMITTEE.

**DEMOLITION NOTES:**

- THE FOLLOWING ITEMS ARE TYPICAL OF THE MATERIALS WHICH WILL BE ENCOUNTERED DURING SITE CLEARING/DEMOLITION. THE BIDDER IS ADVISED TO VISIT THE SITE TO CONFIRM DEMOLITION ITEMS SINCE THE LIST IS NOT ALL-INCLUSIVE OF THE SITE CONDITIONS WHICH MAY BE ENCOUNTERED:
- CONCRETE FOUNDATIONS/SLABS
- BITUMINOUS ASPHALT PAVEMENT
- CONCRETE PAVES AND BLOCKS
- UNDERGROUND UTILITY LINES (ELECTRIC, WATER, SEWER)

- ALL EXCAVATION WORK SHALL BE SUBJECT TO THE CITY OF PORTLAND STREET OPENING ORDINANCE.
- THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING ADJACENT TO THE 295 RAMPS.

# LEGEND

EXISTING	DESCRIPTION	PROPOSED
	PROPERTY/ROW LINE	
	CONSTRUCTION CENTERLINE	
	GRANITE BOLLARD	
	IRON PIPE/ROD FOUND	
	IRON ROD SET	
	RADIUS POINT	
	TEST PIT	
	TEST BORING	
	TEST PROBE	
	TREELINE	
	TREES/LANDSCAPING	
	SIGN	
	LIMIT OF WORK	
	LIGHT POST	
	UTILITY POLE	
	ELECTRIC CONTROL BOX	
	GRADING CONTOUR LINE	
	GRADING SPOT GRADE	
	CATCH BASIN SEDIMENT TRAP	
	BUILDING	
	EDGE OF PAVEMENT	
	PAVED ISLAND w/ CURBS	
	CURB	
	GRANITE CURBS	
	PAVEMENT STRIPING	
	FIRE HYDRANT	
	CATCH BASIN	
	MANHOLE	
	WATER GATE/VALVE	
	OVERHEAD WIRES	
	WATER LINE	
	STORM DRAIN LINE	
	SAINTARY SEWER LINE	
	UNDERGROUND ELECTRIC	
	UNDERGROUND TELEPHONE	
	SIDEWALK	
	BRICK SIDEWALK	
	WETLANDS	
	SOD AREAS	

12

REV	DATE	DESCRIPTION
2	05/12/05	SUBMITTED FOR FINAL SITE PLAN REVIEW
1	04/09/05	SUBMITTED FOR SITE PLAN REVIEW

REVISIONS

PROJECT: 50 SEWALL STREET OFFICE BUILDING

CUSTOMER: OLYMPIA EQUITY INVESTORS II, LLC

DATE: MARCH 2005

SCALE: N.T.S.

CHECKED: CJO

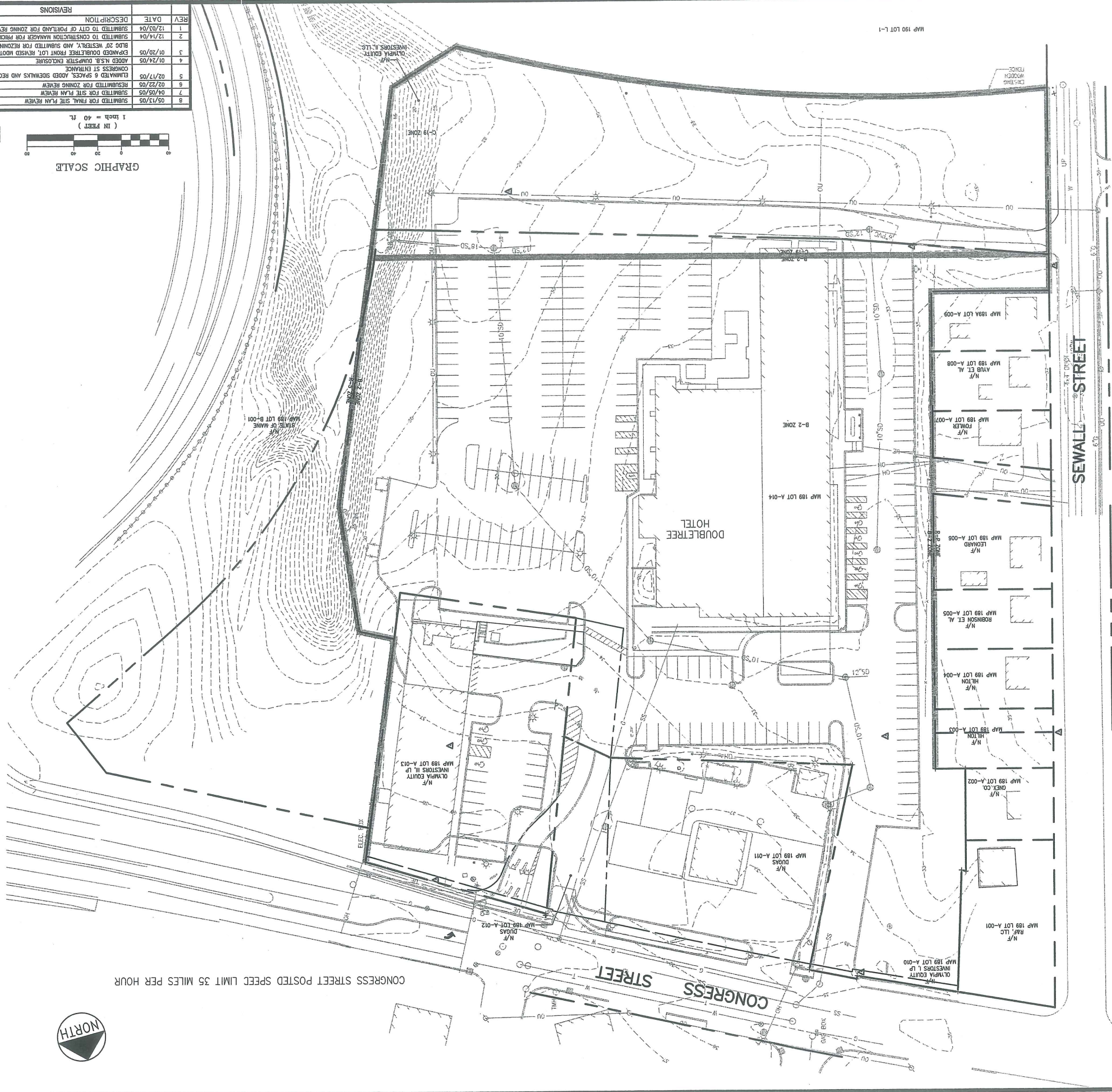
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SHEET: C-2

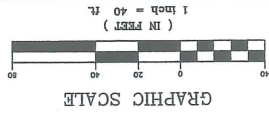


PRELIMINARY NOT FOR CONSTRUCTION

SEWALL STREET POSTED SPEED  
LIMIT 25 MILES PER HOUR



CONGRESS STREET POSTED SPEED LIMIT 35 MILES PER HOUR



REV	DATE	DESCRIPTION
1	12/03/04	SUBMITTED TO CITY OF PORTLAND FOR ZONING REVIEW
2	12/14/04	SUBMITTED TO CONSTRUCTION MANAGER FOR PERMITS
3	01/20/05	SPANNED DOUBLE TREE FRONT LOT, REVERSED HOOT LOT, MOVED
4	01/24/05	ADDED N.S.B. QUARTER ENCLOSURE
5	02/17/05	ELIMINATED 6 SPACES, ADDED SIDEWALKS AND RECONFIGURED CONGRESS ST ENTRANCE
6	02/22/05	RESUBMITTED FOR ZONING REVIEW
7	04/05/05	SUBMITTED FOR SITE PLAN REVIEW
8	05/13/05	SUBMITTED FOR FINAL SITE PLAN REVIEW



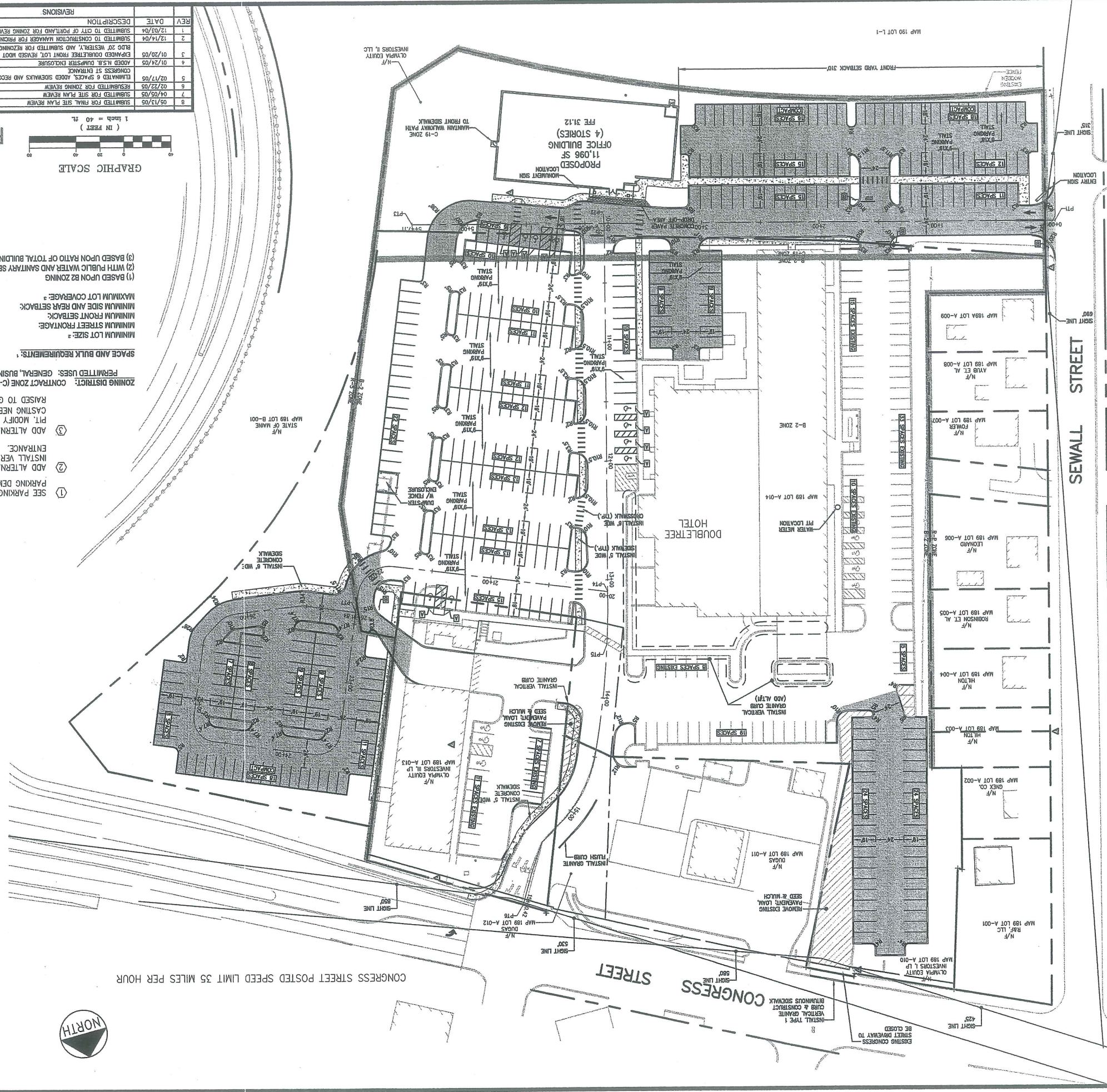
PROJECT: 50 SEWALL STREET OFFICE BUILDING  
 CLIENT: OLYMPIA EQUITY INVESTORS II, LLC  
 SHEET TITLE: EXISTING CONDITIONS PLAN

DATE: DEC. 2004  
 SCALE: 1" = 40'  
 JOB NO.: 2489  
 FILE NAME: 2489-SP  
 SHEET: C-3

PRELIMINARY NOT FOR CONSTRUCTION

Y3

SEWALL STREET POSTED SPEED  
LIMIT 25 MILES PER HOUR

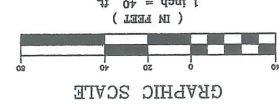


REV	DATE	DESCRIPTION
8	05/13/05	SUBMITTED FOR FINAL SITE PLAN REVIEW
7	04/05/05	SUBMITTED FOR SITE PLAN REVIEW
6	02/22/05	RESUBMITTED FOR ZONING REVIEW
5	02/17/05	MAINTAINED 6 SPACES, ADDED SIDEWALKS AND RECONFIGURED CONCRESS ST. ENTRANCE
4	01/24/05	ADDED 15.5L. DIMENSION ENCLOSURE
3	01/20/05	EXPANDED DOUBLE TREE FRONT LOT, REISED HOOT LOT, MOVED BUD 20 WESTERLY, AND SUBMITTED FOR REZONING
2	12/14/04	SUBMITTED TO CONSTRUCTION MANAGER FOR PRICING
1	12/03/04	SUBMITTED TO CITY OF PORTLAND FOR ZONING REVIEW



PROJECT: 50 SEWALL STREET OFFICE BUILDING  
 CLIENT: OLIMPIA EQUITY INVESTORS II, LLC  
 SHEET TITLE: SITE PLAN

DATE	BY	DESCRIPTION
DEC. 2004	WMD	DRAMA
	WMD	DESIGNED
	WMD	CHECKED
	WMD	FILE NAME



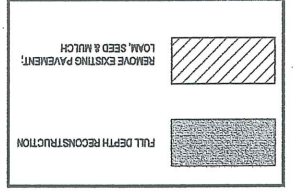
- ZONING DISTRICT:** CONTRACT ZONE (C-19 OFFICE BUILDING, R-5 BANK RAISED TO GRADE (+2.4')).
- PERMITTED USES:** GENERAL, BUSINESS AND PROFESSIONAL OFFICES
- SPACE AND BULK REQUIREMENTS:**
- MINIMUM LOT SIZE: 2 10,000 SF
  - MINIMUM STREET FRONTAGE: 50 FEET
  - MINIMUM FRONT SETBACK: NONE
  - MINIMUM SIDE AND REAR SETBACK: 10 FEET
  - MAXIMUM LOT COVERAGE: 80%
- PROVIDED:**
- 73,578 SF
  - 139 FEET
  - 310 FEET
  - 70.2%
- (1) BASED UPON B2 ZONING**
- (2) WITH PUBLIC WATER AND SANITARY SEWER**
- (3) BASED UPON RATIO OF TOTAL BUILDING AREA TO LOT AREA**

CURVE DATA TABLE

CURVE	PT STATION	RADIUS	DELTA	TANGENT	PC STATION
C1	458.40	5.3342	31.6° E	194.45	194.45
C2	29.78	5.9875	49.7° W	39.78	39.78
C3	62.81	8.9582	21.1° E	74.78.99	74.78.99
C4	21.48	2.4035	03.7° W	15.98	12+408.80
C5	68.53	13+77.52	75.0°	48.68	12+91.19

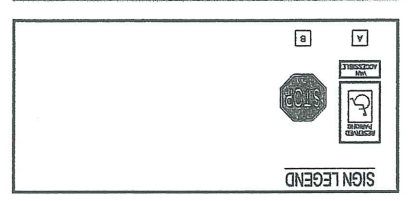
LINE DATA TABLE

LINE	BEARING	DISTANCE
L1	S 33°42' 31" E	458.40
L2	N 64°40' 49" E	194.45
L3	S 56°15' 49" W	39.78
L4	S 33°42' 31" E	396.78
L5	N 57°45' 35" W	51.11
L6	S 55° 17' 28" W	239.24



REFER TO DETAIL DRAWINGS FOR INFORMATION ON FRAMES, CROSSWALKS, STOPS BARS & MARKINGS, AND OTHER STRIPING REQUIREMENTS.

2. ALL ADA SIGNS SHALL COMPLY WITH DETAILS SHOWN IN THIS DRAWING SET.



**LAYOUT TABLE**

POINT	EASTING	NORTHING
DHA 10000	10,000.0000	10,000.0000
DHA 10001	10,158.2207	10,158.2207
DHA 10002	9,972.8828	9,972.8828
DHA 10003	9,844.4231	9,844.4231
DHA 10004	10,145.6112	9,524.5598
DHA 10005	9,937.1707	9,937.1707

CONGRESS STREET POSTED SPEED LIMIT 35 MILES PER HOUR

APPROVAL—CITY OF PORTLAND PLANNING BOARD

DATE: \_\_\_\_\_

CHAIRPERSON: \_\_\_\_\_

44

**DLUCA-HOFFMAN ASSOCIATES, INC.**  
 778 MAIN STREET, SUITE B  
 SOUTH PORTLAND, ME 04106  
 WWW.DLUCA-HOFFMAN.COM

**PROJECT**  
 50 SEWALL STREET OFFICE BUILDING

**SHEET TITLE**  
 GRADING & DRAINAGE PLAN

**CUSTOMER**  
 OLYMPIA EQUITY INVESTORS II, LLC

**FILE NAME:** 2498-SP  
**CHECKED:** CJO JOB NO. 2498  
**DESIGNED:** CJO SCALE: 1"=40'  
**DATE:** NOV. 2004  
**LEAD:** DATE: NOV. 2004

**REVISIONS**

REV	DATE	DESCRIPTION
1	12/03/04	SUBMITTED TO CITY OF PORTLAND FOR ZONING REVIEW
2	12/14/03	SUBMITTED TO CONSTRUCTION MANAGER FOR REVIEW
3	01/20/05	ADDED DOUBLE TREE FRONT LOT, REVISED MOOT LOT, MOVED
4	01/24/05	ADDED N.S.B. DOUBLE TREE ENCLOSURE
5	02/17/05	ELIMINATED 6 SPACES, ADDED SIDEWALKS AND RECONFIGURED
6	02/22/05	RESUBMITTED FOR ZONING REVIEW
7	04/05/05	SUBMITTED FOR SITE PLAN REVIEW
8	05/13/05	SUBMITTED FOR FINAL SITE PLAN REVIEW

**PC #9108**  
 P.E. CHRISTOPHER L. OSTERBERGER  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF MAINE  
 9108

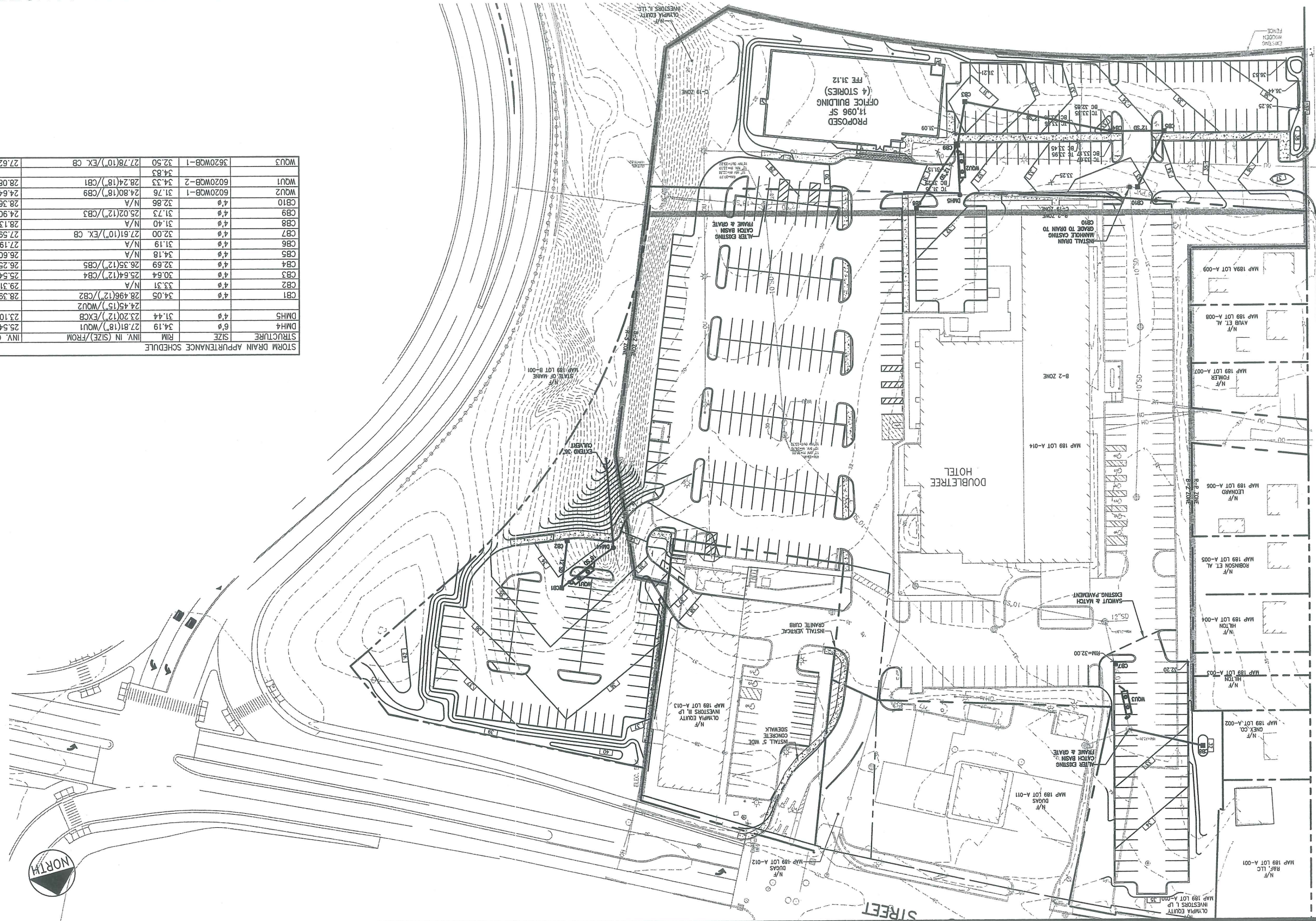
**GRAPHIC SCALE**  
 1 inch = 40 ft

**PRELIMINARY NOT FOR CONSTRUCTION**

NS

**STORM DRAIN APPURTENANCE SCHEDULE**

STRUCTURE	SIZE	RIM	INV. IN (SIZE)/FROM	INV. OUT (SIZE)/TO
DMH4	4'ø	31.44	27.81(18'')/WOU1	25.54(36'')/OUTFALL
DMH5	4'ø	31.44	23.20(12'')/EXCB	23.10(12'')/EX. CB
CB1	4'ø	34.05	28.496(12'')/CB2	28.396(18'')/WOU1
CB2	4'ø	33.31	N/A	29.31(12'')/CB1
CB3	4'ø	30.64	25.64(12'')/CB4	25.54(12'')/CB9
CB4	4'ø	32.69	26.35(12'')/CB5	26.25(12'')/CB3
CB5	4'ø	34.18	N/A	26.60(12'')/CB4
CB6	4'ø	31.19	N/A	27.19(12'')/DMH5
CB7	4'ø	32.00	27.61(10'')/EX. CB	27.59(12'')/EX. CB
CB8	4'ø	31.40	N/A	28.13(10'')/EX. CB
CB9	4'ø	32.86	N/A	28.36(12'')/WOU2
CB10	4'ø	32.86	N/A	28.36(12'')/CB5
WOU2	6020WOB-1	31.76	24.80(18'')/CB9	24.64(18'')/DMH5
WOU1	6020WOB-2	34.33	28.24(18'')/CB1	28.08(18'')/DMH4
WOU3	3620WOB-1	32.50	27.78(10'')/EX. CB	27.62(10'')/CB7



**SEWALL STREET**

**STREET**

**PROJECT**  
50 SEWALL STREET OFFICE BUILDING

**CLIENT**  
OLYMPIA EQUITY INVESTORS II, LLC

**PROJECT TIME**  
EROSION & SEDIMENT CONTROL PLAN

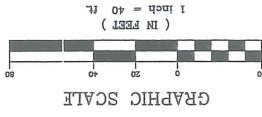
**DRAMA**  
LCAI DATE: NOV. 2004  
SCALE: 1" = 40'  
JOB NO. 2498  
FILE NAME: 2498-SP  
SHEET: C-5A

**DESIGNED BY**  
DH ASSOCIATES, INC.  
77 MAIN STREET, SUITE 8  
SCOTT BOSTON, MA 02108  
WWW.DHASSOCIATES.COM

**REVISIONS**

REV	DATE	DESCRIPTION
1	12/03/04	SUBMITTED TO CITY OF PORTLAND FOR ZONING REVIEW
2	12/17/03	SUBMITTED TO CONSTRUCTION MANAGER FOR PRICING
3	01/20/05	BLDG 20 WESTERLY, AND SUBMITTED FOR REZONING
4	01/24/05	ADDED N.S.A. QUARTER ENCLOSURE
5	02/17/05	ELIMINATED 3 SPACES, ADDED SIDEWALKS AND RECONFIGURED CONCRETE ST. ENTRANCE
6	02/22/05	RESUBMITTED FOR ZONING REVIEW
7	04/05/05	SUBMITTED FOR FINAL SITE PLAN REVIEW
8	05/17/05	SUBMITTED FOR FINAL SITE PLAN REVIEW

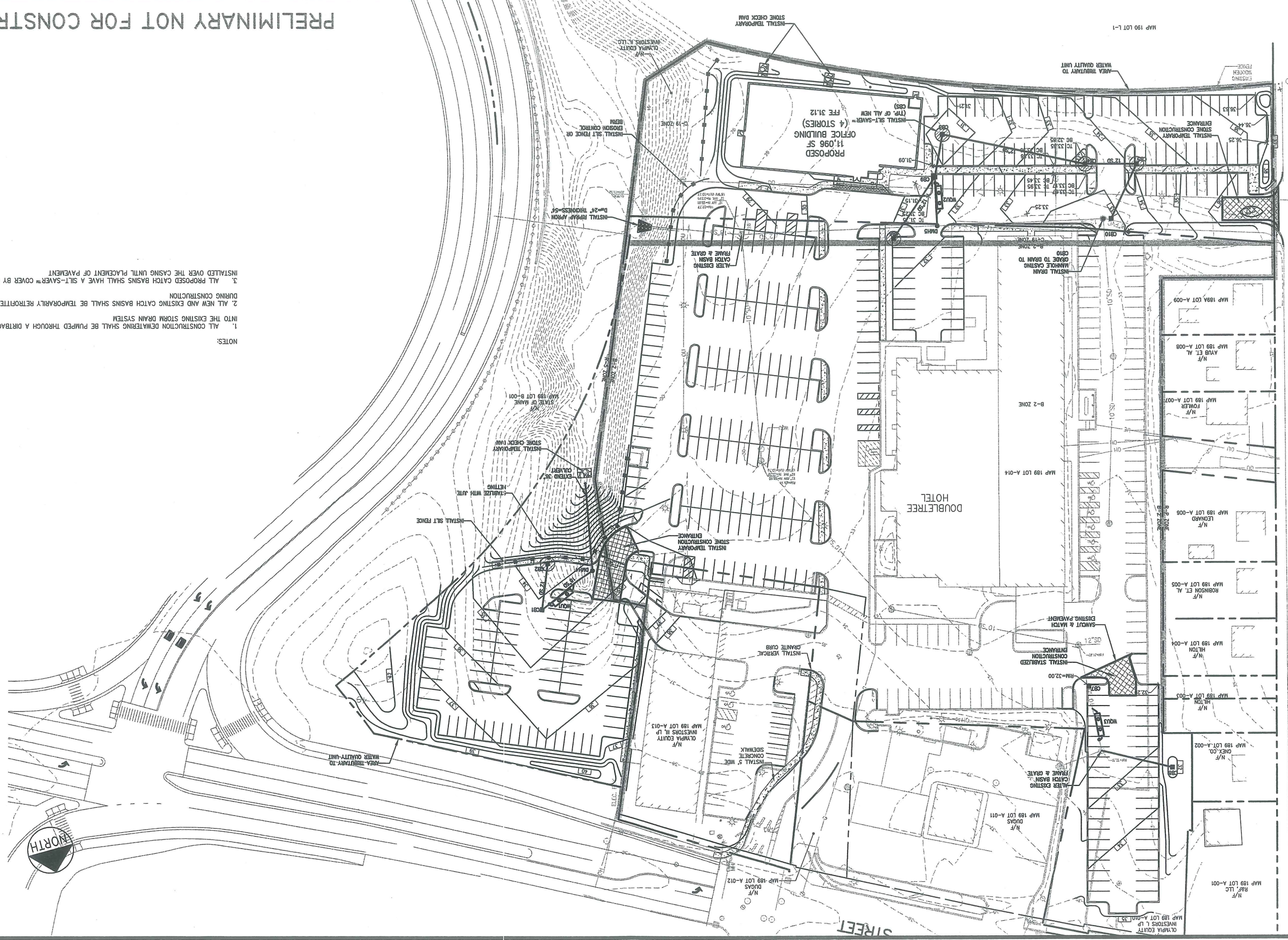
UC # 9108  
P.E. CHRISTOPHER J. OSTRANDER



PRELIMINARY NOT FOR CONSTRUCTION

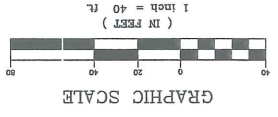
Y6

- NOTES:
1. ALL CONSTRUCTION DEWATERING SHALL BE PUMPED THROUGH A DIRTAG™ PRIOR TO DISCHARGE INTO THE EXISTING STORM DRAIN SYSTEM.
  2. ALL NEW AND EXISTING CATCH BASINS SHALL BE TEMPORARILY RETROFITTED WITH SORBENT BOOMS DURING CONSTRUCTION.
  3. ALL PROPOSED CATCH BASINS SHALL HAVE A SILT-SAVER™ COVER BY W.H. SHURTLEFF INC. INSTALLED OVER THE CASING UNTIL PLACEMENT OF PAVEMENT.



SEWALL STREET

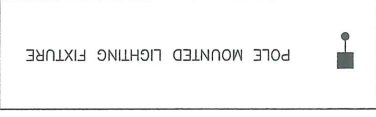
REV	DATE	DESCRIPTION
1	12/03/04	SUBMITTED TO CITY OF PORTLAND FOR ZONING REVIEW
2	12/17/04	SUBMITTED TO CONSTRUCTION MANAGER FOR PRICING
3	01/20/05	EXPANDED DOUBLETREE FRONT LOT, REVISED FRONT LOT, MOVED BLDG 20 WESTERLY, AND SUBMITTED FOR REZONING
4	01/24/05	ADDED N.S.B. DUMPSTER ENCLOSURE
5	02/17/05	RELOCATED & SPACES, ADDED SIDEWALKS AND RECONFIGURED CONCRETE ST. FINISHES
6	02/22/05	RELOCATED FOR ZONING REVIEW
7	04/05/05	SUBMITTED FOR SITE PLAN REVIEW
8	05/13/05	SUBMITTED FOR FINAL SITE PLAN REVIEW



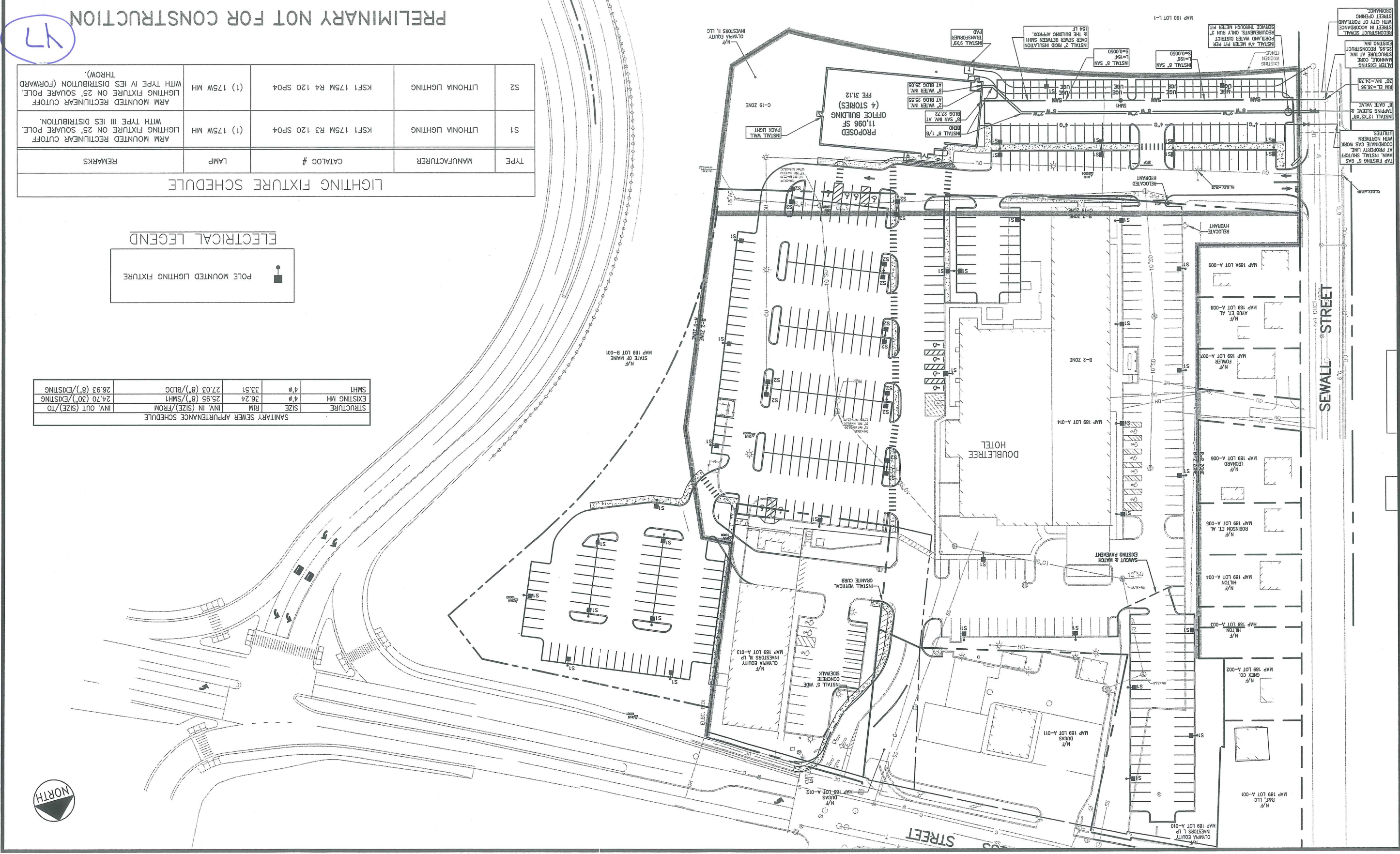
**PRELIMINARY NOT FOR CONSTRUCTION**

TYPE	MANUFACTURER	CATALOG #	LAMP	REMARKS
S1	LITHONIA LIGHTING	KSF1 175M R3 120 SP04	(1) 175W MH	ARM MOUNTED RECTILINEAR CUTOFF LIGHTING FIXTURE ON 25' SQUARE POLE. WITH TYPE III IES DISTRIBUTION.
S2	LITHONIA LIGHTING	KSF1 175M R4 120 SP04	(1) 175W MH	ARM MOUNTED RECTILINEAR CUTOFF LIGHTING FIXTURE ON 25' SQUARE POLE. WITH TYPE IV IES DISTRIBUTION (FORWARD THROW).

**ELECTRICAL LEGEND**



STRUCTURE	SIZE	RIM	INV. IN (SIZE)/FROM	INV. OUT (SIZE)/TO	EXISTING MH	SMHT
	4'	36.24	25.95 (6')/SMHT	24.70 (30')/EXISTING	4'	
	4'	33.51	27.03 (8')/BLDG	26.93 (8')/EXISTING	4'	



EXISTING 6" GAS  
TAP EXISTING 6" GAS  
AT PROPERTY LINE  
MAIN INSTALL SHUTOFF  
COORDINATE GAS WORK  
UTILITIES  
WITH HOSE/EN  
COMPOSITE GAS WORK  
TAPPING SLEEVE &  
GATE VALVE  
LOT INV=24.78  
MANHOLE COPE  
STRUCTURE AT INV.  
25.95, RECONSTRUCT  
EXISTING INV.  
RECONSTRUCT 3" SMALL  
STREET OPENING  
STREET IN ACCORDANCE  
WITH CITY OF PORTLAND  
ORDINANCE

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PROJECT: 50 SEWALL STREET OFFICE BUILDING  
SHEET TITLE: UTILITY PLAN  
CLIENT: OLYMPIA EQUITY INVESTORS II, LLC  
LIC. #9106  
P.E. CHRISTOPHER A. OSTERBERGER

DRAMA: NOV. 2004  
SCALE: 1" = 40'  
JOB NO.: 2498  
FILE NAME: 2498-SF-C-6  
SHEET

PRELIMINARY NOT FOR CONSTRUCTION

REV.	DATE	DESCRIPTION
1	12/14/04	SUBMITTED TO CONSTRUCTION MANAGER FOR PRICING
2	04/05/05	SUBMITTED FOR SITE PLAN REVIEW
3	05/12/05	SUBMITTED FOR FINAL SITE PLAN REVIEW

PROJECT	30 SEWALL STREET OFFICE BUILDING
SHEET TITLE	MISCELLANEOUS DETAILS
CLIENT	OLYMPIA EQUITY INVESTORS II, LLC
DRAWN	DED
CHECKED	CJO
DESIGNED	N.T.S.
SCALE	N.T.S.
DATE	DEC. 2004
FILE NAME	2498-DET-C-7

