

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT



This is to certify that

OLYMPIA EQUITY INVESTORS I LP /Netcom Wireless
Facilities

PERMIT ID: 2013-00177

Located at

1230 CONGRESS ST

CBL: 189 A014001

has permission to **Install fiber dist box w/ in lease area. Replace existing antenna's, equipment cabinets, coax cable w/ hybrid flex cables and replace local exchange carrier w/ fiber optics**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
THERE IS A PENALTY FOR REMOVING THIS CARD**

PERMIT ID: 2013-00177

Located at: 1230 CONGRESS ST

CBL: 189 A014001

BUILDING PERMIT INSPECTION PROCEDURES
Please call 874-8703 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

REQUIRED INSPECTIONS:

Electrical Close-in
Final - Electric
Electrical Service

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 2013-00177	Issue Date:	CBL: 189 A014001
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Location of Construction: 1230 CONGRESS ST	Owner Name: OLYMPIA EQUITY INVESTORS I LP	Owner Address: PO BOX 508 PORTLAND, ME 04112	Phone:
Business Name:	Contractor Name: Netcom Wireless Facilities	Contractor Address: 10 Aevo Park Drive Unit 3 Plymouth MA 02360	Phone: (508) 732-0020
Lessee/Buyer's Name	Phone:	Permit Type: Radio/Telecommunications Equipment	Zone: B2
Past Use: Hotel & food service	Proposed Use: Same: Hotel & food service	Permit Fee: \$170.00	Cost of Work: \$15,000.00
Proposed Project Description: Install fiber dist box w/ in lease area. Replace existing antenna's, equipment cabinets, coax cable w/ hybrid flex cables and replace local exchange carrier w/ fiber optics		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	INSPECTION: Use Group: R-1/A Type: Telecommunications MURBEC 2009 Signature: JMB 2/28/13
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: LDOBSON	Date Applied For: 01/28/2013	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p>Date: <i>OK - 2/4/2013</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>9</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



2013-00 177

General Building Permit Application

BS 43XC808

If you or the property owner owes real estate or personal property taxes on property within the City, payment arrangements must be made before permits

Location/Address of Construction: <u>1230 Congress Street</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>189 A014001</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Sprint</u> Address <u>1 International Blvd Suite 800</u> City, State & Zip <u>Mahwah, NJ 07495</u>	Telephone: <u>978-828-3264</u> <u>Kristen LeDuc</u> <u>Agent Sprint</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Olympia Equity Investors LLC</u> Address <u>1230 Congress St.</u> City, State & Zip <u>Portland ME 04401</u>	Cost Of Work: \$ <u>15,000</u> C of O Fee: \$ <u>-</u> Total Fee: \$ <u>170.⁰⁰</u>
Current legal use (i.e. single family) <u>Business</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Wireless Communication Modification - Unmanned</u> Is property part of a subdivision? <u>N/A</u> If yes, please name _____ Project description: <u>Install Fiber Dist. Box w/in lease area. Replace existing antennas. Replace existing GPS antenna. Replace existing equipment cabinets. Replace existing coax cable w/ Hybrid Plexcables. Replace local exchange carrier w/ Fiber Optics</u>		
Contractor's name: <u>Charles B. Anti, Nctem Wireless Facilities 2</u> Address: <u>10 Aero Park Dr. Unit 3</u> City, State & Zip <u>Plymouth, MA 02360</u> Telephone: <u>508-732-0020</u> Who should we contact when the permit is ready: <u>Kristen LeDuc</u> Telephone: <u>978-828-3264</u> Mailing address: <u>8 Brentwood Cr., Danvers, MA 01923</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Kristen LeDuc Date: 1/4/13

This is not a permit; you may not commence ANY work until the permit is issued



NETWORK BUILDING & CONSULTING, LLC

January 24, 2013

Jeanie Bourke, CEO
Building Department
389 Congress Street
Portland, ME 04101

RE: Sprint Site modification at 1230 Congress Street., Portland, Maine

Jeanie,

Enclosed please find a Building Permit Application, site plans and related documents for Sprint's modification project at 1230 Congress Street. Also, included is a copy of the check and the 1st page of the application could you kindly include a receipt for the check, and a "received" stamp on the 1st page of the application when the building permit is issued.

If you have any questions or comments, please feel free to contact me at the number or email listed below.

Thank you,

Kristen LeDuc

Network Building & Consulting, LLC. an authorized representative of Sprint Nextel

Kristen LeDuc
978-828-3264 Office & Mobile
kleduc@nbcllc.com
8 Brentwood Circle
Danvers, MA 01923

PCS SITE AGREEMENT

 Orig +
 Copy to
 KC [Signature]
 April 99

Site Name: DoubleTree Hotel, Portland, ME

Site I. D.: BS43XC808C

1. **Premises and Use.** Owner leases to Sprint Spectrum L.P., a Delaware limited partnership ("SSLP"), the site described below.

[Check appropriate box(es)]

- Land consisting of approximately _____ square feet upon which SSLP will construct its equipment base station and antenna structure;
- Building interior space consisting of approximately 375 square feet;
- Building exterior space for attachment of antennas;
- Building exterior space for placement of base station equipment;
- Tower antenna space between the _____ foot and _____ foot level on the Tower;
- Space required for cable runs to connect PCS equipment and antennas,

in the location(s) shown on Exhibit A, together with a non-exclusive easement for reasonable access thereto and to the appropriate, in the discretion of SSLP, source of electric and telephone facilities (collectively, the "Site"). The Site will be used by SSLP for the purpose of installing, removing, replacing, modifying, maintaining and operating, at its expense, a personal communications service system facility ("PCS"), including, without limitation, antenna equipment, cable wiring, back-up power sources (including generators and fuel storage tanks), related fixtures and, if applicable to the Site, an antenna structure. SSLP will use the Site in a manner which will not unreasonably disturb the occupancy of Owner's other tenants. SSLP will have access to the Site 24 hours per day, 7 days per week.

2. **Term.** The term of this Agreement (the "Initial Term") is 5 years, commencing on the date ("Commencement Date") both SSLP and Owner have executed this Agreement. This Agreement will be automatically renewed for four additional terms (each a "Renewal Term") of five years each, unless SSLP provides Owner notice of intention not to renew not less than 90 days prior to the expiration of the Initial Term or any Renewal Term.

3. **Rent.** Until that date which is 60 days after the issuance of a building permit for the PCS, the rent will be a one-time aggregate payment of _____ the receipt of which Owner acknowledges. Thereafter, rent will be paid in equal monthly installments of _____ (until increased as set forth herein), partial months to be prorated, in advance. Rent for each Renewal Term will be the annual rent in effect for the final year of the Initial Term or prior Renewal Term, as the case may be, increased by N/A percent (N/A%).

4. **Title and Quiet Possession.** Owner represents and agrees (a) that it is the Owner of the Site; (b) that it has the right to enter into this Agreement; (c) that the person signing this Agreement has the authority to sign; (d) that SSLP is entitled to access to the Site at all times and to the quiet possession of the Site throughout the Initial Term and each Renewal Term so long as SSLP is not in default beyond the expiration of any cure period; and (e) that Owner shall not have unsupervised access to the Site or to the PCS equipment.

5. **Assignment/Subletting.** SSLP shall have the right to assign or transfer its rights under this Agreement or sublet all or any portion of the Site without notice to or the prior written consent of Owner.

6. **Notices.** All notices must be in writing and are effective only when deposited in the U.S. mail, certified and postage prepaid, or when sent via overnight delivery. Notices to SSLP are to be sent to Sprint PCS, Crossroads Corporate Center, Suite 800, One International Boulevard, Mahwah, NJ 07495, Attention: Lease Management, with a copy to Sprint Law Department, 6391 Sprint Parkway, Mailstop KSOPHT0101-Z2020, Overland Park, Kansas 66251-2020, Attention: Sprint PCS Real Estate Attorney. Notices to Owner must be sent to the address shown underneath Owner's signature.

7. **Improvements.** SSLP may, at its expense, make such improvements on the Site as it deems necessary from time to time for the operation of the PCS system. Owner agrees to cooperate with SSLP with respect to obtaining any required zoning approvals for the Site and such improvements. Upon termination or expiration of this Agreement, SSLP may remove its equipment and improvements and will restore the Site to substantially the condition existing on the Commencement Date, except for ordinary wear and tear and casualty loss.

8. **Compliance with Laws.** Owner represents that Owner's property (including the Site), and all improvements located thereon, are in substantial compliance with building, life/safety, disability and other laws, codes and regulations of applicable governmental authorities. SSLP will substantially comply with all applicable laws relating to its possession and use of the Site.

9. **Interference.** SSLP will resolve technical interference problems with other equipment located at the Site on the Commencement Date or any equipment that

becomes attached to the Site at any future date when SSLP desires to add additional equipment to the Site. Likewise, Owner will not permit or suffer the installation of any future equipment which (a) results in technical interference problems with SSLP's then existing equipment or (b) encroaches onto the Site.

10. **Utilities.** Owner represents that utilities adequate for SSLP's use of the Site are available. SSLP will pay for all utilities used by it at the Site. Owner will cooperate with SSLP in SSLP's efforts to obtain utilities from any location provided by Owner or the servicing utility, including signing any easement or other instrument reasonably required by the utility company.

11. **Termination.** SSLP may terminate this Agreement at any time by notice to Owner without further liability if SSLP does not obtain all permits or other approvals (collectively, "approval") required from any governmental authority or any easements required from any third party to operate the PCS system, or if any such approval is canceled, expires or is withdrawn or terminated, or if Owner fails to have proper ownership of the Site or authority to enter into this Agreement, or if SSLP, for any other reason, in its sole discretion, elects to terminate this Agreement. Upon termination, all prepaid rent will be retained by Owner unless such termination is due to Owner's failure of proper ownership or authority, or such termination is a result of Owner's default.

12. **Default.** If either party is in default under this Agreement for a period of (a) 15 days following receipt of notice from the non-defaulting party with respect to a default which may be cured solely by the payment of money, or (b) 30 days following receipt of notice from the non-defaulting party with respect to a default which may not be cured solely by the payment of money, then, in either event, the non-defaulting party may pursue any remedies available to it against the defaulting party under applicable law, including, but not limited to, the right to terminate this Agreement. If the non-monetary default may not reasonably be cured within a 30 day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within such 30 day period and proceeds with due diligence to fully cure the default.

13. **Indemnity.** Owner and SSLP each indemnifies the other against and holds the other harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the ownership, use and/or occupancy of the Site by the indemnifying party. This indemnity does not apply to any claims arising from the sole negligence or intentional misconduct of the indemnified party. The indemnity obligations under this Paragraph will survive termination of this Agreement.

14. **Hazardous Substances.** Owner represents that it has no knowledge of any substance, chemical or waste, oil or hazardous material (collectively, "Hazardous Substance") on the Site or any adjacent real estate owned by the Owner (collectively, "Premises") that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. Owner shall assess and remediate (if necessary) in compliance with all applicable laws and hereby indemnifies SSLP and holds SSLP harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the presence of any Hazardous Substance on or migrating from the Premises at any time, other than those Hazardous Substances which were first released by SSLP upon the Premises. SSLP will not introduce or use any Hazardous Substance on the Site in violation of any applicable law. SSLP will assess and remediate (if necessary) in compliance with all applicable laws and hereby indemnifies Owner and holds Owner harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the release of any Hazardous Substance by SSLP upon the Premises. Upon obtaining knowledge of a release or threat of release of any Hazardous Substance on the Premises, SSLP and the Owner shall each have the right to notify the applicable regulatory authorities thereof without the prior consent of the other party and to provide reasonable access to the Site to the employees, agents, and contractors of such agencies and all other persons conducting response actions in accordance with applicable law. The foregoing indemnifications shall survive any termination of this Agreement and shall be in addition to any other rights which Owner or SSLP may have under applicable law.

15. **Subordination and Non-Disturbance.** This Agreement is subordinate to any mortgage or deed of trust now of record against the Site. However, promptly after the Agreement is fully executed, Owner will use diligent efforts to obtain a non-disturbance agreement reasonably acceptable to SSLP from the holder of any such mortgage or deed of trust.

16. **Taxes.** SSLP will be responsible for payment of all personal property taxes assessed directly upon and arising solely from its use of the communications facility on the Site. SSLP will pay to Owner any increase in real property taxes attributable solely to any improvements to the Site made by SSLP within 60 days after receipt of satisfactory documentation indicating calculation of SSLP's share of such real estate taxes and payment of the real estate taxes by Owner. Owner will pay when due all other real estate taxes and assessments attributable to the property of Owner of which the Site is a part.

17. **Insurance.** SSLP will procure and maintain commercial general liability insurance, with limits of not less than \$1,000,000 combined single limit per occurrence for bodily injury and property damage liability, with a certificate of insurance to be furnished to Owner within 30 days of written request. Such policy will provide that cancellation will not occur without at least 15 days prior written notice to Owner. Each party hereby waives its right of recovery against the other for any loss or damage covered by any insurance policies maintained by the waiving party. Each party will cause each insurance policy obtained by it to provide that the insurance company waives all rights of recovery against the other party in connection with any damage covered by such policy.

18. **Maintenance.** SSLP will be responsible for repairing and maintaining the PCS system and any other improvements installed by SSLP at the Site in a proper operating and reasonably safe condition; provided, however if any such repair or maintenance is required due to the acts of Owner, its agents or employees, Owner shall reimburse SSLP for the reasonable costs incurred by SSLP to restore the damaged areas to the condition which existed immediately prior thereto. Owner will maintain and repair all other portions of the property of which the Site is a part in a proper operating and reasonably safe condition.

19. **Miscellaneous.** (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) This Agreement is governed by the laws of the State in which the Site is located; (c) if requested by SSLP, Owner agrees promptly to execute and deliver a recordable Memorandum of this Agreement; (d) This Agreement (including the Exhibits) constitutes the entire agreement between the parties and supersedes all prior written and verbal agreements, representations, promises or understandings between the parties. Any amendments to this Agreement must be in writing and executed by both parties; (e) If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement or the application of such provision to persons other than those as to whom it is held invalid or unenforceable, will not be affected and each provision of this Agreement will be valid and enforceable to the fullest extent permitted by law; and (f) The prevailing party in any action or proceeding in court or mutually agreed upon arbitration proceeding to enforce the terms of this Agreement is entitled to receive its reasonable attorneys' fees and other reasonable enforcement costs and expenses from the non-prevailing party.

20. **Non-Binding Until Fully Executed.** This Agreement is for discussion purposes only and does not constitute a formal offer by either party. This Agreement is not and shall not be binding on either party until and unless it is fully executed by both parties.

The following Exhibits are attached to and made a part of this Agreement: Exhibit A and Rider

OWNER: OLYMPIA EQUITY INVESTORS I, L.P.

By: Erin Management Group, its General Partner

By: 

Name: DREW E SWENSON

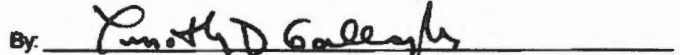
Its: PRESIDENT

S.S./Tax No.: 04-9342577

Address: 217 Commercial Street, Suite 302, Portland, ME 04101

Date: 7/16/01

SPRINT SPECTRUM L.P., a Delaware limited partnership

By: 

Name: Michael W. Lasky

Its: Director, Site Development -- Northeast Region

Address: One International Boulevard, Suite 800,
Mahwah, NJ 07945

Attention: Lease Management

Date: 24 July 2001

Attach Exhibit A - Site Description



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

4/12/12

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER O'Grady Insurance Agency 117 Court Street Plymouth, MA 02360	CONTACT NAME: PHONE (A/C No. Ext): FAX (A/C No.): E-MAIL ADDRESS:	
	INSURER(S) AFFORDING COVERAGE	NAIC #
INSURED NETCOM WIRELESS FACILITIES 2, INC. 10 AERO PARK DR, UNIT 3 PLYMOUTH, MA 02360	INSURER A: ESSEX INSURANCE CO	
	INSURER B: QUINCY MUTUAL	
	INSURER C: TORUS SPECIALTY INS. CO	
	INSURER D: LIBERTY MUTUAL FIRE INS CO	
	INSURER E:	
	INSURER F:	

COVERAGES

CERTIFICATE NUMBER:

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL/SUBR INSR. WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS	
A	GENERAL LIABILITY <input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC	Y	Y	3DG5178	11/9/11	11/9/12	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Per occurrence) \$ 50,000 MED EXP (Any one person) \$ 1,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 1,000,000
B	AUTOMOBILE LIABILITY ANY AUTO ALLOWED AUTOS <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS	Y	Y	AFV205857	2/22/12	2/22/13	COMBINED SINGLE LIMIT (Per accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
C	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED RETENTION \$	Y	Y	85215C120AL1	2/9/12	2/9/13	EACH OCCURRENCE \$ 4,000,000 AGGREGATE \$ 4,000,000
D	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (If industry in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	WC5-31S-375622-022	2/18/12	2/18/13	WC STATUTORY LIMITS OTHER E.L. EACH ACCIDENT \$ 500,000 E.L. DISEASE - SA EMPLOYEE \$ 500,000 E.L. DISEASE - POLICY LIMIT \$ 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

COSTROTTA CONSTRUCTION MANAGEMENT INC AND ALL OTHER PARTIES ARE REQUIRED BY CONTRACT ARE INCLUDED AS ADDITIONAL INSUREDS ON PRIMARY AND NONCONTRIBUTORY BASIS FOR ALL GENERAL LIABILITY AND AUTO LIABILITY. EXCESS LIABILITY FOLLOWS FORM OVER GENERAL LIABILITY, AUTO LIABILITY, AND EMPLOYER LIABILITY. A WAIVER OF SUBROGATION APPLIES TO ALL POLICIES IN FAVOR OF THE ADDITIONAL INSURED

CERTIFICATE HOLDER**CANCELLATION**

	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE PATRICK O'GRADY

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ACORD 25 (2010/05)

Phone:

Fax:

The ACORD name and logo are registered marks of ACORD

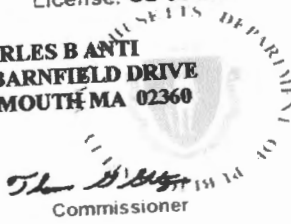
E-Mail:



Massachusetts - Department of Public Safety
Board of Building Regulations and Standards
Construction Supervisor
License: **CS-094261**



CHARLES B ANTI
100 BARNFIELD DRIVE
PLYMOUTH MA 02360



Thomas D. Bligh
Commissioner

Expiration
10/29/2013



NOTE:
OWNER AND TENANT MAY, FROM TIME TO TIME AT TENANT'S OPTION, REPLACE THIS EXHIBIT WITH AN EXHIBIT SETTING FORTH THE LEGAL DESCRIPTION OF THE SITE, OR WITH ENGINEERED OR AS-BUILT DRAWING DEPICTING THE SITE OR ILLUSTRATING STRUCTURAL MODIFICATIONS OR CONSTRUCTION PLANS OF THE SITE. ANY VISUAL OR TEXTUAL REPRESENTATION OF THE EQUIPMENT LOCATED WITHIN THE SITE CONTAINED IN THESE OTHER DOCUMENTS IS ILLUSTRATIVE ONLY, AND DOES NOT LIMIT THE RIGHTS OF SPRINT AS PROVIDED FOR IN THE AGREEMENT. THE LOCATIONS OF ANY ACCESS AND UTILITY EASEMENTS ARE ILLUSTRATIVE ONLY. ACTUAL LOCATIONS MAY BE DETERMINED BY TENANT AND/OR THE SERVICING UTILITY COMPANY IN COMPLIANCE WITH LOCAL LAWS AND REGULATIONS.

**"NETWORK VISION MMBTS LAUNCH"
"MARKET NAME:VT-NH-ME"**

SITE NUMBER:
BS43XC808

SITE NAME:

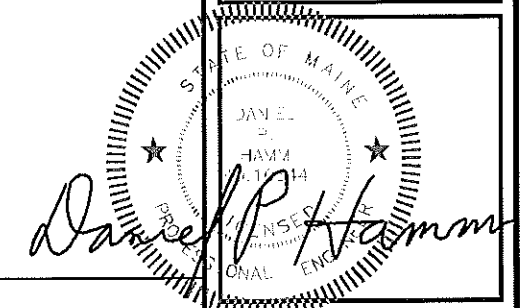
PORTLAND DOUBLE TREE HOTEL

SITE ADDRESS:
**1230 CONGRESS STREET
PORTLAND, ME 04102**

Sprint
"NETWORK VISION MMBTS LAUNCH"
1 INTERNATIONAL BLVD, SUITE 800
MAHWAH, NJ 07445
TEL: (800) 337-7641

Alcatel-Lucent
1 ROBBINS ROAD
WESTFORD, MA 01886
TEL: (978) 952-1600

Hudson Design Group Inc
1600 OSGOOD STREET
SUITE 20 NORTH, SUITE 3090
NORTH ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5586

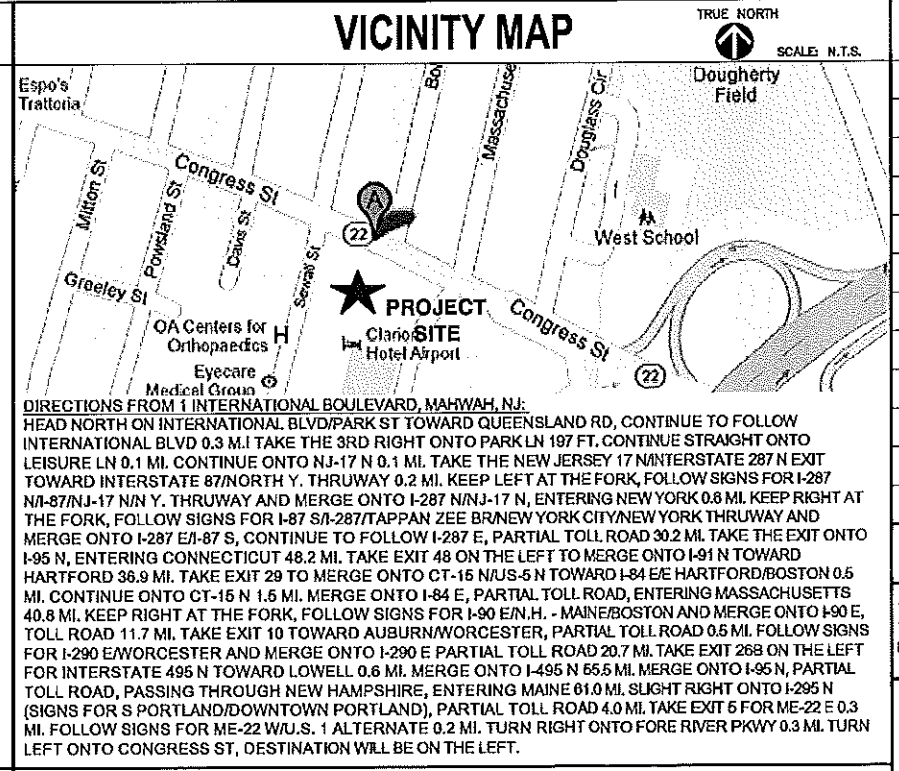


SITE INFORMATION

SITE NUMBER: BS43XC808
SITE NAME: PORTLAND DOUBLE TREE HOTEL
SITE ADDRESS: 1230 CONGRESS STREET PORTLAND, ME 04102
COUNTY: CUMBERLAND
PARCEL ID: 189 AD14001
ZONING: B2 BUSINESS
COORDINATES(*): 43° 39' 20.19" -70° 17' 25.49"
GROUND ELEV.: 32± (AMSL)
STRUCTURE TYPE: ROOF TOP
STRUCTURE HEIGHT: 90± (AGL)
ANTENNA RAD CENTER: 79± (AGL)
PROPERTY/STRUCTURE OWNER: OLYMPIA EQUITY EQUITY INVESTORS I LLC 1230 CONGRESS ST PORTLAND, ME 04401

LOCAL POWER COMPANY: WALLINGFORD ELECTRIC 100 JOHN STREET WALLINGFORD, CT 06492 1-(203)-294-2020
LOCAL TELCO COMPANY: VERIZON 185 FRANKLIN STREET SUITE 200 BOSTON, MA 02110 1-(800)-244-3737
APPLICANT: SPRINT 1 INTERNATIONAL BLVD, SUITE 800 MAHWAH, NJ 07495
APPLICANT REPRESENTATIVE: ALCATEL-LUCENT 1 ROBBINS ROAD WESTFORD, MA 01886 (978) 952-1600
SITE ACQUISITION CONSULTANT: ALCATEL-LUCENT 1 ROBBINS ROAD WESTFORD, MA 01886 (978) 952-1600
A&E CONSULTANT: HUDSON DESIGN GROUP LLC 1600 OSGOOD STREET BLDG 20 NORTH, SUITE 3090 NORTH ANDOVER, MA 01845 TEL: (978) 557-5553 FAX: (978) 336-5586

VICINITY MAP



SHEET INDEX

SHEET NO.	DESCRIPTION
T-1	TITLE SHEET
GN-1	GENERAL NOTES
A-1	ROOF PLAN AND ELEVATION
A-2	ANTENNA SCENARIO & EQUIPMENT LAYOUTS
A-3	DETAILS
A-4	RF DATA SHEET
A-5	WIRING DIAGRAM
S-1	STRUCTURAL DETAILS
E-1	TYPICAL POWER & GROUNDING ONE LINE DIAGRAM
AAV	SEE AAV SHEETS

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

SPRINT: _____ DATE: _____
ALU CONSTRUCTION MANAGER: _____ DATE: _____
ALU LEASING/SITE ACQUISITION: _____ DATE: _____
ALU RF ENGINEER: _____ DATE: _____
LANDLORD/PROPERTY OWNER: _____ DATE: _____

GENERAL NOTES

- THIS IS AN UNMANNED TELECOMMUNICATION FACILITY AND NOT FOR HUMAN HABITATION:
- HANDICAPPED ACCESS NOT REQUIRED
- POTABLE WATER OR SANITARY SERVICE IS NOT REQUIRED
- NO OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES REQUIRED
- CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON JOB SITE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT/ENGINEER PLACE THE RESPONSIBILITY ON THE CONTRACTOR TO CORRECT THE DISCREPANCIES AT THE CONTRACTOR'S EXPENSE.
- DEVELOPMENT AND USE OF THE SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. BUILDING CODE: IBC 2009
ELECTRICAL CODE: 2005 NATIONAL ELECTRICAL CODE
STRUCTURAL CODE: TIA/EIA-222-G STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS

SCOPE OF WORK

- REPLACE EXISTING MOD CELL WITH (1) MM-BTS CABINET & INSTALL FIBER DISTRIBUTION BOX WITHIN EXISTING LEASE AREA. REPLACE EXISTING BATTERY CABINET WITH (1) BBU CABINET.
- REMOVE (6) EXISTING CDMA ANTENNAS AND REPLACE WITH (3) NETWORK VISION ANTENNAS & (6) RRHS.
- REMOVE EXISTING CDMA COAX CABLES & INSTALL (3) HYBRIFLEX CABLES FROM EQUIPMENT CABINET TO ANTENNA
- REMOVE EXISTING GPS ANTENNA AND REPLACE WITH NEW GPS ANTENNA
- EXISTING LOCAL EXCHANGE CARRIER LANDLINE BACKHAUL FACILITIES TO BE REPLACED WITH PROPOSED ALTERNATIVE ACCESS VENDOR (AAV) FIBER OPTIC FACILITIES INCLUDING PROPOSED OVERHEAD/UNDERGROUND CONDUITS AND NETWORK INTERFACE DEVICE.

CHECKED BY: JX

APPROVED BY: DPH

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
2	01/23/13	FOR CONSTRUCTION	SF
1	12/18/12	ISSUED FOR REVIEW	JG

SITE NUMBER:
BS43XC808
SITE NAME:
PORTLAND DOUBLE TREE HOTEL
SITE ADDRESS:
1230 CONGRESS STREET
PORTLAND, ME 04102

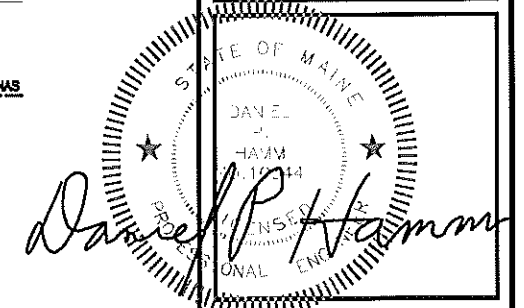
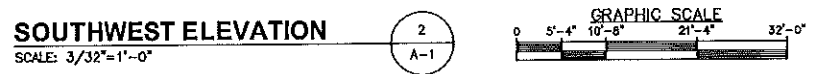
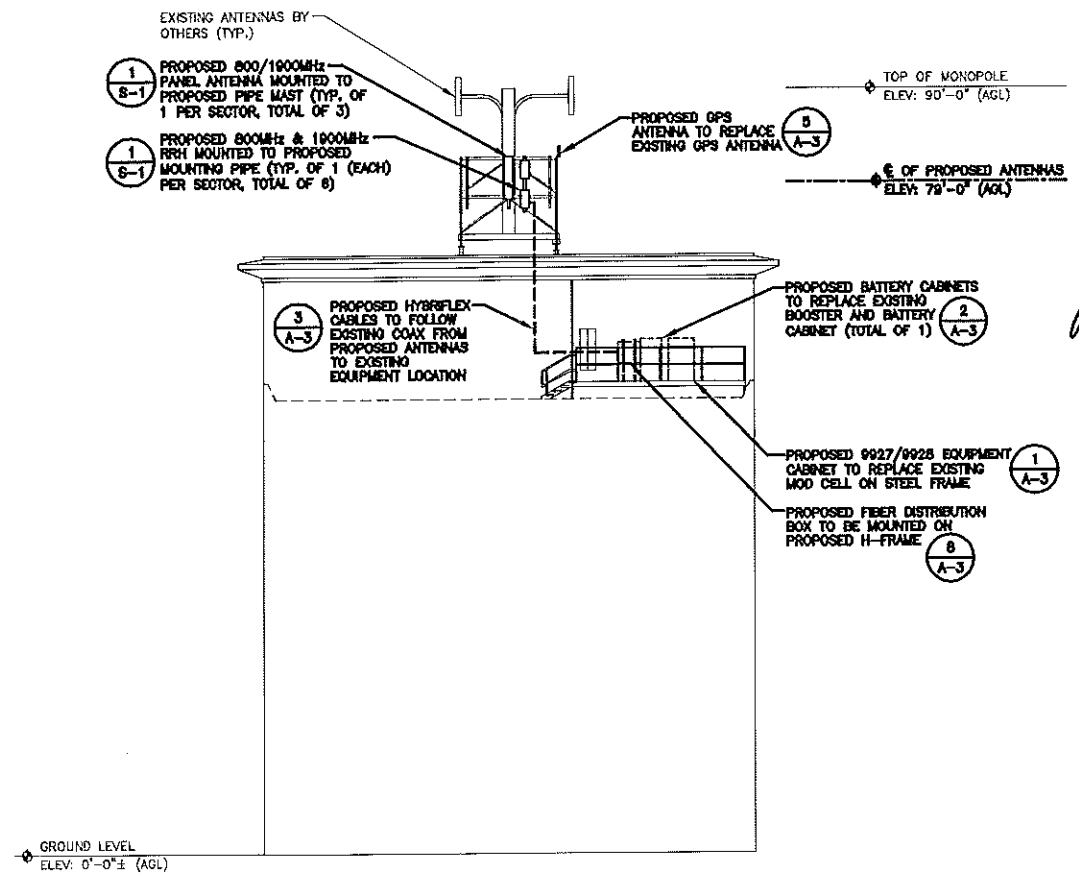
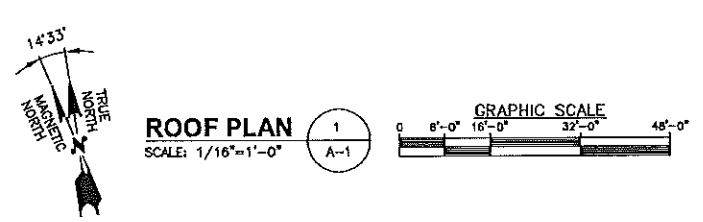
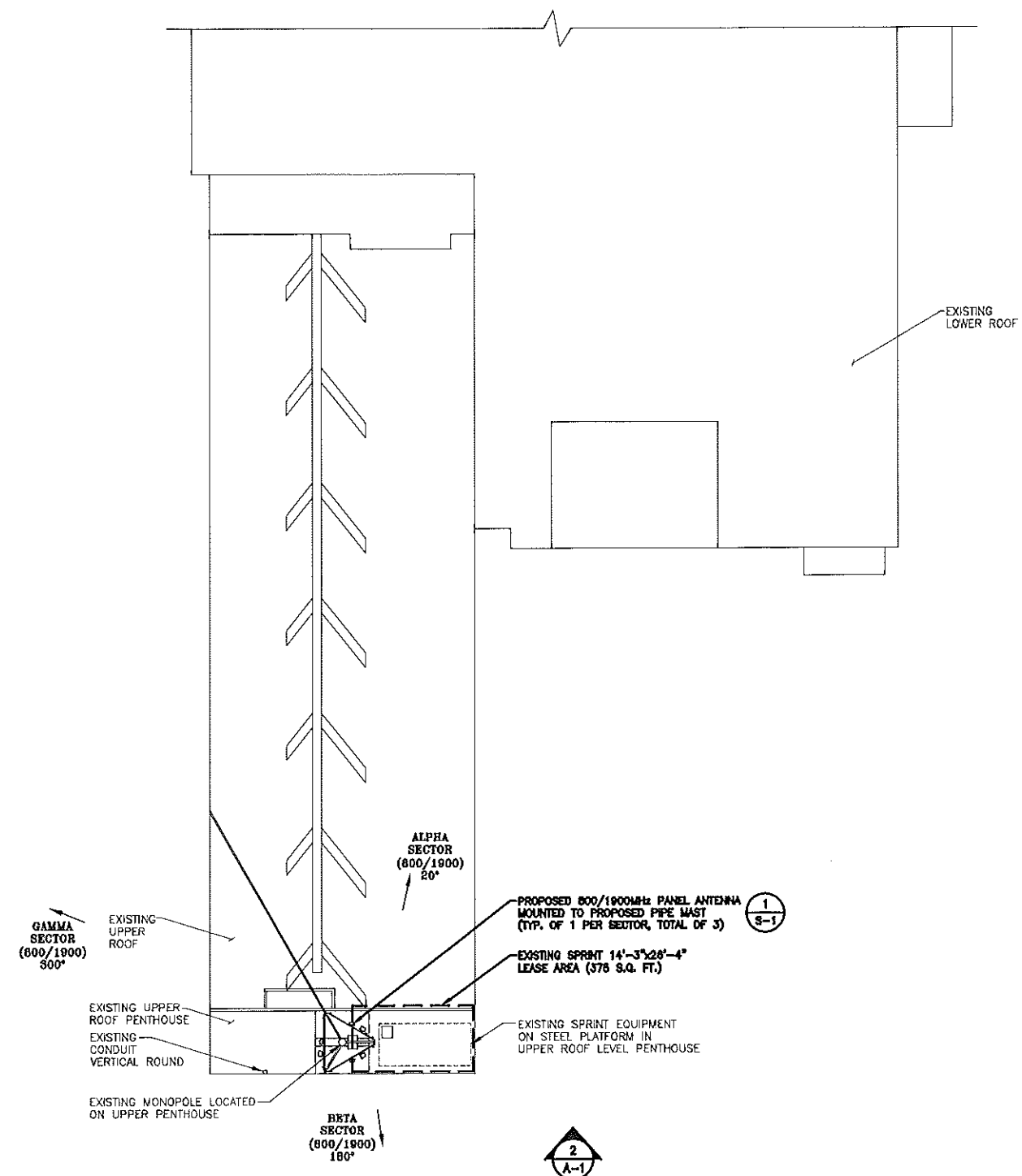
SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1



NOTES:
 1.) VERIFY EXACT ANTENNA MODEL & AZIMUTHS WITH RF ENGINEER PRIOR TO INSTALLATION.
 2.) REMOVE EXISTING GPS ANTENNA AND REPLACE WITH NEW GPS ANTENNA.

STRUCTURAL NOTE:
 STRUCTURAL INFORMATION TAKEN FROM STRUCTURAL ANALYSIS PERFORMED BY HUDSON DESIGN GROUP, LLC. DATED: DECEMBER 18, 2012



CHECKED BY: JX
 APPROVED BY: DPH

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
2	01/23/13	FOR CONSTRUCTION	SF
1	12/18/12	ISSUED FOR REVIEW	JG

SITE NUMBER: BS43XC808
 SITE NAME: PORTLAND DOUBLE TREE HOTEL
 SITE ADDRESS: 1230 CONGRESS STREET, PORTLAND, ME 04102

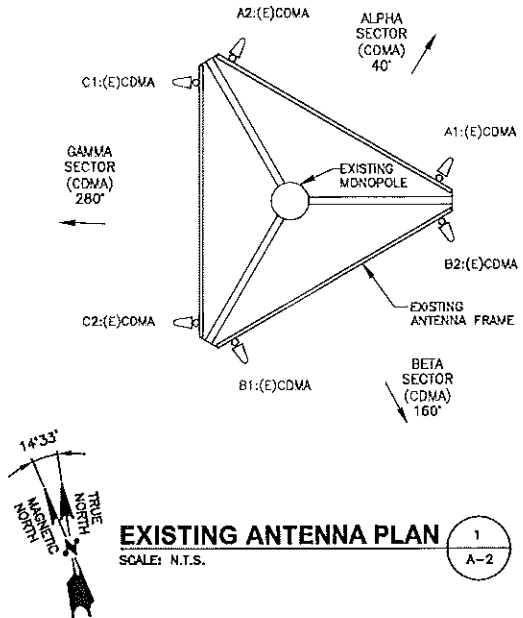
SHEET TITLE: ROOF PLAN AND ELEVATION

SHEET NUMBER: A-1

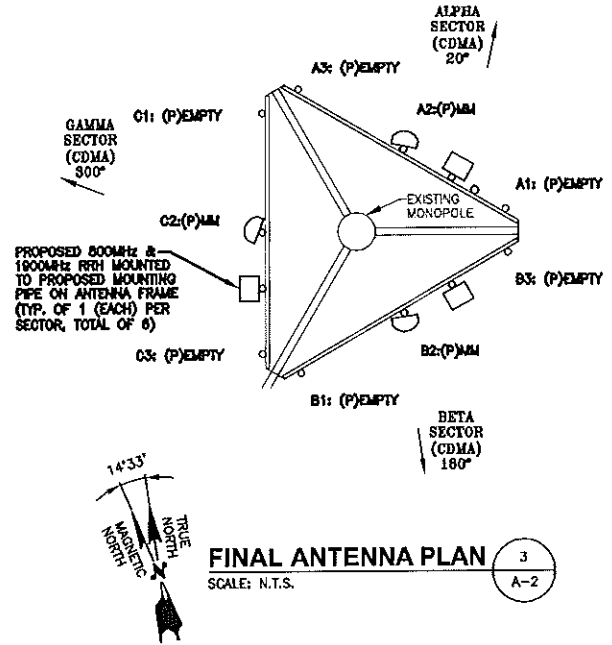
NOTE:
EXISTING ANTENNA AND PLATFORM ORIENTATIONS HAS BEEN TAKEN FROM EXISTING SPRINT CO'S. O.C. TO VERIFY EXISTING ORIENTATIONS PRIOR TO PROPOSED INSTALLATION.

NOTE:
DIMENSIONS SHOWN ARE APPROXIMATE ONLY BASED ON PHOTO DOCUMENTATION AND ARE NOT INTENDED FOR CONSTRUCTION LAYOUT PURPOSES. UNLESS NOTED OTHERWISE, NETWORK VISION ANTENNAS TO BE POSITIONED AT EXISTING PIPE MAST LOCATIONS.

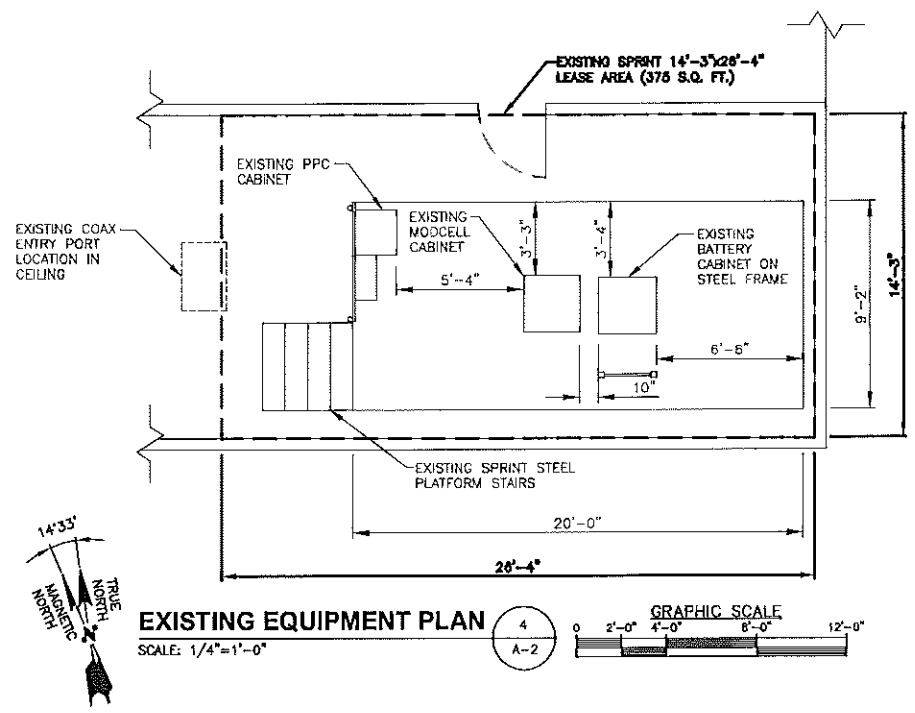
ANTENNA STATUS LEGEND:
(E) - EXISTING
(P) - PROPOSED
EMPTY - ANTENNA PIPE MAST TO REMAIN
CDMA - SPRINT ANTENNA
MM - MULTIMODAL ANTENNA



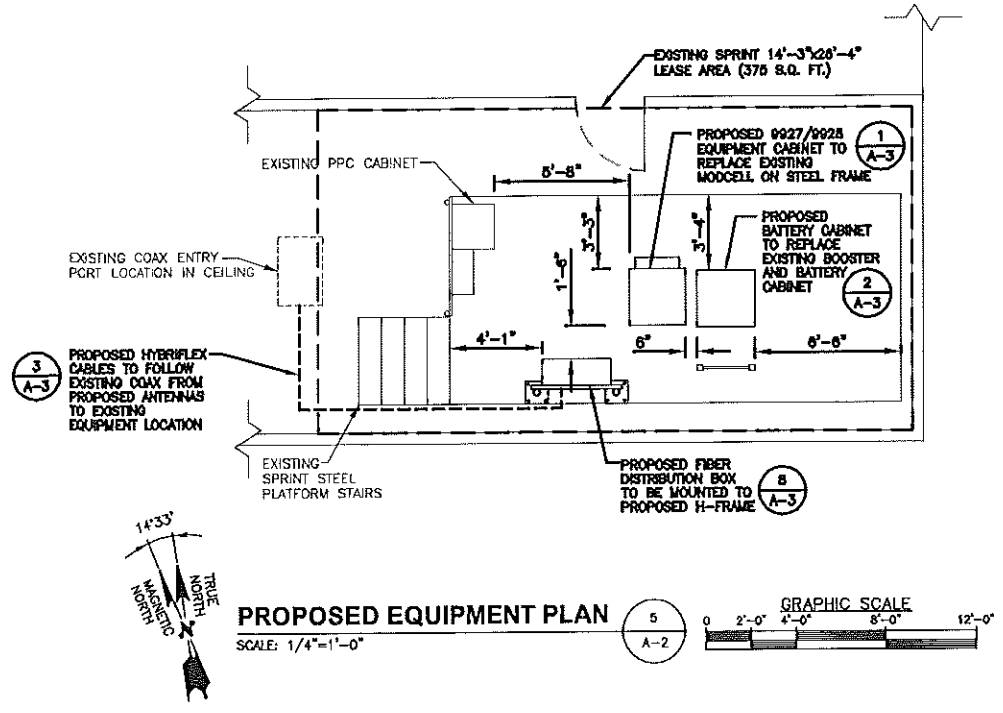
EXISTING ANTENNA PLAN 1
SCALE: N.T.S. A-2



FINAL ANTENNA PLAN 3
SCALE: N.T.S. A-2



EXISTING EQUIPMENT PLAN 4
SCALE: 1/4"=1'-0" A-2

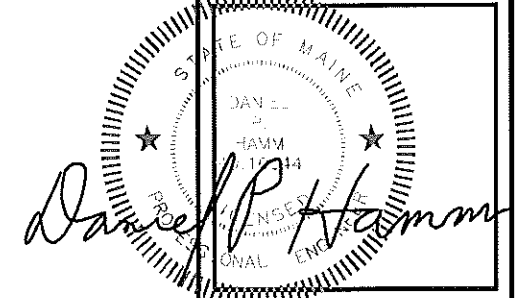


PROPOSED EQUIPMENT PLAN 5
SCALE: 1/4"=1'-0" A-2

Sprint
NETWORK VISION MMBS LAUNCH
1 INTERNATIONAL BLVD, SUITE 800
MARTHA, NJ 07455
TEL: (800) 357-7341

Alcatel-Lucent
1 ROSBINS ROAD
WESTFORD, MA 01884
TEL: (978) 952-1400

Hudson Design Group, Inc.
1800 OSGOOD STREET
BUILDING 20 NORTH, SUITE 9090
N. ANDOVER, MA 01845
TEL: (978) 537-5553
FAX: (978) 336-5583



CHECKED BY: JX

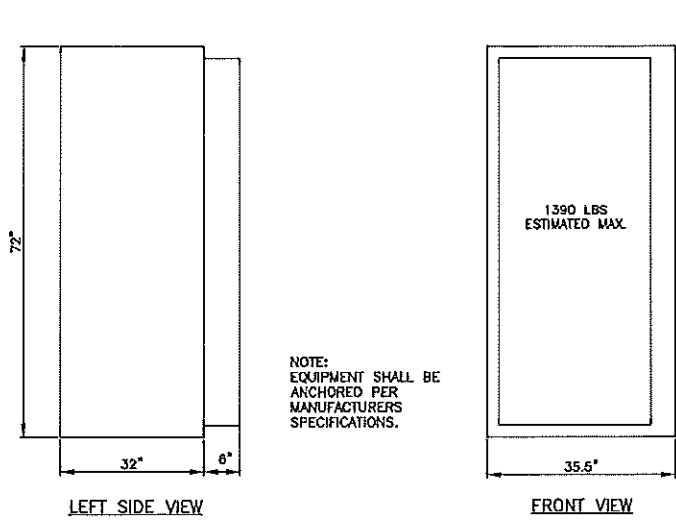
APPROVED BY: DPH

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
1	12/18/12	ISSUED FOR REVIEW	JG
2	01/23/13	FOR CONSTRUCTION	SF

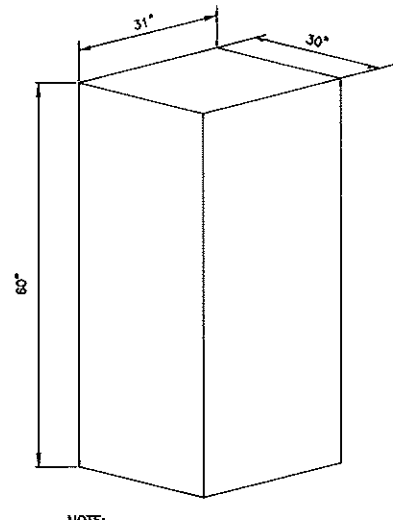
SITE NUMBER:
BS43XC808
SITE NAME:
PORTLAND DOUBLE TREE HOTEL
SITE ADDRESS:
1230 CONGRESS STREET
PORTLAND, ME 04102

SHEET TITLE
ANTENNA SCENARIO & EQUIPMENT LAYOUTS

SHEET NUMBER
A-2

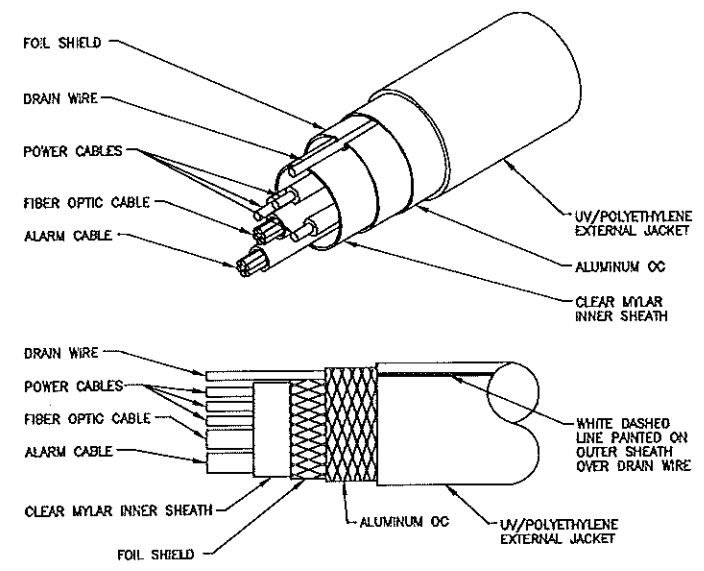


ALCATEL-LUCENT 9928 OUTDOOR CABINET
SCALE: N.T.S.

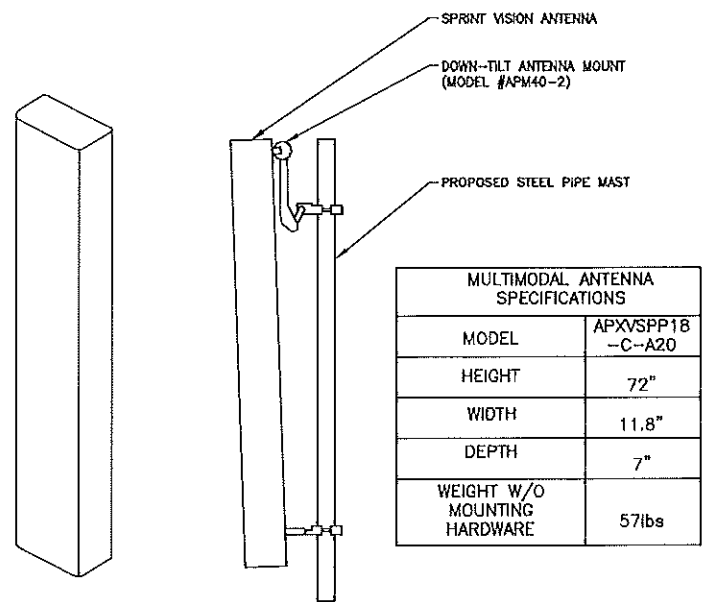


60ECV2 CABINET SPECIFICATIONS	
HEIGHT	60"
WIDTH	31"
DEPTH	30"
TYPICAL WEIGHT (3) BATTERY-STRINGS	1625 LBS.
MAX. WEIGHT (5) BATTERY-STRINGS	2830 LBS.

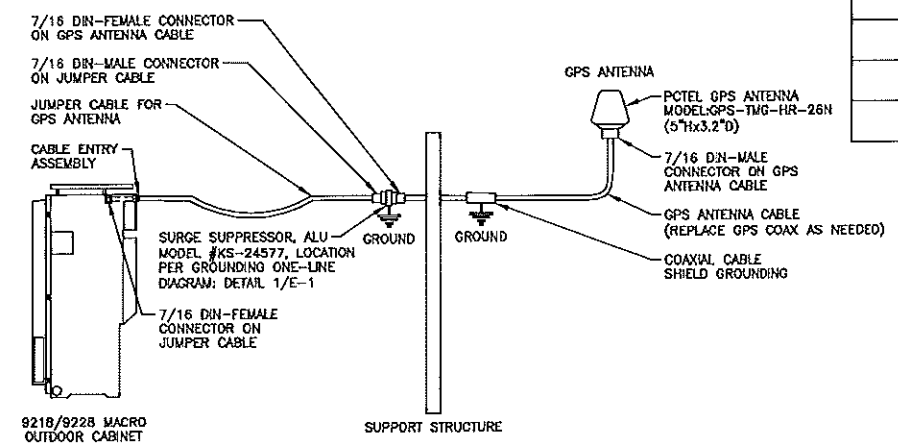
60ECV2 BATTERY BACK-UP CABINET
SCALE: N.T.S.



HYBRIFLEX CABLE DETAIL
SCALE: N.T.S.



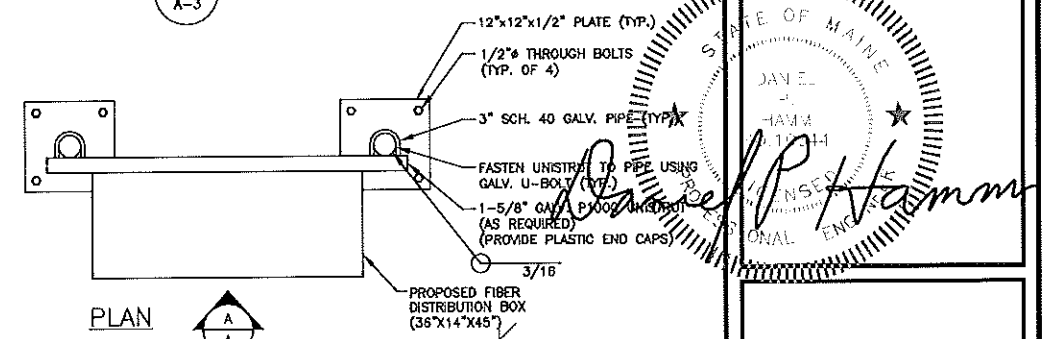
MULTIMODAL ANTENNA DETAIL
SCALE: N.T.S.



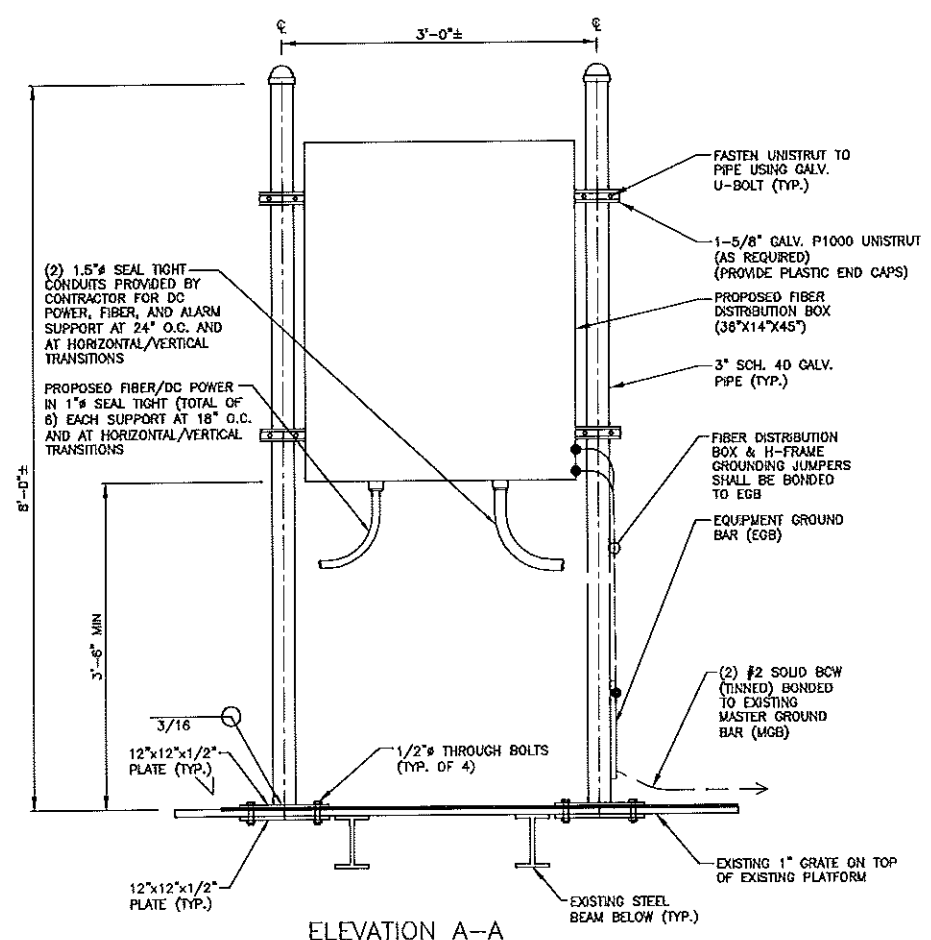
GPS ANTENNA DETAIL
SCALE: N.T.S.

NOTE: EQUIPMENT SHALL BE ANCHORED PER MANUFACTURERS SPECIFICATIONS.

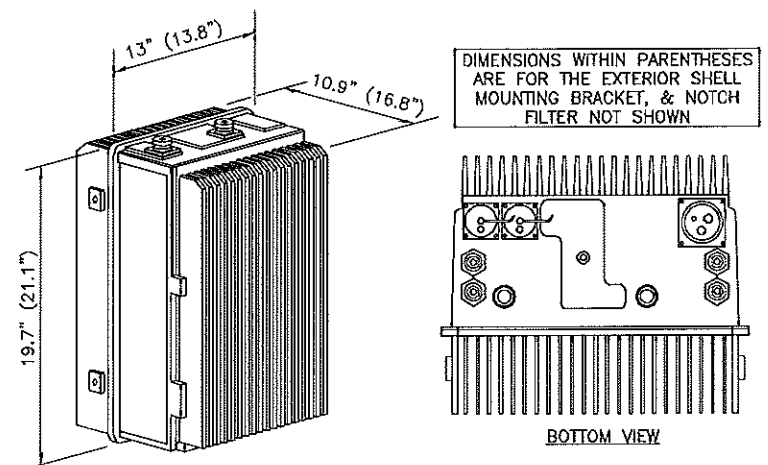
FIBER DISTRIBUTION BOX SPECIFICATIONS	
HEIGHT	45"
WIDTH	36"
DEPTH	14"



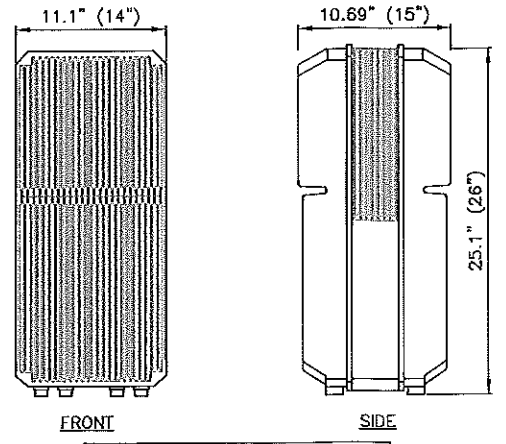
PLAN



ELEVATION A-A
FIBER DISTRIBUTION BOX
SCALE: N.T.S.



FD-RRH-2x50-800
SCALE: N.T.S.



FRONT
SIDE
DIMENSIONS WITHIN PARENTHESES ARE FOR THE EXTERIOR SHELL AND MOUNTING BRACKET

1900MHz RRH
SCALE: N.T.S.

Sprint
NETWORKS ON MMBTS LAUNCH
1 INTERNATIONAL BLVD, SUITE 800
MAHWAH, NJ 07475
TEL: (800) 357-7441

Alcatel-Lucent
1 ROSBANK ROAD
WESTFORD, MA 01884
TEL: (978) 952-1600

Hudson Design Group
1400 OSGOOD STREET
BUILDING 20 NORTH, SUITE 3090
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5565

STATE OF MAINE
JAVEL
HAYM
11/14/11
LICENSED PROFESSIONAL ENGINEER

CHECKED BY: JX

APPROVED BY: DPH

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
2	01/23/13	FOR CONSTRUCTION	SF
1	12/18/12	ISSUED FOR REVIEW	JG

SITE NUMBER:
BS43XC808
SITE NAME:
PORTLAND DOUBLE TREE HOTEL
SITE ADDRESS:
1230 CONGRESS STREET
PORTLAND, ME 04102

SHEET TITLE
DETAILS

SHEET NUMBER
A-3

		Market	VT-NH-ME		
		Cascade ID	BS43XC808		
			SECTOR 1	SECTOR 2	SECTOR 3
Split sector present			No	No	No
1900MHz_Azimuth			20	180	300
1900MHz_No_of_Antennas			1	1	1
1900MHz_RADCenter(ft)			79	79	79
1900MHz_Antenna_Make			RFS	RFS	RFS
1900MHz_Antenna_Model			APXVSP18-C-A20	APXVSP18-C-A20	APXVSP18-C-A20
1900MHz_Horizontal_Beamwidth			65	65	65
1900MHz_Vertical_Beamwidth			5.5	5.5	5.5
1900MHz_AntennaHeight (ft)			6	6	6
1900MHz_AntennaGain(dBd)			15.9	15.9	15.9
1900MHz_E_Tilt			-1	0	-5
1900MHz_M_Tilt			0	0	0
1900MHz_Carrier_Forecast_Year_2013			3	3	3
1900MHz_RRH_Manufacturer			ALU	ALU	ALU
1900MHz_RRH_Model			RRH 1900 4X45 65MHz	RRH 1900 4X45 65MHz	RRH 1900 4X45 65MHz
1900MHz_RRH_Count			1	1	1
1900MHz_RRH_Location			Top of the Pole/Tower	Top of the Pole/Tower	Top of the Pole/Tower
1900MHz_Combiner_Model			No Combiner Required	No Combiner Required	No Combiner Required
1900MHz_Top_Jumper #1_Length (RRH or Combiner-to-Antenna for TT or Main Coax to			10 *10	10 *10	10 *10
1900MHz_Top_Jumper #1_Cable_Model (RRH or Combiner-to-Antenna for TT or Main Coax			LCF12-50J	LCF12-50J	LCF12-50J
1900MHz_Top_Jumper #2_Length (RRH to Combiner for TT if applicable, ft)			N/A	N/A	N/A
1900MHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable)			N/A	N/A	N/A
1900MHz_Main_Coax_Cable_Length (ft)			N/A *50	N/A *50	N/A *50
1900MHz_Main_Coax_Cable_Model			N/A	N/A	N/A
1900MHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft)			N/A	N/A	N/A
1900MHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax)			N/A	N/A	N/A
1900MHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft)			N/A	N/A	N/A
1900MHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax)			N/A	N/A	N/A
800MHz_Azimuth			20	180	300
800MHz_No_of_Antennas			0	0	0
800MHz_RADCenter(ft)			79	79	79
800MHz_AntennaMake			RFS	RFS	RFS
800MHz_AntennaModel			APXVSP18-C-A20 (Shared w/1900)	APXVSP18-C-A20 (Shared w/1900)	APXVSP18-C-A20 (Shared w/1900)
800MHz_Horizontal_Beamwidth			65	65	65
800MHz_Vertical_Beamwidth			11.5	11.5	11.5
800MHz_AntennaHeight (ft)			6	6	6
800MHz_AntennaGain (dBd)			13.4	13.4	13.4
800MHz_E_Tilt			-7	-8	-8
800MHz_M_Tilt			0	0	0
800MHz_RRH_Manufacturer			ALU	ALU	ALU
800MHz_RRH_Model			800 MHz RRH 2x50W	800 MHz RRH 2x50W	800 MHz RRH 2x50W
800MHz_RRH_Count			1	1	1
800MHz_RRH_Location			Top of the Pole/Tower	Top of the Pole/Tower	Top of the Pole/Tower
800_Top_Jumper #1_Length (RRH to Antenna for TT or Main Coax to Antenna for GM)			10 *10	10 *10	10 *10
800_Top_Jumper_Cable_Model (RRH to Antenna for TT or Main Coax to Antenna for GM)			LCF12-50J	LCF12-50J	LCF12-50J
800MHz_Main_Coax_Cable_Length (ft)			N/A *50	N/A *50	N/A *50
800MHz_Main_Coax_Cable_Model			N/A	N/A	N/A
800_Bottom_Jumper #1_Length (Ground based RRH to Main Coax)			N/A	N/A	N/A
800_Bottom_Jumper #1_Cable_Model (Ground based RRH to Main Coax)			N/A	N/A	N/A
Plumbing Scenario *			124	124	124

1900

800

Comments

* If plumbing scenario does not match the material received, please contact your Construction Manager

11/9/2012

RF DATA SHEET
SCALE: N.T.S.

1
A-4

SPRINT CONSTRUCTION STANDARDS:

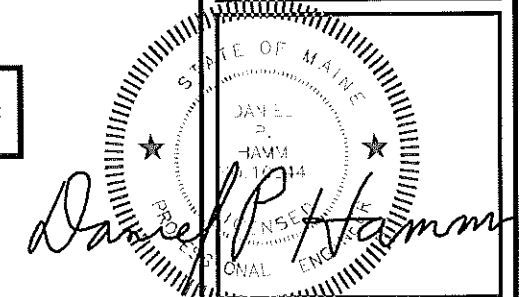
GENERAL CONTRACTOR SHALL ADHERE TO THE FOLLOWING SPRINT CONSTRUCTION STANDARDS (AS AMENDED FROM TIME TO TIME AND AVAILABLE ON THE ALU FST DATABASE):

- CONSTRUCTION STANDARDS: INTEGRATED CONSTRUCTION STANDARDS FOR WIRELESS SITES -- VERSION 4.0, INCLUDING EXHIBITS A-M.
- CONSTRUCTION SPECIFICATIONS: CONSTRUCTION STANDARDS EXHIBIT A -- STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES (VERSION 4.0).
- GROUNDING STANDARDS: EXTERIOR GROUNDING SYSTEM DESIGN.
- GROUNDING STANDARDS (SUPPLEMENT): ANTI-THEFT UPDATE TO SPRINT GROUNDING 082412 AND SPRINT ENGINEERING LETTER EL-0504 DATED 04.20.12.
- WEATHER PROOFING STANDARDS: EXCERPT FROM CONSTRUCTION STANDARDS EXHIBIT A, SECTION 3.6 WEATHERPROOFING CONNECTORS AND GROUND KITS.
- COLOR CODING: SPRINT NEXTEL ANT AND LINE COLOR CODING (DRAFT) V3 08-08-11.

IMPORTANT:

GENERAL CONTRACTOR/TOWER CREW SHALL VERIFY THAT THE LATEST RF DATA SHEET ARE USED FOR EQUIPMENT INSTALLATION.

(**) NETWORK VISION ANTENNA RADIATION CENTERLINE AGL (FT) BASED ON TOWER MAPPING PERFORMED BY HUDSON DESIGN GROUP AND WILL SUPERSEDE ANY CONFLICTING INFORMATION DERIVED FROM THE ALU/SPRINT DATABASE.



CHECKED BY: JX

APPROVED BY: DPH

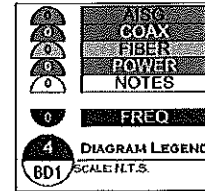
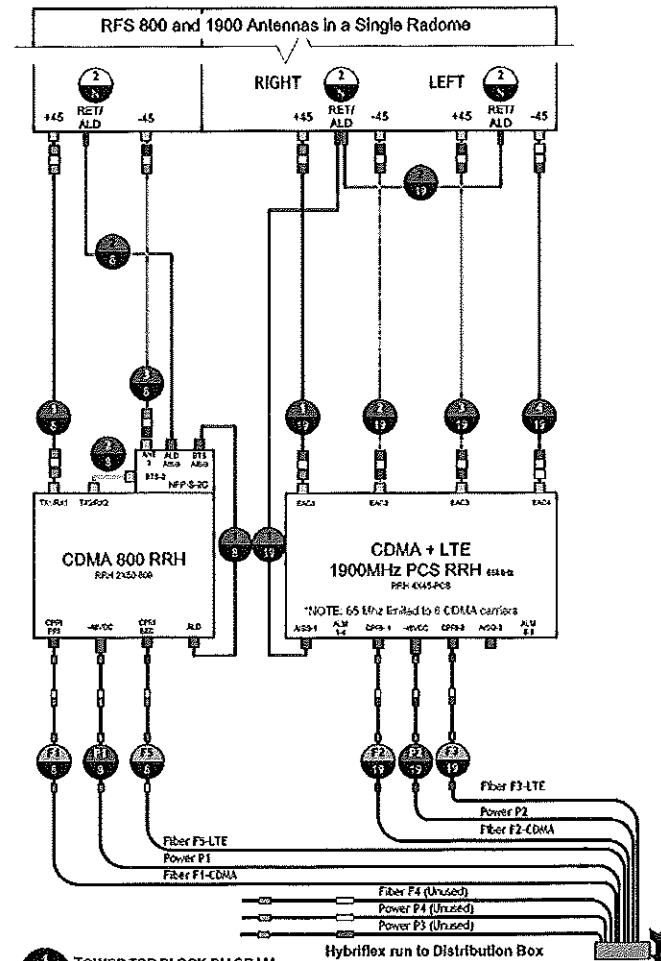
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REV.	DATE	DESCRIPTION	BY
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1	12/18/12	ISSUED FOR REVIEW	JG

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BS43XC808
SITE NAME:
PORTLAND DOUBLE
TREE HOTEL
SITE ADDRESS:
1230 CONGRESS STREET
PORTLAND, ME 04102

SHEET TITLE
RF DATA SHEET

SHEET NUMBER
A-4

SCENARIO 124_v2.0



Power Feed Polarity Definition:
 IF wires are BLACK AND BLACK/WHITE STRIPE:
 ■ Black = -48VDC Feed (Battery)
 ■ Black/White Stripe = Return

IF wires are RED AND BLACK:
 ■ Red = -48VDC Feed (Battery)
 ■ Black = Return

NOTE: For power feed use the same Hybriflex OEM color designator as the fiber.

■ MM Pair 1 = F1 = Green = P1 (Green)
 ■ MM Pair 2 = F2 = Blue = P2 (Blue)
 ■ MM Pair 3 = F3 = Red = P3 (Red)
 ■ MM Pair 4 = F4 = Yellow = P4 (Yellow)
 ■ MM Pair 5 = F5 = Orange = (No P5 power feed)

HYBRIFLEX OEM COLOR CODE
 BD1 SCALE: N.T.S.

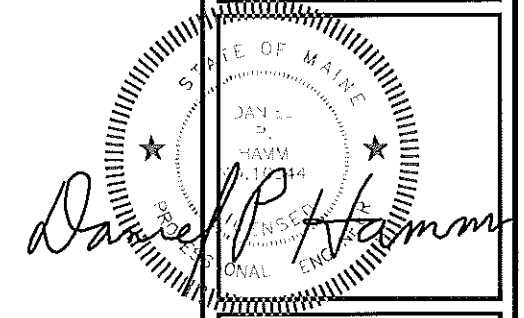
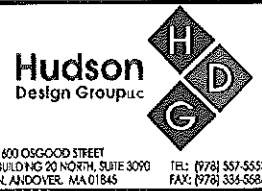
1 TOWER TOP BLOCK DIAGRAM
 BD1 SCALE: N.T.S.

1	DC Power Pair 3 Hybriflex, 1900 LTE RRH1 -48VDC port TO:FROM Distribution Box Breaker 3 (S1), 7 (S2), 11 (S3) 1900MHz
2	Fiber Pair 3, 1900 RRH2 CPRI PRI port TO:FROM Distribution Box, Top LC Bulkhead, Position 3-4 (S1), 9-10 (S2), Lower LC BH, Position 3-4 (S3) 1900MHz
3	DC Power Jumper, Power Pair 3 CTAP TO:FROM 1900 LTE RRH2 -48VDC port (42" Jumper) 1900MHz
4	Fiber Jumper, 1900 RRH1 CPRI SEC port TO:FROM 1900 RRH2 CPRI SEC port 1900MHz
5	AISG Cable Jumper, 1900 CDMA RRH1 AISG port TO:FROM 1900 Antenna RET/ADL port 1900MHz
6	AISG Cable Jumper, 1900 Antenna RET/ADL port TO:FROM 1900 Antenna RET/ALD port (RET Motors) 1900MHz
7	Coax Jumper, 1900 LTE RRH1 TX1/RX1 port TO:FROM Combiner Port G1 1900MHz
8	Coax Jumper, 1900 LTE RRH1 TX2/RX2 port TO:FROM Combiner Port G2 1900MHz
9	Coax Jumper, 1900 LTE RRH2 TX1/RX1 (logical TX/RX3) port TO:FROM Combiner Port G3 1900MHz
10	Coax Jumper, 1900 LTE RRH2 TX2/RX2 (logical TX/RX4) port TO:FROM Combiner Port G4 1900MHz
11	DC Power Pair 2 Hybriflex, 1900 CDMA RRH1 -48VDC port TO:FROM Distribution Box Breaker 2 (S1), 6 (S2), 10 (S3) 1900MHz
12	Fiber Pair 2, 1900 CDMA RRH1 CPRI PRI port TO:FROM Distribution Box, Top LC Bulkhead, Position 13-14 (S1), 19-20 (S2), Lower LC BH, Position 13-14 (S3) 1900MHz
13	DC Power Jumper, Power Pair 2 CTAP TO:FROM 1900 CDMA RRH2 -48VDC port (42" Jumper) 1900MHz
14	Fiber Jumper, 1900 RRH1 CPRI SEC port TO:FROM 1900 RRH2 CPRI SEC port 1900MHz
15	Coax Jumper, 1900 CDMA RRH1 TX1/RX1 port TO:FROM Combiner Port A1B1 1900MHz
16	Coax Jumper, 1900 CDMA RRH1 TX2/RX2 port TO:FROM Combiner Port A2B2 1900MHz
17	Coax Jumper, 1900 CDMA RRH2 TX1/RX1 (logical TX/RX3) port TO:FROM Combiner Port A3B3 1900MHz
18	Coax Jumper, 1900 CDMA RRH2 TX2/RX2 (logical TX/RX4) port TO:FROM Combiner Port A4B4 1900MHz
19	Coax Jumper, 1900 Combiner COM 1 port TO:FROM Antenna +45 port 1900MHz
20	Coax Jumper, 1900 Combiner COM 2 port TO:FROM Antenna -45 port 1900MHz
21	Coax Jumper, 1900 Combiner COM 3 port TO:FROM Antenna +45 port 1900MHz
22	Coax Jumper, 1900 Combiner COM 4 port TO:FROM Antenna -45 port 1900MHz
1	Spare Fiber Pairs & DC Power terminated, weatherproofed, spooled and tie wrapped to side of 800MHz RRH. (cable management) Notes
2	Alarm jumper cap connection. This alarm jumper must be in place to make the RRH # 2 of the pair. (# 2 is always the one farthest from the pipe) Notes
3	Power Cable "Y" jumper. C-Tap Jumper from Pair 3 to 1900 RRH2. Weatherproof C-Tap and leave 18-21" loop. Notes

CONNECTION LEGEND
 SCALE: N.T.S.

IMPORTANT:
 GENERAL CONTRACTOR/TOWER CREW SHALL VERIFY THAT THE LATEST NETWORK VISION RAN CONNECTION DIAGRAMS ARE USED FOR EQUIPMENT INSTALLATION

IMPORTANT:
 VELCRO STRAPS ONLY MAY BE USED ON FIBER. CABLE TIES OR TIE WRAP MUST NOT BE USED ON FIBER.



CHECKED BY: JX

APPROVED BY: DPH

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
2	01/23/13	FOR CONSTRUCTION	SF
1	12/18/12	ISSUED FOR REVIEW	JG

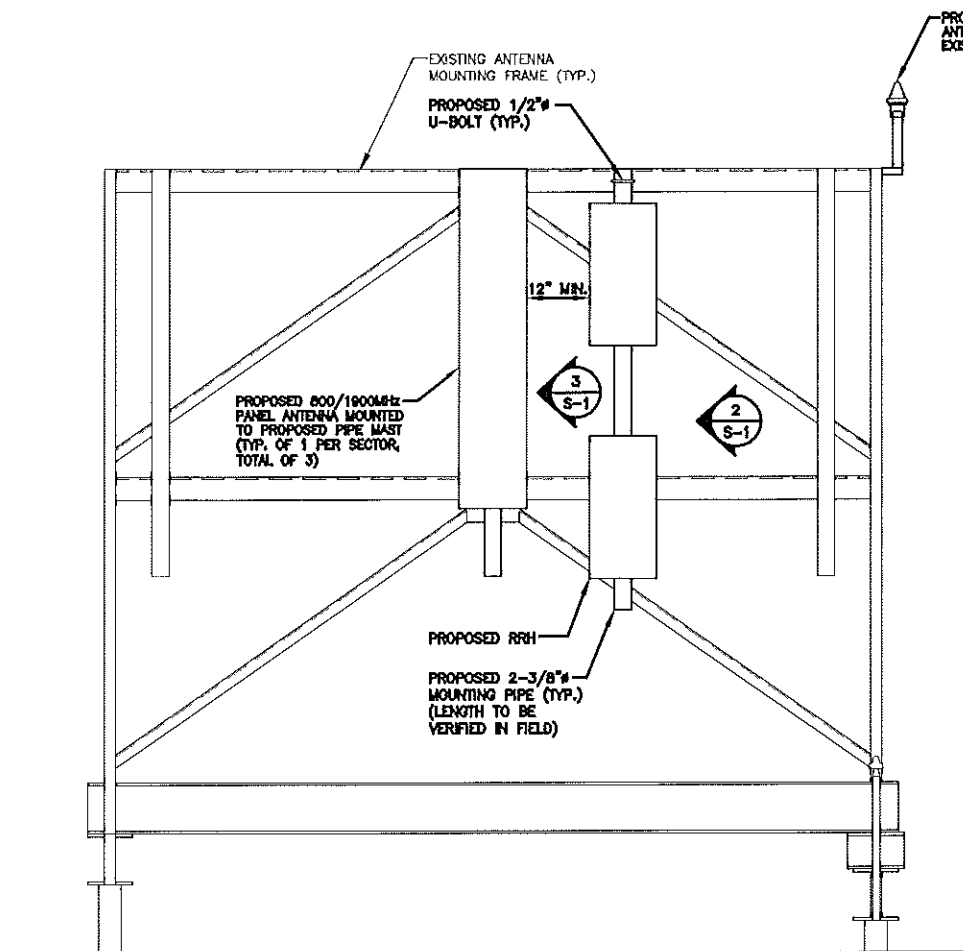
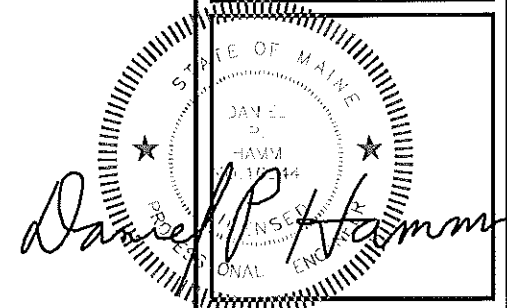
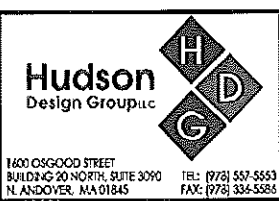
SITE NUMBER:
 BS43XC808
 SITE NAME:
 PORTLAND DOUBLE TREE HOTEL
 SITE ADDRESS:
 1230 CONGRESS STREET
 PORTLAND, ME 04102

SHEET TITLE
 WIRING DIAGRAM

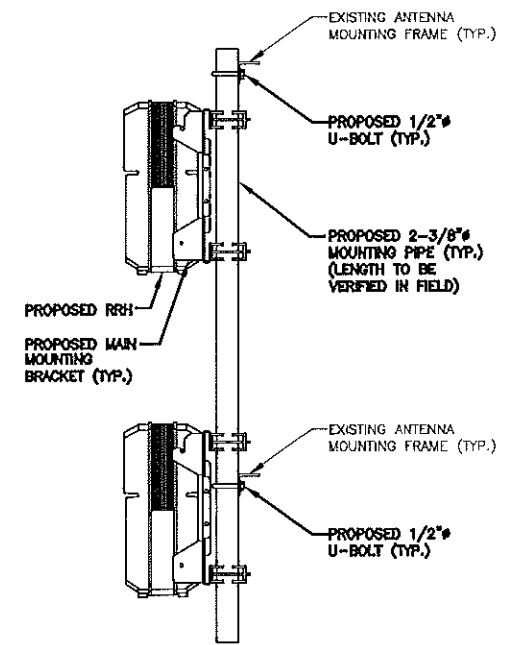
SHEET NUMBER
 A-5

STRUCTURAL NOTE:
 STRUCTURAL INFORMATION
 TAKEN FROM STRUCTURAL
 ANALYSIS PERFORMED BY
 HUDSON DESIGN GROUP, LLC.
 DATED: DECEMBER 18, 2012

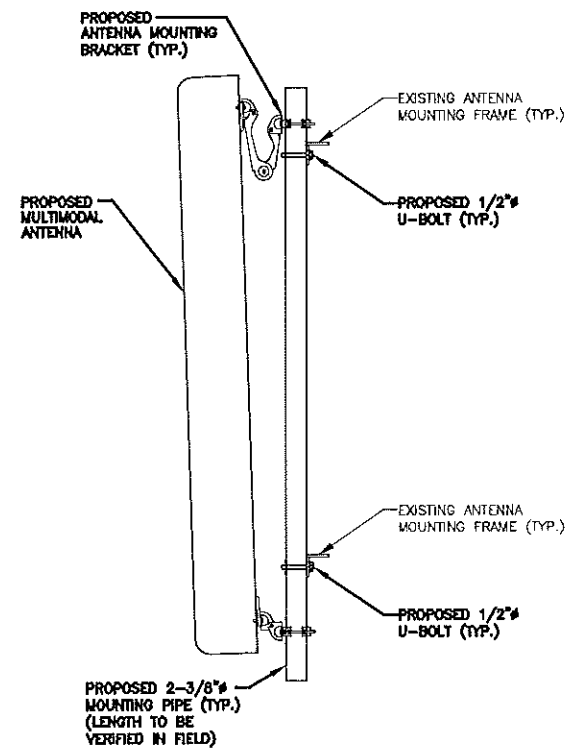
- NOTE:**
1. CONTRACTOR TO ENSURE THAT RRH MOUNTING DOES NOT INTERFERE WITH CLIMBING PEGS, CABLE CLIMB, COAX PORTS, OR EXISTING TOWER EXTENSION PLATE.
 2. CENTER MAXIMUM OPENING BETWEEN ADJACENT RRH ON EXISTING SAFETY CLIMB.
 3. CONTRACTOR TO VERIFY DIAMETER OF EXISTING MONOPOLE/UNIPOLE BEFORE ORDERING PARTS.
 4. PROPOSED EQUIPMENT TO BE MOUNTED PER MANUFACTURERS SPECIFICATIONS.
 5. RRH PLACEMENT FOR REFERENCE ONLY. CONTRACTOR SHALL PLACE RRH IN CORRECT ORDER MATCHING PROPOSED ANTENNA PLACEMENT.



ANTENNA & RRH MOUNTING DETAIL
 SCALE: N.T.S.



RRH MOUNTING SECTION
 SCALE: N.T.S.



ANTENNA MOUNTING SECTION
 SCALE: N.T.S.

CHECKED BY: JX

APPROVED BY: DPH

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
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1	12/18/12	ISSUED FOR REVIEW	JG

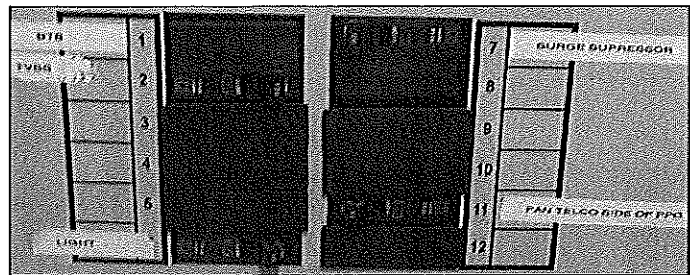
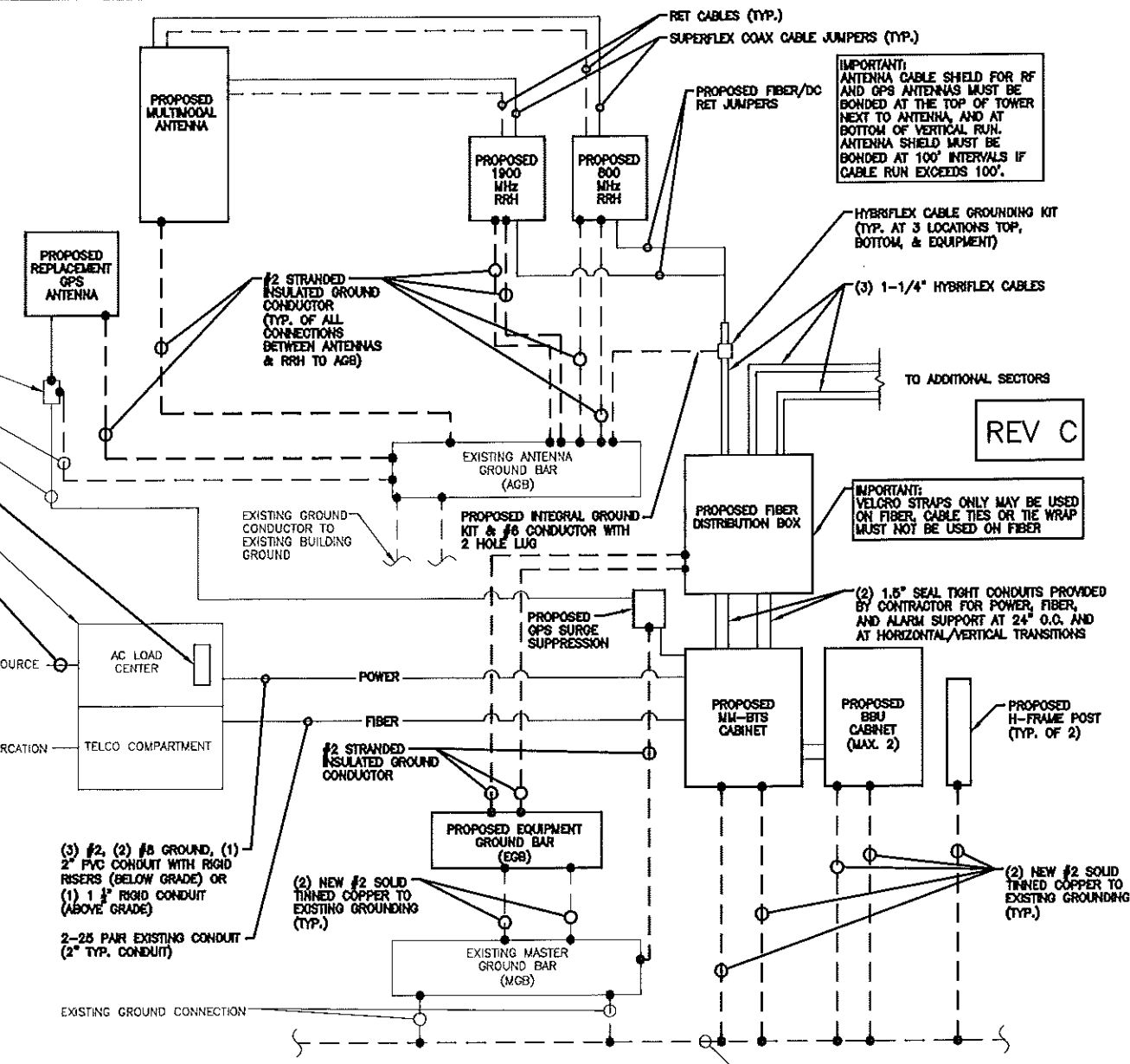
SITE NUMBER:
 BS43XC808
 SITE NAME:
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 TREE HOTEL
 SITE ADDRESS:
 1230 CONGRESS STREET
 PORTLAND, ME 04102

SHEET TITLE
 STRUCTURAL
 DETAILS

SHEET NUMBER
 S-1

SPECIAL GROUNDING NOTE:
 FOR NEW OR REPAIRED GROUNDING EQUIPMENT, REFER TO SPRINT GROUNDING STANDARDS AND THE FOLLOWING (SUPPLEMENTS):
 • ANTI-THEFT UPDATE TO SPRINT GROUNDING DATED 08.24.12.
 • SPRINT ENGINEERING LETTER EL-0504 DATED 04.20.12

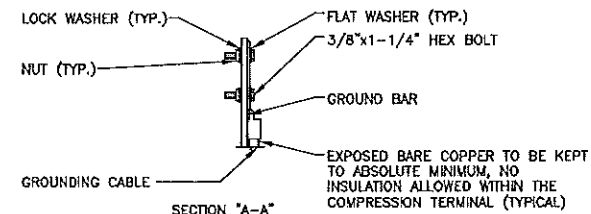
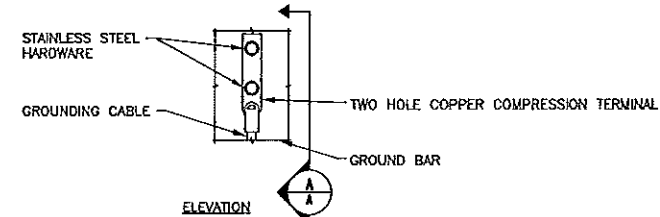
EXISTING CABLE GROUNDING KIT
 EXISTING INTERNAL GROUND KIT & #6 CONDUCTOR W/ 2 HOLE LUG.
 EXISTING GPS COAX
 PROPOSED 100A/2P BREAKER IN EXISTING PANEL (VERIFY BREAKER REQUIREMENTS W/ EQUIPMENT MANUFACTURER AND SPRINT)
 EXISTING PPC CABINET OR MAIN ELECTRICAL PANEL
 GENERAL CONTRACTOR SHALL UPGRADE THE SIZE OF THE CONDUIT AND CONDUCTORS AS NEEDED, BASED ON THE EQUIPMENT MANUFACTURER'S TECHNICAL SPECIFICATIONS FOR THE MULTIMODAL CABINET



EXISTING PANEL SCHEDULE

(ROOFTOP) TYPICAL POWER & GROUNDING ONE LINE DIAGRAM
 SCALE: N.T.S.

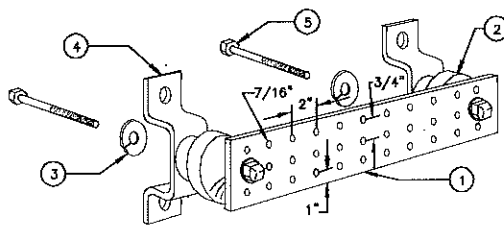
1
E-1



NOTE:
 1. "DOUBLING UP" OR "STACKING" OF CONNECTION IS NOT PERMITTED.
 2. OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS.
 3. CADWELD DOWNLEADS FROM UPPER EGB, LOWER EGB AND MGB.

TYPICAL GROUND BAR CONNECTION DETAIL
 SCALE: N.T.S.

2
E-1

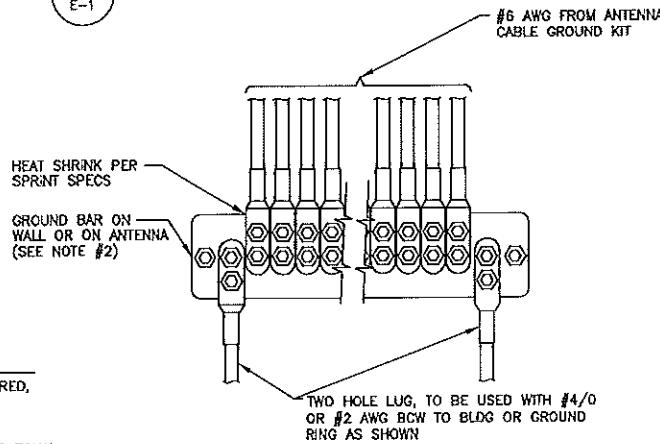


- LEGEND**
- 1- COPPER TINNED GROUND BAR, 1/4"x4"x20", OR OTHER LENGTH AS REQUIRED, HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION
 - 2- INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4 OR EQUAL
 - 3- 5/8" LOCKWASHERS OR EQUAL
 - 4- WALL MOUNTING BRACKETS, NEWTON INSTRUMENT CO. CAT NO. A-6056 OR EQUAL
 - 5- 5/8- 11x1" H.H.C.S. BOLTS

- NOTES:**
1. ALL BOLTS, NUTS, WASHERS AND LOCK WASHERS SHALL BE 18-8 STAINLESS STEEL.
 2. ALL GROUND BARS SHALL BE GALVANIZED WITH ANTI-THEFT HARDWARE.

TYPICAL GROUND BAR DETAIL
 SCALE: N.T.S.

3
E-1



- NOTES:**
1. CONTRACTOR TO UTILIZE KOPR-SHIELD (THOMAS & BETTS) ON ALL LUG CONNECTIONS.
 2. ALL GROUND BARS SHALL BE GALVANIZED WITH ANTI-THEFT HARDWARE.

TYPICAL INSTALLATION OF GROUND WIRE TO GROUND BAR DETAIL
 SCALE: N.T.S.

4
E-1

ELECTRICAL NOTES

- 1) ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.
- 2) THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CONDUIT ROUTING WITH LOCAL UTILITY COMPANIES AND SPRINT CONSTRUCTION MANAGER.
- 3) ALL CONDUITS ROUTED BELOW GRADE SHALL TRANSITION TO RIGID GALVANIZED ELBOWS WITH RIGID GALVANIZED STEEL CONDUIT ABOVE GRADE.
- 4) ALL METAL CONDUITS SHALL BE PROVIDED WITH GROUNDING BUSHINGS.
- 5) GENERAL CONTRACTOR SHALL PROVIDE ALL DIRECT BURIED CONDUITS WITH PLASTIC WARNING TAPE IDENTIFYING CONTENTS. TAPE COLORS SHALL BE ORANGE FOR TELEPHONE AND RED FOR ELECTRIC.
- 6) ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.
- 7) THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIALS DESCRIBED BY DRAWINGS AND SPECIFICATIONS INCLUDING INCIDENTAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.
- 8) GENERAL CONTRACTOR SHALL PAY FEES FOR PERMITS, AND IS RESPONSIBLE FOR OBTAINING SAID PERMITS AND COORDINATION OF INSPECTIONS.
- 9) ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS OR SCHEDULE 80 PVC (AS PERMITTED BY CODE) AND WHERE REQUIRED IN LIQUID TIGHT FLEXIBLE METAL OR NONMETALLIC CONDUITS.
- 10) BURIED CONDUIT SHALL BE SCHEDULE 40 PVC.
- 11) ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XHHW, THIN OR THIN INSULATION.
- 12) RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY DEMARCATION POINT AND PROJECT OWNER CELL SITE PPC AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE. COORDINATE INSTALLATION WITH UTILITY COMPANY.
- 13) RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY DEMARCATION POINT AND PROJECT OWNER CELL SITE TELCO CABINET AND BTS CABINET AS INDICATED ON THIS DRAWING. PROVIDE FULL LENGTH PULL ROPE IN INSTALLED TELCO CONDUIT. PROVIDE GREENLEE CONDUIT MEASURING TAPE AT EACH END.
- 14) ABOVE GROUND PORTION OF CONDUIT BETWEEN BTS AND PROJECT OWNER'S CELL SITE PPC SHALL BE RIGID CONDUIT.
- 15) FOR NEW OR REPAIRED GROUNDING EQUIPMENT, REFER TO SPRINT GROUNDING STANDARDS AND THE FOLLOWING SUPPLEMENTS:
 ANTI-THEFT UPDATE TO SPRINT GROUNDING DATED 08.24.12
 SPRINT ENGINEERING LETTER EL-0504 DATED 04.20.12

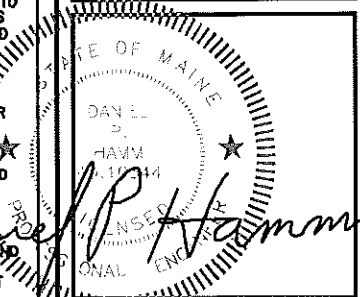
GROUNDING NOTES

- 1) ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEMA 3R ENCLOSURE.
- 2) ALL GROUND WIRE SHALL BE BARE COPPER #2 AWG UNLESS OTHERWISE NOTED.
- 3) ALL GROUND WIRES SHALL PROVIDE A STRAIGHT, DOWNWARD PATH TO GROUND WITH GRADUAL BENDS AS REQUIRED. GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT.
- 4) EACH EQUIPMENT CABINET SHALL BE CONNECTED TO THE MASTER GROUND BAR (MGB) WITH #2 AWG INSULATED STRANDED COPPER WIRE. EQUIPMENT CABINETS SHALL EACH HAVE (2) CONNECTIONS.
- 5) PROVIDE DEDICATED #2 AWG COPPER GROUND WIRE FROM EACH ANTENNA MOUNTING PIPE TO ASSOCIATED AGB (TYP.)
- 6) ANTENNA GROUND KITS SHALL BE FURNISHED BY SPRINT AND INSTALLED BY ELECTRICAL CONTRACTOR.
- 7) COORDINATE NEW SPRINT GROUND SYSTEM WITH EXISTING SITE GROUND SYSTEM.
- 8) GROUNDING SHALL COMPLY WITH NEC ART. 250. ADDITIONALLY, GROUNDING, BONDING AND LIGHTNING PROTECTION SHALL BE DONE IN ACCORDANCE WITH PROJECT OWNER'S BTS SITE GROUNDING STANDARDS.
- 9) GROUND HYBRIFLEX CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURER'S HYBRIFLEX CABLE GROUNDING KITS.
- 10) ALL GROUND CONNECTIONS TO BE BURNED HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- 11) ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY. BOND ANY METAL OBJECTS WITHIN 6 FEET OF PROJECT OWNER EQUIPMENT OR CABINET TO MASTER GROUND BAR OR GROUNDING RING.
- 12) CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHIBITING COMPOUND TO ALL LOCATIONS.
- 13) APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUND CONNECTIONS.

Sprint
 NETWORK VISION. MMBITS LAUNCH
 1 INTERNATIONAL BLVD, SUITE 800
 MANHATTAN, NJ 07415
 TEL: 800 357-7441

Alcatel-Lucent
 1 ROSS'S ROAD
 WESTFORD, MA 01884
 TEL: (978) 352-1600

Hudson Design Group LLC
 1600 OSGOOD STREET
 BUILDING 20 NORTH, SUITE 3090
 N. ANDOVER, MA 01845
 TEL: (978) 557-5553
 FAX: (978) 336-5566



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APPROVED BY: DPH

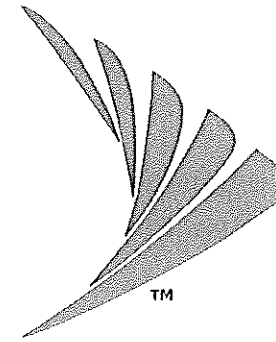
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REV.	DATE	DESCRIPTION	BY
2	01/23/13	FOR CONSTRUCTION	SF
1	12/18/12	ISSUED FOR REVIEW	JS

SITE NUMBER:
 BS43XC808
 SITE NAME:
 PORTLAND DOUBLE TREE HOTEL
 SITE ADDRESS:
 1230 CONGRESS STREET
 PORTLAND, ME 04102

SHEET TITLE
 TYPICAL POWER & GROUNDING ONE LINE DIAGRAM

SHEET NUMBER
 E-1

Sprint[®] VISION



SITE NUMBER:
BS43XC808

SITE NAME:

PORTLAND DOUBLE TREE HOTEL

SITE ADDRESS:

**1230 CONGRESS STREET
PORTLAND, ME 04102**

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VISION**
1 INTERNATIONAL BLVD, SUITE 800
MAHWAH, NJ 07445
TEL: (800) 357-7641

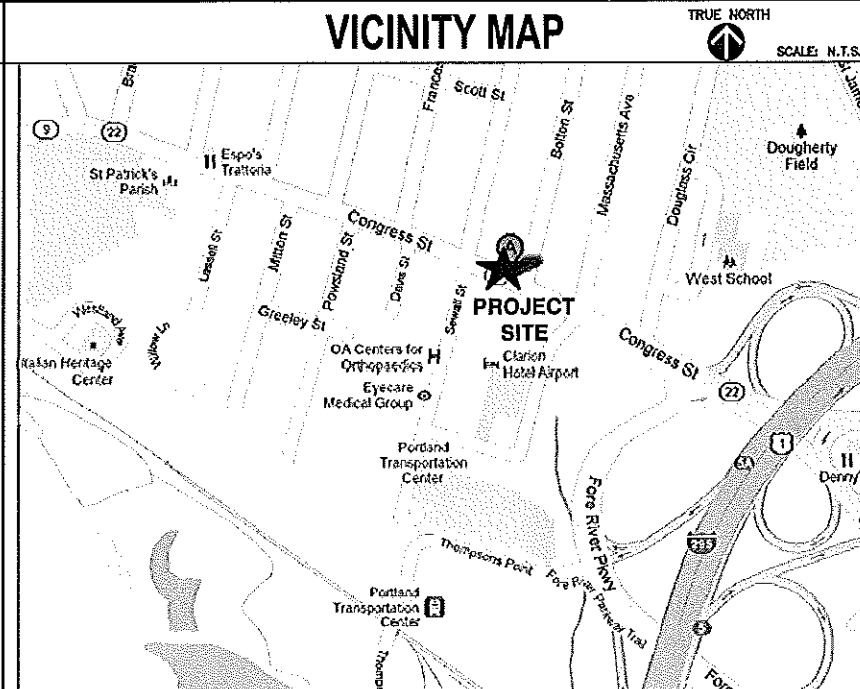
Alcatel-Lucent
1 ROBBINS ROAD
WESTFORD, MA 01886
TEL: (978) 952-1600

**Hudson
Design Group, LLC**
1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 2-101
N. ANDOVER, MA 01845
TEL: (978) 557-5553
FAX: (978) 336-5556

SITE INFORMATION

SITE NUMBER:	BS43XC808	LOCAL POWER COMPANY:	INDEPENDENT ENERGY
SITE NAME:	PORTLAND DOUBLE TREE HOTEL	BROKER:	
SITE ADDRESS:	1230 CONGRESS STREET PORTLAND, ME 04102	AAV PROVIDER:	FAIRPOINT
COUNTY:	CUMBERLAND	APPLICANT:	SPRINT 1 INTERNATIONAL BLVD, SUITE 800 MAHWAH, NJ 07495
ZONING:	B2 BUSINESS	APPLICANT REPRESENTATIVE:	ALCATEL-LUCENT 1 ROBBINS ROAD WESTFORD, MA 01886 TEL: (978) 952-1600
COORDINATES(*):	43.6556111 -70.2904111	SITE ACQUISITION CONSULTANT:	ALCATEL-LUCENT 1 ROBBINS ROAD WESTFORD, MA 01886 TEL: (978) 952-1600
GROUND ELEV.:	89± (AMSL)	A&E CONSULTANT:	HUDSON DESIGN GROUP LLC 1600 OSGOOD STREET BLDG 20 NORTH, SUITE 2-101 NORTH ANDOVER, MA 01845 TEL: (978) 557-5553 FAX: (978) 336-5556
STRUCTURE TYPE:	ROOF TOP		
STRUCTURE HEIGHT:	90± (AGL)		
ANTENNA RAD CENTER:	79± (AGL)		
PROPERTY OWNER:	OLYMPIA EQUITY EQUITY INVESTORS I LLC 1230 CONGRESS ST PORTLAND, ME 04401		

VICINITY MAP



SHEET INDEX

SHEET	DESCRIPTION	REV
T-1	TITLE SHEET	0
T-2	SITE PHOTOS	0
A-1	COMPOUND PLAN	0
A-2	DETAILS	0

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

ALCATEL-LUCENT REP: _____ DATE: _____
 AAV REP: _____ DATE: _____
 SITE ACQUISITION: _____ DATE: _____
 LANDLORD/
 PROPERTY OWNER: _____ DATE: _____

CHECKED BY: _____ KB

APPROVED BY: _____ DPH

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
0	08/20/12	FOR REVIEW	SR

SITE NUMBER:
BS43XC808
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PORTLAND DOUBLE TREE HOTEL
 SITE ADDRESS:
**1230 CONGRESS STREET
PORTLAND, ME 04102**

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

GENERAL NOTES

- THIS IS AN UNMANNED TELECOMMUNICATION FACILITY AND NOT FOR HUMAN HABITATION:
 -HANDICAPPED ACCESS NOT REQUIRED
 - PORTABLE WATER OR SANITARY SERVICE IS NOT REQUIRED
 - NO OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES REQUIRED
- CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON JOB SITE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT/ENGINEER PLACE THE RESPONSIBILITY ON THE CONTRACTOR TO CORRECT THE DISCREPANCIES AT THE CONTRACTOR'S EXPENSE.
- DEVELOPMENT AND USE OF THE SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE 780 CMR - 8TH EDITION
 ELECTRICAL CODE: 2008 NATIONAL ELECTRICAL CODE
 STRUCTURAL CODE: TIA/EIA-222-G OR LATEST EDITION

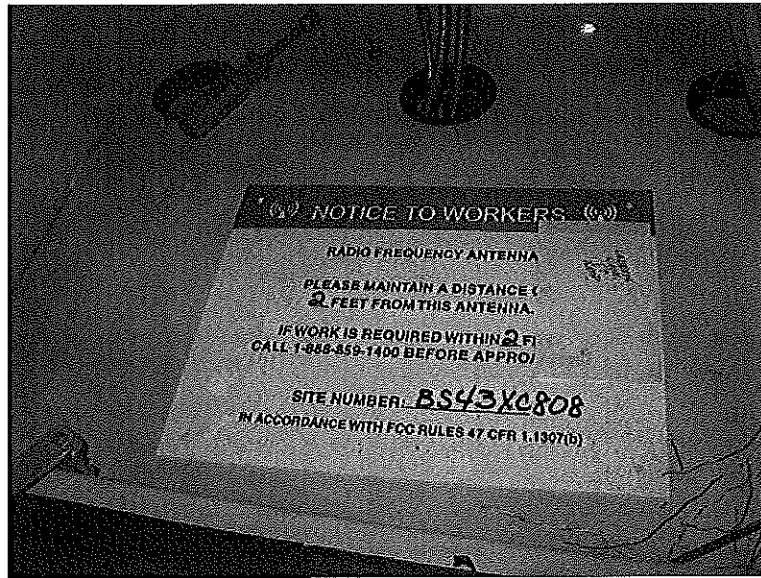
CALL



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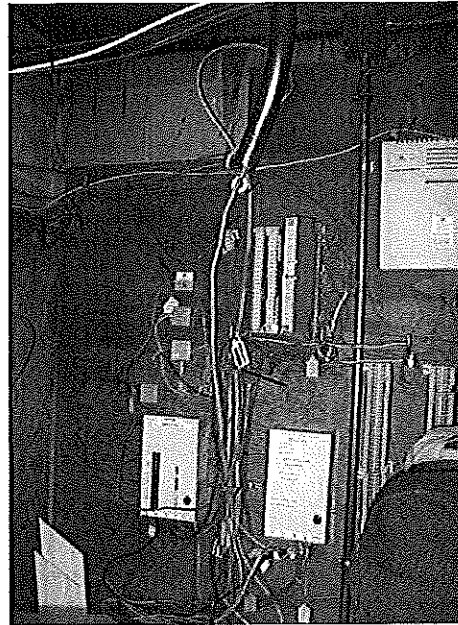


CALL TOLL FREE 888-DIG-SAFE



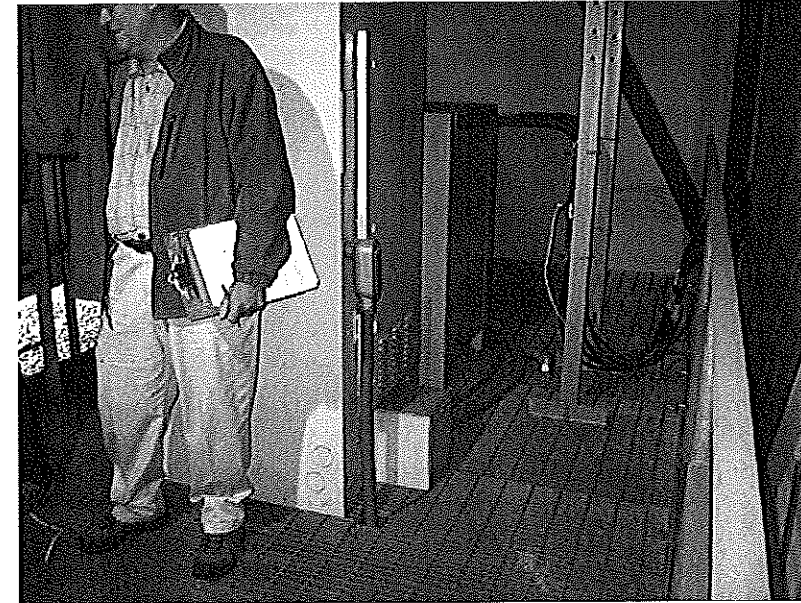
EXISTING SIGNAGE

1
T-2



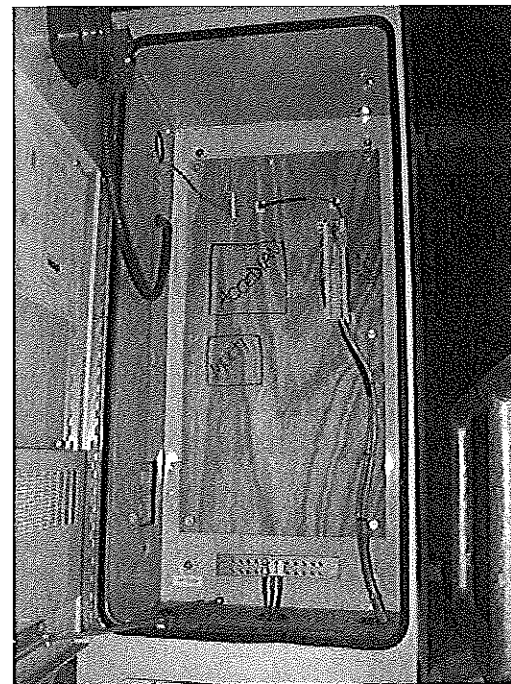
PROPOSED MEET POINT

2
T-2



EXISTING EQUIPMENT AREA

3
T-2



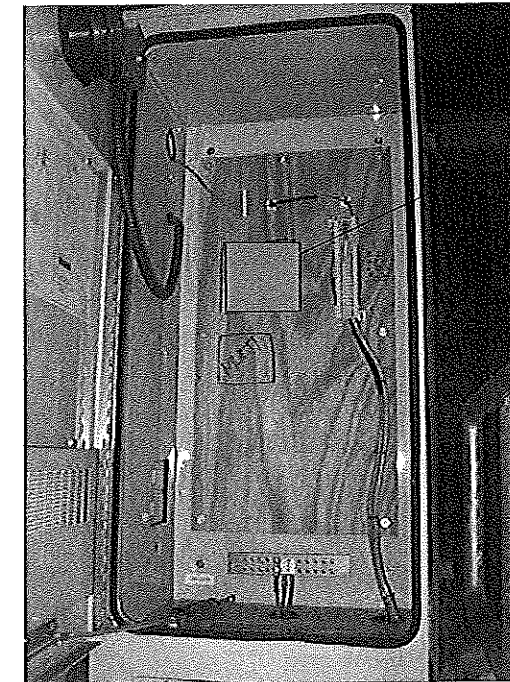
EXISTING TELCO CABINET

4
T-2



EXISTING POWER SOURCE

5
T-2



PROPOSED NID EQUIPMENT LOCATION

6
T-2

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VISION
1 INTERNATIONAL BLVD, SUITE 800
MAHWAH, NJ 07445
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WESTFORD, MA 01586
TEL: (978) 892-1600

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Design Group, Inc.
1600 OSGOOD STREET
BUILDING 20 NORTH, SUITE 2-101
N. ANDOVER, MA 01845
TEL: (978) 537-5553
FAX: (978) 336-5586

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APPROVED BY: DPH

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SHEET TITLE
SITE PHOTOS

SHEET NUMBER
T-2

AAV SCOPE OF WORK NOTES:

- 1 FIBER RUN: PROPOSED FIBER DISTRIBUTION PANEL ON PROPOSED BACKBOARD IN TELCO ROOM.
- 2 FAIRPOINT FIBER TO ORIGINATE FROM PROPOSED FIBER DISTRIBUTION PANEL AND RUN WITHIN EXISTING 2" RGS CONDUIT A.G. TO EXISTING SPRINT TELCO CABINET. (APPROX. 350'±)
- 3 PROPOSED METRONID TO BE MOUNTED INSIDE EXISTING SPRINT TELCO CABINET.
- 4 FIBER TO CONTINUE FROM PROPOSED METRONID WITHIN EXISTING 1 1/2" LIQUID TIGHT CONDUIT A.G. TO PROPOSED MM-BTS CABINET. (APPROX. 20'±)
- 5 PROPOSED FIBER FROM PROPOSED FIBER DISTRIBUTION PANEL TO PROPOSED MM-BTS CABINET (APPROX. 370'± TOTAL)
- 6 POWER RUN: PROPOSED INSTALL 1 1/4" RGS CONDUIT FROM THE PROPOSED MM-BTS TO PROPOSED METRONID (APPROX. 20'±) (DC POWER CONDUCTORS *TBD BY SPRINT GC*)

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CALL TOLL FREE 888-DIG-SAFE

SPRINT TO PROVIDE MULE TAPE AND INNERDUCT IN EXISTING/PROPOSED CONDUIT PATHS UNLESS OTHERWISE NOTED



CHECKED BY: KB

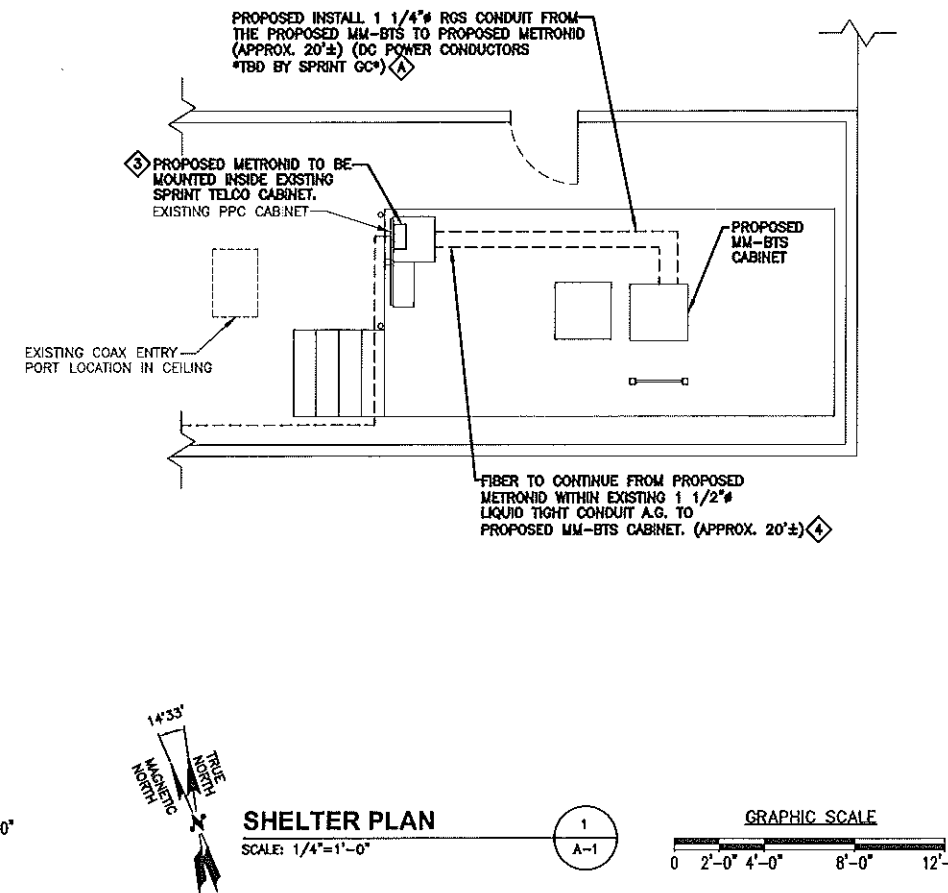
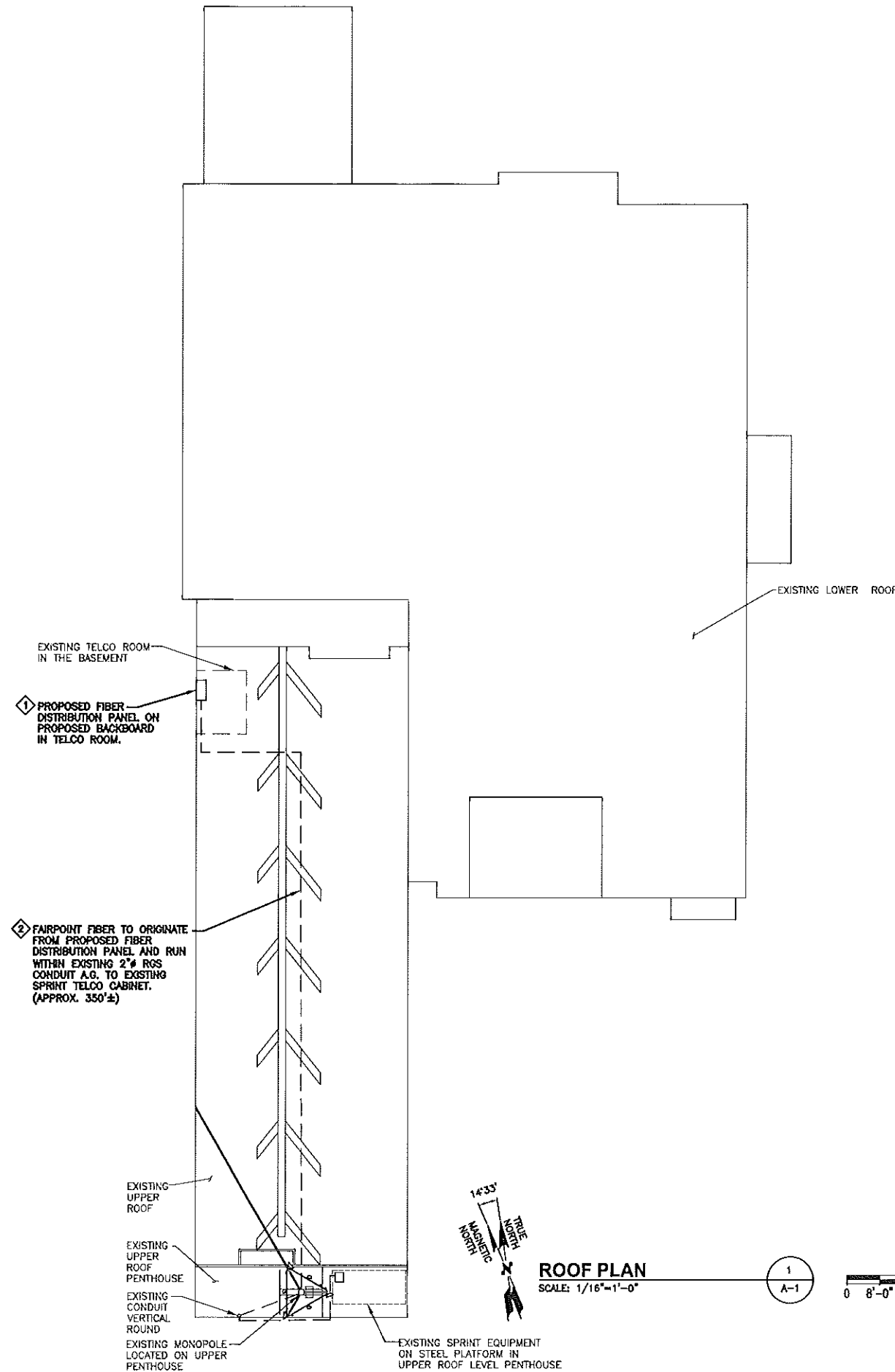
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BS43XC808
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TREE HOTEL
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1230 CONGRESS STREET
PORTLAND, ME 04102

SHEET TITLE
COMPOUND PLAN

SHEET NUMBER
A-1

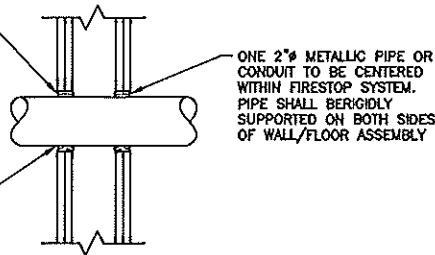


MAXIMUM PIPE DIAMETER (in.)	MAXIMUM EMT (in.)	ANNULAR SPACE (in.)	FORMING MATERIAL THICKNESS (in.)	MINIMUM SEALANT THICKNESS (in.)	F RATING (HOURS)	T RATING (HOURS)
1-1/2	-	3/8 TO 2-1/8	2-1/2	2	3	1
6	4	3/8 TO 3/4	3-1/2	1	3	0
6	4	3/8 TO 1	2-1/2	2	3	0

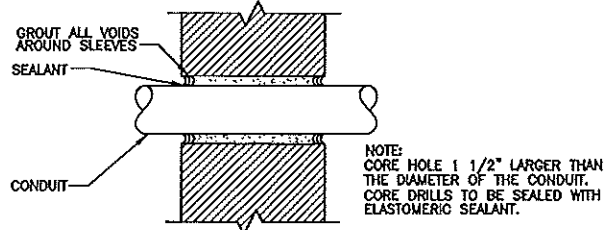
PACKING MATERIAL: MIN. 1 in. THICKNESS OF MIN. 3.5 pcf FIBERGLASS INSULATION SHALL BE WRAPPED AROUND THE THROUGH-PENETRANT AND SECURED TOGETHER BY MEANS OF NO. 24 AWG STEEL WIRE. PACKING MATERIAL SHALL BE CENTERED AT MID-DEPTH OF OPENING AND RECESSED FROM BOTH SURFACES OF WALL ASSEMBLY TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.

FILL VOID OR CAVITY MATERIAL - CAULK OR PUTTY: IN 2 HR FIRE RATED ASSEMBLIES MIN 3/4 in. THICKNESS FILL MATERIAL APPLIED WITHIN THE ANNULUS, FLUSH BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 1/4 in. CROWN IS FORMED AROUND THE PENETRATING ITEM. IN 1 HR FIRE RATED ASSEMBLIES, MIN 5/8 in. THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS ON BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 3/8 in. CROWN IS FORMED AROUND THE PENETRATING ITEM AND LAPPING 1 in. BEYOND THE PERIPHERY OF THE OPENING.

SPECIFIED TECHNOLOGIES, INC.:
SPECSEAL SERIES SSS SEALANT, SPECSEAL LCI SEALANT OR SPECSEAL PUTTY.
UL SYSTEM NUMBER: W-L-1029
F RATING - 1 & 2 HR.



PIPE AND CONDUIT PENETRATION
DETAIL IN GYPSUM WALLBOARD



PIPE AND CONDUIT PENETRATION
DETAIL IN NON-RATED PARTITION

CONCRETE FLOOR OR WALL ASSEMBLY, MINIMUM 4-1/2 in. THICKNESS FLOOR/ MINIMUM 6-1/2 in. WALL.

TYPE AS OR TYPE SS:
MINIMUM THICKNESS OF SEALANT AS SPECIFIED IN THE TABLE BELOW, APPLIED WITHIN THE OPENING, FLUSH WITH THE TOP SURFACE OF THE FLOOR OR BOTH SURFACES OF THE WALL.

FORMING MATERIAL:
MINERAL WOOL INSULATION (MINIMUM 4.0 pcf) FIRMLY PACKED INTO THE OPENING AS A PERMANENT FORM; SEE TABLE FOR MINIMUM REQUIRED THICKNESS

METALLIC PIPE:
STEEL PIPE: 6" (OR SMALLER) SCHEDULE 10 (OR HEAVIER) STEEL PIPE. CONDUIT: 4" (OR SMALLER) ELECTRICAL METALLIC TUBING (EMT) OR 6" RIGID STEEL CONDUIT.

UL SYSTEM NUMBER: C-AJ-1020
F RATING - 3 HR.

PIPE AND CONDUIT PENETRATION
DETAIL IN CONCRETE OR MASONRY

PACKING MATERIAL: MIN 1-1/2 in. THICKNESS OF MIN 6 pcf MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO OPENING AS A PERMANENT FORM. PACKING MATERIAL TO BE RECESSED FROM TOP SURFACE OF FLOOR OR FROM BOTH SURFACES OF WALL AS REQUIRED TO ACCOMMODATE THE REQUIRED THICKNESS OF FILL MATERIAL.

ONE 2" SCHEDULE 40 PVC PIPE TO BE CENTERED WITHIN FIRESTOP SYSTEM. A NOM. ANNULAR SPACE OF 5/16" IS REQUIRED WITHIN THE FIRESTOP SYSTEM PIPE SHALL BE RIGIDLY SUPPORTED ON BOTH SIDES OF WALL/FLOOR ASSEMBLY.

FILL VOID OR CAVITY MATERIAL - SEALANT:
MIN 2 in. THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS, FLUSH WITH THE TOP SURFACE OF FLOOR OR WITH BOTH SURFACES OF WALL.

SPECIFIED TECHNOLOGIES, INC.:
SPECSEAL SERIES SSS SEALANT OR SPECSEAL LCI SEALANT.

UL SYSTEM NUMBER: C-AJ-2057
F RATING - 2 HR.

PVC CONDUIT PENETRATION
DETAIL IN CONCRETE OR MASONRY

WALL HR	MAX DIAM OF THROUGH PENETRANT in.	T RATING HR
1	2	1
1	1-1/4	1
2	2	1
2	1-1/4	1 1/2

THE HOURLY F RATING OF THE FIRESTOP SYSTEM IS EQUAL TO THE HOURLY FIRE RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED.

THROUGH PENETRANTS: ONE 2" NONMETALLIC PIPE, CONDUIT OR RACEWAY TO BE CENTERED WITHIN THE FIRESTOP SYSTEM. A NOM ANNULAR SPACE OF 5/16 in. IS REQUIRED WITHIN THE FIRESTOP SYSTEM. PIPE, CONDUIT OR RACEWAY TO BE RIGIDLY SUPPORTED ON BOTH SIDES OF THE FLOOR OR WALL ASSEMBLY.

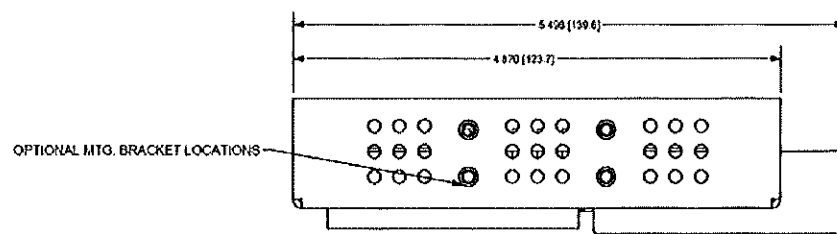
FILL VOID OR CAVITY MATERIAL - SEALANT:
MIN 5/8 in. THICKNESS OF FILL MATERIAL APPLIED WITHIN ANNULUS, FLUSH WITH BOTH SURFACES OF WALL. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN 1/4 in. THICK CROWN IS FORMED AROUND THE PENETRATING ITEM AND LAPPING 1 in. BEYOND THE PERIPHERY OF THE OPENING.

SPECIFIED TECHNOLOGIES, INC.:
SPECSEAL SERIES SSS SEALANT, SPECSEAL LCI SEALANT.

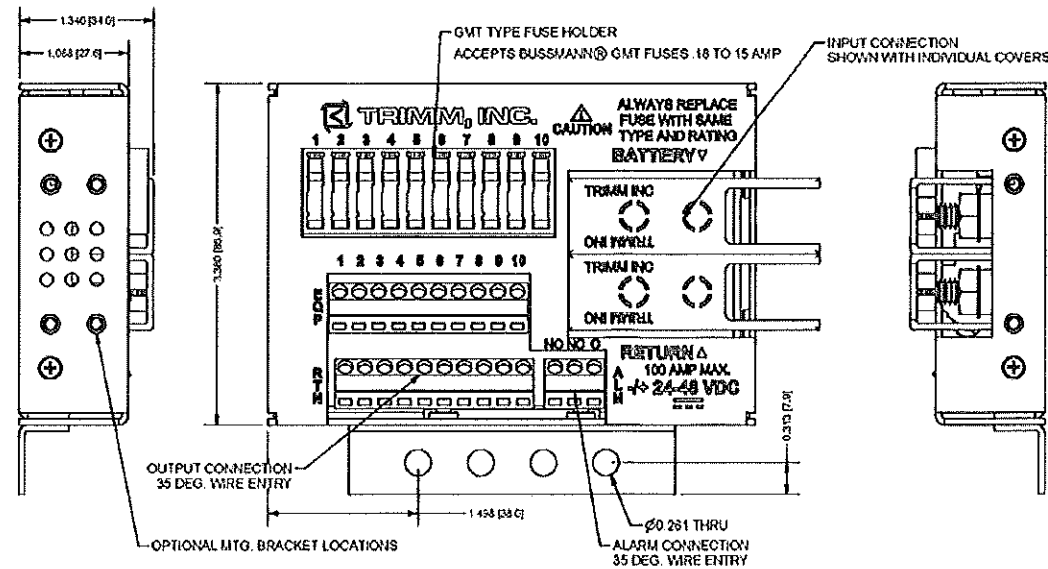
UL SYSTEM NUMBER: W-L-2093
F RATING - 1 & 2 HR.

PVC CONDUIT PENETRATION
DETAIL IN GYPSUM WALLBOARD

ALL CORES THROUGH ELECTRIC ROOMS TO BE FIRE-STOPPED.
USE FULL CONDUIT RUNS THROUGH PENETRATIONS



OPTIONAL MTG. BRACKET LOCATIONS

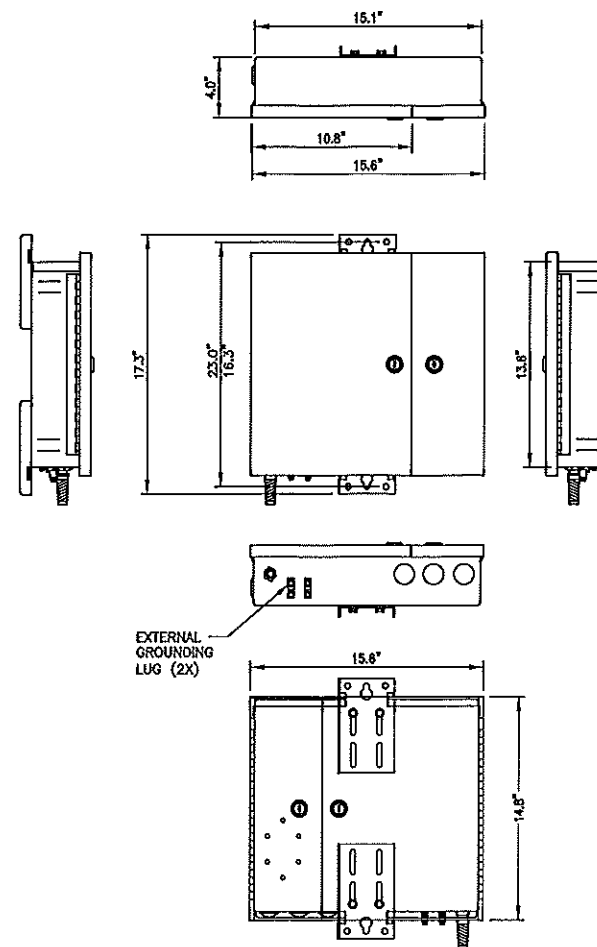


FUSE PANEL DETAIL

SCALE: N.T.S.

PENETRATION DETAILS

SCALE: N.T.S.



METRO NID CABINET DETAIL

SCALE: N.T.S.

Sprint
VISION

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MAHWAH, NJ 07435
TEL: (800) 357-7641



Alcatel-Lucent

1 ROBBER'S ROAD
WESTFORD, MA 01886
TEL: (978) 952-1600

Hudson
Design Group, LLC

1400 OSGOOD STREET
BUILDING 20 NORTH SUITE 2-101
N. ANDOVER, MA 01845



CHECKED BY: KB

APPROVED BY: DPH

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
0	08/20/12	FOR REVIEW	SR

SITE NUMBER:
BS43XC808
SITE NAME:
PORTLAND DOUBLE
TREE HOTEL
SITE ADDRESS:
1230 CONGRESS STREET
PORTLAND, ME 04102

SHEET TITLE

DETAILS

SHEET NUMBER

A-2