DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAN LDING PE



This is to certify that

OLYMPIA EQUITY INVESTORS I LP /Netcom Wireless

1230 CONGRESS ST

Located at

Facilities

PERMIT ID: 2013-00177

CBL: 189 A014001

has permission to Install fiber dist box w/ in lease area. Replace existing antenna's, equipment cabinets, coax cable w/ hybrid flex cables and replace local exchange carrier w/

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise clsoed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY THERE IS A PENALTY FOR REMOVING THIS CARD

PERMIT ID: 2013-00177 Located at: 1230 CONGRESS ST CBL: 189 A014001

BUILDING PERMIT INSPECTION PROCEDURES Please call 874-8703 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months. If the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.

REQUIRED INSPECTIONS:

Electrical Close-in Final - Electric Electrical Service

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ID: 2013-00177 Located at: 1230 CONGRESS ST CBL: 189 A014001

389 Congress Street, (2013-00177	issue Date		CBL:	0.1
Location of Construction:)4101 1el: (.	Owner Name:	3, Fax: (20/) 8/4-8		Address:	L		189 A0140	01
1230 CONGRESS ST					OX 508 PORTI	AND, MI	E 04112	Phone:	
Business Name:		Contractor Name	e:	Contra	ctor Address:			Phone	
Lessee/Buyer's Name Phone:		less Facilities		evo Park Drive U 02360	nit 3 Plym	outh	(508) 732-002	20	
			1	Permit Type: Radio/Telecommunications Equipment		ipment	Zone:		
Past Use: Proposed Use:		9// 177/14/ 1/02 10/1	Permi		Cost of World		CEO District:		
Hotel & food service Same: Hotel &		t food service	FIDE	\$170.00 DEPT:		5,000.00 INSPECTI	6 ON:		
			FIRE		Approved Denied N/A	Use Group	0 /0	minica	
Proposed Project Description	n:			-	^_		Mur	FC 200	1
Install fiber dist box w/		Replace existing	g antenna's,	Signate	ire: dub	-	Signature:	1 - 1-	8/13
equipment cabinets, coa exchange carrier w/ fibe		orid flex cables	and replace local	PEDES	TRIAN ACTIVITI	ES DISTRIC	CT (P.A.D.)	0.	The
exchange carrier w/ noe	er optics			Ac	tion: Approved	i App	roved w/Cor	nditions Den	ied
				Sig	nature:		Da	te:	
Permit Taken By: LDOBSON	01/28	plied For: /2013			Zoning A	Approva	ı		
1. This permit applica	tion does not r	reclude the	Special Zone or R	leviews	Zoning	Appeal		Historie Preservat	ion
Applicant(s) from n Federal Rules.			Shoreland		☐ Variance		12	Not in District or I	andmark
2. Building permits do septic or electrical		lumbing,	Wetland		Miscellane	cous		Does Not Require	Review
3. Building permits ar within six (6) month	hs of the date of	of issuance.	Flood Zone		Condition	al Use		Requires Review	
False information n permit and stop all		a building	Subdivision		Interpretat	ion		Approved	
			Site Plan		Approved			Approved w/Cond	itions
			Maj Minor 1	MN	☐ Denied			Denied	
			Date: Z/4/	201	Date:		Date:		
			CERTIFICA	TION					
I hereby certify that I am									
I have been authorized by jurisdiction. In addition, shall have the authority to such permit.	if a permit for	work describe	d in the application i	is issued	d, I certify that th	e code offi	icial's auth	orized represen	tative
SIGNATURE OF APPLICAN	Т		ADDR	RESS		DATE		PHONE	
RESPONSIBLE PERSON IN	CHARGE OF W	ORK, TITLE				DATE		PHONE	-

2013-00 17 General Building Permit Applic

135 43 XC 808

If you or the property owner owes real estate or personal property taxes or perty within the City, payment arrangements must be made before permits

Location/Address of Construction: 1230 Total Square Footage of Proposed Structure/A	Congress Street rea Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 189 A014001	Applicant *must be owner, Lessed or Buy, Name Sprint Address 1 Internation Poly d City, State & Zip Mahwah, NJ 074	478-828-3264 Kristen Le Duc
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Olympia Equity Investors 1 Address 1230 Congress St. City, State & Zip Portland ME 04401	Cost Of Work: \$ 15,000 C of O Fee: \$ Total Fee: \$ 170.00
Current legal use (i.e. single family) PUSIII If vacant, what was the previous use? NIA Proposed Specific use: WIVE CSS COM Is property part of a subdivision? NIA Project description: Install Fiber II CHISTING antennas! Replace existing equit	munication Modification If yes, please name Dist. Dox wlin lease Replace existing G pment cabinets. Replace local exc	area. Replace PS antenna. place existing change carrier wil
Contractor's name: Charles B. Ann Address: 10 Aero Park Dr. Un City, State & Zip Plymouth, MA Who should we contact when the permit is read Mailing address: 8 Drent Wood Cr.	1. Netrom Wireless Fac 1.73 02340 y: Kristen Le Duc Danvers, MA 01923	Telephone: 508-732-0020 Telephone: 978-828-3264
Please submit all of the information	outlined on the applicable Checkle	list. Failure to

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature	risten Le Duce	Date:	1/4/13	

This is not a permit; you may not commence ANY work until the permit is issue



January 24, 2013

Jeanie Bourke, CEO Building Department 389 Congress Street Portland, ME 04101

RE: Sprint Site modification at 1230 Congress Street., Portland, Maine

Jeanie,

Enclosed please find a Building Permit Application, site plans and related documents for Sprint's modification project at 1230 Congress Street. Also, included is a copy of the check and the 1st page of the application could you kindly include a receipt for the check, and a "received" stamp on the 1st page of the application when the building permit is issued.

If you have any questions or comments, please feel free to contact me at the number or email listed below.

Thank you,

Kristen LeDuc

Network Building & Consulting, LLC, an authorized representative of Sprint Nextel

Kristen LeDuc 978-828-3264 Office & Mobile kleduc@nbcllc.com 8 Brentwood Circle Danvers, MA 01923

Version 5

PCS SITE AGREEMENT

orig to

Site Name: DoubleTree Hotel, Portland, ME

OHA	B .	BS43XC808C
200	T. LL.:	PENALSKE PRIDGE

partnership ("SSLP"), the site described below:
[Check appropriate box(es)]
Land consisting of approximately square feet upon which SSLP will
construct its equipment base station and antenna structure;
☑ Building interior space consisting of approximately 375 square feet;
☑ Building exterior space for attachment of antennas;
 Building exterior space for placement of base station equipment;
☐ Tower antenna space between the foot and foot level on the Tower;
Space required for cable runs to connect PCS equipment and antennas.

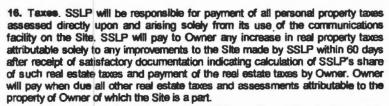
in the location(s) shown on Exhibit A, together with a non-exclusive easement for reasonable access thereto and to the appropriate, in the discretion of SSLP, source of electric and telephone facilities (collectively, the "Site"). The Site will be used by SSLP for the purpose of installing, removing, replacing, modifying, maintaining and operating, at its expense, a personal communications service system facility ("PCS"), including, without limitation, antenna equipment, cable whing, back-up power sources (including generators and fuel storage tanks), related fixtures and, if applicable to the Site, an antenna structure. SSLP will use the Site in a manner which will not unreasonably disturb the occupancy of Owner's other tenants. SSLP will have access to the Site 24 hours per day, 7 days per week.

- 2. Term. The term of this Agreement (the "Initial Term") is 5 years, commencing on the date ("Commencement Date") both SSLP and Owner have executed this Agreement. This Agreement will be automatically renewed for four additional terms (each a "Renewal Term") of five years each, unless SSLP provides Owner notice of intention not to renew not less than 90 days prior to the expiration of the Initial Term or any Renewal Term.
- 3. Rent. Until that date which is 60 days after the issuance of a building permit for the PCS, the rent will be a one-time aggregate payment of the receipt of which Owner acknowledges. Thereafter, rent will be paid in equal monthly installments of the control o
- 4. Title and Quiet Possession. Owner represents and agrees (a) that it is the Owner of the Site; (b) that it has the right to enter into this Agreement; (c) that the person signing this Agreement has the authority to sign; (d) that SSLP is entitled to access to the Site at all times and to the quiet possession of the Site throughout the Initial Term and each Renewal Term so long as SSLP is not in default beyond the expiration of any cure period; and (e) that Owner shall not have unsupervised access to the Site or to the PCS equipment.
- Assignment/Subletting, SSLP shall have the right to assign or transfer its rights under this Agreement or sublet all or any portion of the Site without notice to or the prior written consent of Owner.
- 6. Notices. All notices must be in writing and are effective only when deposited in the U.S. mail, certified and postage prepaid, or when sent via overnight delivery. Notices to SSLP are to be sent to Sprint PCS, Crossroads Corporate Center, Suite 800, One International Boulevard, Mahwah, NJ 07495, Attention: Lease Management, with a copy to Sprint Law Department, 6391 Sprint Parkway, Mailstop KSOPHT0101-Z2020, Overland Park, Kansas 66251-2020, Attention: Sprint PCS Real Estate Attorney. Notices to Owner must be sent to the address shown underneath Owner's signature.
- 7. Improvements. SSLP may, at its expense, make such improvements on the Site as it deems necessary from time to time for the operation of the PCS system. Owner agrees to cooperate with SSLP with respect to obtaining any required zoning approvals for the Site and such improvements. Upon termination or expiration of this Agreement, SSLP may remove its equipment and improvements and will restore the Site to substantially the condition existing on the Commencement Date, except for ordinary wear and tear and casualty loss.
- 8. Compliance with Laws. Owner represents that Owner's property (including he Site), and all improvements located thereon, are in substantial compliance with uilding, life/safety, disability and other laws, codes and regulations of applicable vernmental authorities. SSLP will substantially comply with all applicable laws ting to its possession and use of the Site.

terference. SSLP will resolve technical interference problems with other ment located at the Site on the Commencement Date or any equipment that

becomes attached to the Site at any future date when SSLP desires to add additional equipment to the Site. Likewise, Owner will not permit or suffer the installation of any future equipment which (a) results in technical interference problems with SSLP's then existing equipment or (b) encroaches onto the Site.

- 10. Utilities, Owner represents that utilities adequate for SSLP's use of the Site are available. SSLP will pay for all utilities used by it at the Site. Owner will cooperate with SSLP in SSLP's efforts to obtain utilities from any location provided by Owner or the servicing utility, including signing any easement or other instrument reasonably required by the utility company.
- 11. Termination. SSLP may terminate this Agreement at any time by notice to Owner without further liability if SSLP does not obtain all permits or other approvals (collectively, "approval") required from any governmental authority or any easements required from any third party to operate the PCS system, or if any such approval is canceled, expires or is withdrawn or terminated, or if Owner fails to have proper ownership of the Site or authority to enter into this Agreement, or if SSLP, for any other reason, in its sole discretion, elects to terminate this Agreement. Upon termination, all prepaid rent will be retained by Owner unless such termination is due to Owner's failure of proper ownership or authority, or such termination is a result of Owner's default.
- 12. Default. If either party is in default under this Agreement for a period of (a) 15 days following receipt of notice from the non-defaulting party with respect to a default which may be cured solely by the payment of money, or (b) 30 days following receipt of notice from the non-defaulting party with respect to a default which may not be cured solely by the payment of money, then, in either event, the non-defaulting party may pursue any remedies available to it against the defaulting party under applicable law, including, but not limited to, the right to terminate this Agreement. If the non-monetary default may not reasonably be cured within a 30 day period, this Agreement may not be terminated if the defaulting party commences action to cure the default within such 30 day period and proceeds with due diligence to fully cure the default.
- 13. Indemnity. Owner and SSLP each indemnifies the other against and holds the other harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the ownership, use and/or occupancy of the Site by the indemnifying party. This indemnity does not apply to any claims arising from the sole negligence or intentional misconduct of the indemnified party. The indemnity obligations under this Paragraph witl survive termination of this Agreement.
- 14. Hazardous Substances. Owner represents that it has no knowledge of any substance, chemical or waste, oil or hazardous material (collectively, "Hazardous Substance") on the Site or any adjacent real estate owned by the Owner (collectively, "Premises") that is identified as hazardous, toxic or dangerous in any applicable federal, state or local law or regulation. Owner shall assess and remediate (if necessary) in compliance with all applicable laws and hereby indemnifies SSLP and holds SSLP harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the presence of any Hazardous Substance on or migrating from the Premises at any time, other than those Hazardous Substances which were first released by SSLP upon the Premises. SSLP will not introduce or use any Hazardous Substance on the Site in violation of any applicable law. SSLP will assess and remediate (If necessary) in compliance with all applicable laws and hereby indemnifies Owner and holds Owner harmless from any and all costs (including reasonable attorneys' fees) and claims of liability or loss which arise out of the release of any Hazardous Substance by SSLP upon the Premises. Upon obtaining knowledge of a release or threat of release of any Hazardous Substance on the Premises, SSLP and the Owner shall each have the right to notify the applicable regulatory authorities thereof without the prior consent of the other party and to provide reasonable access to the Site to the employees, agents, and contractors of such agencies and all other persons conducting response actions in accordance with applicable The foregoing indemnifications shall survive any termination of this Agreement and shall be in addition to any other rights which Owner or SSLP may have under applicable law.
- 15. Subordination and Non-Disturbance. This Agreement is subordinate to any mortgage or deed of trust now of record against the Site. However, promptly after the Agreement is fully executed, Owner will use diligent efforts to obtain a non-disturbance agreement reasonably acceptable to SSLP from the holder of any such mortgage or deed of trust.



17. Insurance, SSLP will procure and maintain commercial general liability insurance, with limits of not less than \$1,000,000 combined single limit per occurrence for bodily injury and property damage liability, with a certificate of insurance to be furnished to Owner within 30 days of written request. Such policy will provide that cancellation will not occur without at least 15 days prior written notice to Owner. Each party hereby waives its right of recovery against the other for any loss or damage covered by any insurance policies maintained by the walving party. Each party will cause each insurance policy obtained by it to provide that the insurance company waives all rights of recovery against the other party in connection with any damage covered by such policy.

18. Maintenance. SSLP will be responsible for repairing and maintaining the PCS system and any other improvements installed by SSLP at the Site in a proper operating and reasonably safe condition; provided, however if any such repair or maintenance is required due to the acts of Owner, its agents or employees, Owner shall reimburse SSLP for the reasonable costs incurred by PSLP to restore the damaged areas to the condition which existed immediately prior thereto. Owner will maintain and repair all other portions of the property of which the Site is a part in a proper operating and reasonably safe condition.

19. Miscellaneous. (a) This Agreement applies to and binds the heirs, successors, executors, administrators and assigns of the parties to this Agreement; (b) This Agreement is governed by the laws of the State in which the Site is located; (c) if requested by SSLP, Owner agrees promptly to execute and deliver a recordable Memorandum of this Agreement; (d) This Agreement (including the Exhibits) constitutes the entire agreement between the parties and supersedes all prior written and verbal agreements, representations, promises or understandings between the parties. Any amendments to this Agreement must be in writing and executed by both parties; (e) If any provision of this Agreement is invalid or unenforceable with respect to any party, the remainder of this Agreement or the application of such provision to persons other than those as to whom it is held invalid or unenforceable, will not be affected and each provision of this Agreement will be valid and enforceable to the fullest extent permitted by law, and (f) The prevailing party in any action or proceeding in court or mutually agreed upon arbitration proceeding to enforce the terms of this Agreement is entitled to receive its reasonable attorneys' fees and other reasonable enforcement costs and expenses from the non-prevailing party.

20. Non-Binding Until Fully Executed. This Agreement is for discussion purposes only and does not constitute a formal offer by either party. This Agreement is not and shall not be binding on either party until and unless it is fully executed by both parties.

The following Exhibits are attached to and made a part of this Agreement: Exhibit A and Rider

OWNER: OLYMPIA EQUITY INVESTORS I, L.P.

By: Erin Management Group, its General Partner

By: Drew E Swensen

Its: Prescret

Address: 217 Commercial Street, Suite 302, Portland, ME 04101

Date: 7/16/1

SPRINT SPECTRUM L.P., a Delaware limited partnership

Name: Michael W. Leuby

Its: Director, Site Development -- Northeast Region

Address: One International Boulevard, Suite 800,

Mahwah, NJ 07945

Attention: Lease Management

Date: 74 50/4 700)

Attach Exhibit A - Site Description



COVERAGES

D

CERTIFICATE OF LIABILITY INSURANCE

DATE (NEW/DD/YYYY)

4/12/12

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

RODICER O'Grady Insurance Agency	CONTRG! NAME: FAX PHOME (ARC No. Ext): NAG Not:			
117 Court Street	ADORESS:			
Plymouth, MA 02360	INSURER(S) AFFORDING COVERAGE	NAIC #		
	INSURER A : ESSEX INSURANCE CO			
INSURED	INSURER B : QUINCY MUTUAL			
NETCOM WIRELESS FACILITIES 2,	INSURER C: TORUS SPECIALTY INS. CO			
INC.	INSURER D: LIBERTY MUTUAL FIRE INS CO			
10 AERO PARK DR, UNIT 3	INSURER E:			
PLYMOUTH, MA 02360	INSURER F:			

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES, LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS. MM/DD/YYYY) (MM/DDYYYY) TYPE OF INSURANCE POUCY NUMBER GENERAL LIABILITY Y 3DG5178 11/9/11 11/9/12 FACH OCCURRENCE 1,000,000 DAMAGE TO RENTED PREMISES (En occurre 50,000 X COMMERCIAL GENERAL LIABILITY S MED EXP (Any one person) S 1,000 CLAIMS-MADE X OCCUR S 1,000,000 PERSONAL & ADVINJURY GENERAL AGGREGATE \$ 2,000,000 PRODUCTS COMPIOP AGG S 1,000,000 GEN'L AGGREGATE LIMIT APPLIES PER X POLICY PRO 5 2/22/13 COMPINED SINGLE LIMIT AUTOMOBILE LIABILITY 2/22/12 Y Y AFV205857 s 1,000,000 SOURLY (NURY (Per pesson) 1 5 ANY AUTO ALLOWNED X SCHEDULED AUTOS X HIRED AUTOS X NOR-OWNED AUTOS SOCILY INJURY (Per socident) S PROPERTY DAMAGE (Per a coldent) S

X UMBRELLA LIAB 2/9/12 2/9/13 EACH OCCURRENCE X OCCUR Y Y 85215C120AL1 4,000,000 S EXCESS LIAB 4,000,000 CLAIMS-MADE AGGREGATE RETENTION S WORKERS COMPENSATION AND EMPLOYERS' LIABILITY 2/18/12 2/18/13 TORY LIMITS OTH-ER WC5-31S-375622-022 ANY PROPRIETOR EXCLUDED?

OFFICE RAMEMARE BXCLUDED?

Milling datory in NH) 500,000 EL EACH ACCIDENT NINIA 500,000 EL DISEASE - EA EMPLOYEE S If yes, describe under DESCRIPTION OF OPERATIONS below EL DISEASE - POLICY LIMIT S 500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Revants Schadule, If more apace is required)

CERTIFICATE NUMBER:

COSTROTTA CONSTRUCTION MANAGEMENT INC AND ALL OTHER PARTIES ARE REQUIRED BY CONTRACT ARE INCLUDED AS ADDITIONAL INSUREDS ON PRIMARY AND NONCONTRIBUTORY BASIS FOR ALL GENERAL LIABILITY AND AUTO LIABILITY. EXCESS LIABILITY FOLLOWS FORM OVER GENERAL LIABILITY, AUTO LIABILITY, AND EMPLOYER LIABILITY. A WAIVER OF SUBROGATION APPLIES TO ALL POLICIES IN FAVOR OF THE ADDITIONAL INSURED

CERTIFICATE HOLDER	CANCELLATION
	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE
,	PATRICK O'GRADY

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REVISION NUMBER:

ACORD 25 (2010/05) Phone:

Fax:

The ACORD name and logo are registered marks of ACORD E-Mail:

Massachusetts - Department of Public Safety Board of Building Regulations and Standards

Construction Supervisor License: CS-094261

CHARLES B ANTI
100 BARNFIELD DRIVE
PLYMOUTH MA 02360

The History IN 14

Expiration 10/29/2013

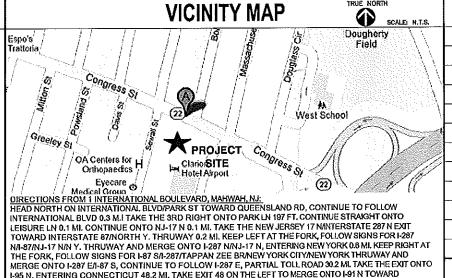


"NETWORK VISION MMBTS LAUNCH" "MARKET NAME:VT-NH-ME" SITE NUMBER:

BS43XC808

PORTLAND DOUBLE TREE HOTEL

1230 CONGRESS STREET PORTLAND, ME 04102



1-95 N, ENTERING CONNECTICUT 48.2 MI. TAKE EXIT 48 ON THE LEFT TO MERGE ONTO 1-91 N TOWARD HARTFORD 36.9 MI. TAKE EXIT 29 TO MERGE ONTO CT-16 N/US-5 N TOWARD 1-84 E/E HARTFORD/BOSTON 0.5 MIL CONTINUE ONTO CT-15 N 1.5 MI, MERGE ONTO I-84 E. PARTIAL TOLL ROAD, ENTERING MASSACHUSETTS 40.8 MI. KEEP RIGHT AT THE FORK, FOLLOW SIGNS FOR I-90 E/N.H. - MAINE/BOSTON AND MERGE ONTO I-90 E, TOLL ROAD 11.7 MI, TAKE EXIT 10 TOWARD AUBURN/WORCESTER, PARTIAL TOLL ROAD 0.5 MI. FOLLOW SIGNS FOR 1-290 EMORCESTER AND MERGE ONTO 1-290 E PARTIAL TOLL ROAD 20.7 MI. TAKE EXIT 268 ON THE LEFT FOR INTERSTATE 495 N TOWARD LOWELL 0.6 MI, MERGE ONTO 1-495 N 55.5 MI, MERGE ONTO 1-95 N, PARTIAL TOLL ROAD, PASSING THROUGH NEW HAMPSHIRE, ENTERING MAINE 61.0 MJ, SLIGHT RIGHT ONTO I-295 N (SIGNS FOR S PORTLAND/DOWNTOWN PORTLAND), PARTIAL TOLL ROAD 4.0 MI, TAKE EXIT 5 FOR ME-22 E 0.3 MI. FOLLOW SIGNS FOR ME-22 W/U.S. 1 ALTERNATE 0.2 MI. TURN RIGHT ONTO FORE RIVER PKWY 0.3 MI. TURN LEFT ONTO CONGRESS ST, DESTINATION WILL BE ON THE LEFT.

GENERAL NOTES

SITE INFORMATION

PORTI AND DOUBLE

1230 CONGRESS STREET

PORTLAND, ME 04102

TREE HOTEL

CUMBERLAND

189 A014001

B2 BUSINESS

43° 39' 20.19'

-70° 17' 25.49'

32'± (AMSL)

SITE NUMBER:

SITE ADDRESS

SITE NAME:

COUNTY:

ZONING:

PARCEL ID:

COORDINATES(*):

GROUND ELEV.:

ANTENNA RAD

PROPERTY

STRUCTURE TYPE:

STRUCTURE HEIGHT: 90'± (AGL)

STRUCTURE OWNER: OLYMPIA EQUITY

LOCAL POWER

LOCAL TELCO

APPLICANT:

APPLICANT

REPRESENTATIVE:

SITE ACQUISITION

A&E CONSULTANT:

CONSULTANT:

WALLINGFORD ELECTRIC 100 JOHN STREET

WALLINGFORD, CT 06492

185 FRANKLIN STREET

1 INTERNATIONAL BLVD,

BOSTON, MA 02110 1-(800)-244-3737

MAHWAH, NJ 07495

ALCATEL-LUCENT

ALCATEL-LUCENT

1 ROBBINS ROAD

(978) 952-1600

(978) 952-1600

WESTFORD, MA 01886

WESTFORD, MA 01886

1600 OSGOOD STREET

TEL: (978) 557-5553

FAX: (978) 336-5586

HUDSON DESIGN GROUP LLC

BLDG 20 NORTH, SUITE 3090

NORTH ANDOVER, MA 01845

1-(203)-294-2020

VERIZON

SUITE 200

COMPANY:

- THIS IS AN UNMANNED TELECOMMUNICATION FACILITY AND NOT FOR HUMAN HABITATION: HANDICAPPED ACCESS NOT REQUIRED
 - POTABLE WATER OR SANITARY SERVICE IS NOT REQUIRED

EQUITY INVESTORS LLLC

PORTLAND, ME 04401

- NO OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES REQUIRED
- CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON JOB SITE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIE BEFORE PROCEEDING WITH THE WORK. FAILURE TO NOTIFY THE ARCHITECT/ENGINEER PLACE THE RESPONSIBILITY ON THE CONTRACTOR TO CORRECT THE DISCREPANCIES AT THE CONTRACTOR'S
- DEVELOPMENT AND USE OF THE SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- ELECTRICAL CODE: 2005 NATIONAL ELECTRICAL CODE STRUCTURAL CODE: TIA/EIA-222-G STRUCTURAL STANDARDS FOR ANTENNA SUPPORTING STRUCTURES

- SCOPE OF WORK REPLACE EXISTING MODICELL WITH (1) MM-BTS CABINET & INSTALL FIBER DISTRIBUTION BOX WITHIN EXISTING LEASE AREA. REPLACE EXISTING BATTERY CABINET WITH (1) BBU CABINET.
- REMOVE (6) EXISTING COMA ANTENNAS AND REPLACE WITH (3) NETWORK VISION ANTENNAS & (6) RRHS.
- REMOVE EXISTING CDMA COAX CABLES & INSTALL (3) HYBRIFLEX CABLES FROM EQUIPMENT CABINET
- REMOVE EXISTING GPS ANTENNA AND REPLACE WITH NEW GPS ANTENNA
- EXISTING LOCAL EXCHANGE CARRIER LANDLINE BACKHAUL FACILITIES TO BE REPLACED WITH PROPOSED ALTERNATIVE ACCESS VENDOR (AAV) FIBER OPTIC FACILITIES INCLUDING PROPOSED OVERHEAD/UNDERGROUND CONDUITS AND NETWORK INTERFACE DEVICE.

OWNER AND TENANT MAY, FROM TIME TO TIME AT TENANT'S OPTION, REPLACE THIS EXHIBIT WITH AN EXHIBIT SETTING FORTH THE LEGAL DESCRIPTION OF THE SITE, OR WITH ENGINEERED OR AS-BUILT DRAWING DEPICTING THE SITE OR ILLUSTRATING STRUCTURAL MODIFICATIONS OR CONSTRUCTION PLANS OF THE SITE. ANY VISUAL OR TEXTUAL REPRESENTATION OF THE EQUIPMENT LOCATED WITHIN THE SITE CONTAINED IN THESE OTHER DOCUMENTS IS ILLUSTRATIVE ONLY, AND DOES NOT LIMIT THE RIGHTS OF SPRINT AS PROVIDED FOR IN THE AGREEMENT. THE LOCATIONS OF ANY ACCESS AND UTILITY EASEMENTS ARE ILLUSTRATIVE ONLY. ACTUAL LOCATIONS MAY BE DETERMINED BY TENANT AND/OR THE SERVICING UTILITY COMPANY IN COMPLIANCE WITH LOCAL LAWS AND REGULATIONS.



NETWORK VISION MUSIS LAUNCH I INTERNATIONAL BLVD, SUITE 800 MAHWAH, RJ 07455 TEL: (800) 357-7641



Alcatel · Lucent



1800 OSGOOD STREET BUILDING 20 NORTH, SUTE 3090 N. AKDOVER, MA 01845 FAX: [978] 3557-555 FAX: [978] 336-558

CHECKED BY:

SUBMITTALS DATE DESCRIPTION 2 01/23/13 FOR CONSTRUCTION 1 12/18/12 SSUED FOR REVIEW

SITE NUMBER: BS43XC808 SITE NAME: PORTLAND DOUBLE TREE HOTEL SITE ADDRESS:

1230 CONGRESS STREET

PORTLAND, ME 04102

TITLE SHEET

SHEET NO.	DESCRIPTION
T-1	TITLE SHEET
GN-1	GENERAL NOTES
A-1	ROOF PLAN AND ELEVATION
A-2	ANTENNA SCENARIO & EQUIPMENT LAYOUTS
A-3	DETAILS
A-4	RF DATA SHEET
A-5	WIRING DIAGRAM
S-1	STRUCTURAL DETAILS
E-1	TYPICAL POWER & GROUNDING ONE LINE DIAGRAM
AAV	SEE AAV SHEETS

SHEET INDEX

APPROVALS

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR O PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE DCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

SPRINT:	DATE:
ALU CONSTRUCTION MANAGER:	DATE:
ALU LEASING/ SITE ACQUISITION:	DATE:
ALU RF ENGINEER:	DATE:
LANDLORD/ PROPERTY OWNER:	DATE:

DIVISION 01000 - GENERAL REQUIREMENTS

PART 1 CENERAL

REFER TO SPRINT STANDARD CONSTRUCTION SPECIFICATIONS. IN CASE OF A CONFLICT, SPRINT STANDARD CONSTRUCTION

- THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COUPANY SPECIFICATIONS, AND LOCAL AND STATE JURSDICTIONAL CODES BEARNG ON THE PERFORMANCE OF THE WORK, THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
- 2. THE ARCHTECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT WARD OWISSIONS OR ERRORS IN THE DRAWNISS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAD CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
- 3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) SPRINT'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS OR OMISSIONS RIOR TO THE SUBJESSION OF CONTRACTOR'S PROPOSAL OR REFORMANCE OF WORK.
- THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEDED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBJISSION OF BIDS OR PERFORMING WORK TO FAMILIARZE THERESELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH
- THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS / CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERALS ACCORDING TO THE MANUFACTURER'S /
 VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR
 WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- THE CONTRACTOR SHALL MAINTAIN A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUM'S OR CLARIFICATIONS AVAILABLE FOR THE USE OF ALL PERSONNEL INVOLVED WITH
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES IND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL COVERNMENT AUTHORITY.
- 11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING SITE CONDITIONS DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
- 12. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRS, RUBBISH AND REMOVE ALL UNNECESSARY MATERIAL.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT SECTIONS OF THE STATE BASIC BULLDING CODE, LATEST EDITION, AND ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT, ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC, AND OTHER UTILLIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE ARCHITECT/FINGMER.
- 14. THE CONTRACTOR SHALL NOTIFY SPRINT'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL THE CONFLICT IS RESOLVED BY SPRINT'S
- 15. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
- 16. THE CONTRACTOR SHALL NOTIFY THE RE ENGINEER FOR ANTENNA AZIMUTH VERIFICATION (DURING ANTENNA INSTALLATION) PRIOR TO CONDUCTING SITE SWEEPING.
- 18. PROVIDE CORE DRILLING AS NECESSARY FOR PENETRATIONS OR RISERS THROUGH THE BUILDING, DO NOT PENETRATE STRUCTURAL MENBERS WITHOUT STRUCTURAL ENGINEER'S STROUGHAL BLEEVES MIN/OUT STROUGHAL ENGINEER'S APPROVAL SLEEVES AND/OR PENETRATIONS IN FIRE RATED CONSTRUCTION SHALL BE PACKED WITH FIRE RATING OF THE STRUCTURE. FILL FOR FLOOR PENETRATIONS SHALL PREVENT PASSAGE OF WATER, SMOKE FIRE AND FUNES, ALL MATERIAL, SHALL BE UL APPROVED FOR THIS PURPOSE, ALL MATERIAL, SHALL BE UL APPROVED FOR THIS PURPOSE.

CONCRETE

CAST-IN-PLACE CONCRETE

PART 1 -- GENERAL

1,01 DESCRIPTION

WORK INCLUDES CONSTRUCTION OF CAST-IN-PLACED CONCRETE FOURDATIONS, INCLUDING FURNISHING AND INSTALLING READY-MAY CONCRETE, REINFORCHING, FORMWORK, AND ACCESSORY MATERIALS AS SHOWN ON THE DRAWNIGS. CAST-IN-PLACE CONCRETE INCLUDES ALL SITE CONCRETE, INCLUDING FOUNDATIONS, SLABS ON GRADE, EQUIPMENT PADS, AND GUARD POST FOUNDATIONS.

- 1.02 RELATED WORK
- A. COORDINATE UNDER SLAB CONDUITS
- B. COORDINATE WITH GROUNDING 1.03 APPLICABLE STANDARDS
- A. ACI-301 SPECIFICATIONS FOR STRUCTURAL CONCRETE BUILDINGS.
- B. ACI 347 GUIDE TO FORWWORK FOR CONCRETE.
- C. ASTM C33 CONCRETE AGGREGATES
- D. ASTM C94 READY-MIXED CONCRETE
- E. ASTM C150 PORTLAND CENENT
- F. ASTM C260 AIR-ENTRAINING ADMIXTURES FOR CONCRETE.
- G. ASTM C309 LIQUID MEMBRANE FORMING COMPOUNDS FOR CURING CONCRETE.
- H. ASTM C494 CHEMICAL ADMIXTURES FOR CONCRETE.
-). ASTM A615 DEFORMED STEEL BARS FOR CONCRETE REINFORCEMENT.
- J. ASTM A185 STEEL WELDED WIRE FABRIC FOR CONCRETE REINFORCEMENT

1.04 QUALITY ASSURANCE

CONCRETE MATERIALS AND OPERATIONS SHALL BE TESTED AND INSPECTED BY THE ENGINEER AS DIRECTED BY SPRINT.

1.05 TESTS

CONCRETE TESTS SHALL BE AS DETAILED BELOW OR AS DIRECTED BY SPRINT. CONCRETE WATERIALS AND OPERATIONS SHALL BE TESTED AND INSPECTED BY THE ENGINEER AS THE WORK PROCRESSES. FALURE TO DETECT ANY DEFECTIVE WORK OR MATERIAL SHALL NOT IN ANY WAY PREVENT LATER REJECTION WHEN SUCH DEFECT IS DISCOVERED NOR SHALL IT OBLIGATE THE ENGINEER FOR FINAL ACCEPTANCE.

A. THREE CONCRETE TEST CYUNDERS SHALL BE TAKEN OF THE TOWER PER FOUNDATION, ONE SHALL BE TESTED • THREE DAYS, ONE • TWENTY-EIGHT DAYS. THE THIRD CYLINDER SHALL BE KEPT SEPARATELY. (IF REQUIRED TO BE USED IN THE

B. ONE SLUMP TEST SHALL BE TAKEN FOR EACH SET OF TEST CYLINGERS TAKEN, SLUMP SHALL NOT EXCEED 4" UNLESS OTHERWISE NOTED,

PART 2 - PRODUCT

2.01 CONCRETE MATERIALS

CONCRETE SHALL BE COMPOSED OF PORTLAND CEMENT, WATER, FINE AND COARSE AGGREGATES, AND ADMOTURES AS SPECIFIED BELOW, ALL WELL MIXED AND BROUGHT TO PROPER CONSISTENCY, CLASS I, II, III, OR V.

- A. CEMENT: CEMENT SHALL BE TYPE II, GRAY COLOR, LOW-ALKALI PORTLAND CEMENT CONFORMING TO ASTM C150.
- B. FINE AND COARSE AGGREGATES: AGGREGATES FOR USE IN CONCRETE SHALL COMPLY WITH ASTIM C33.
- C. WATER: WATER FOR MINING AND CURING CONCRETE SHALL BE FREE FROM SEWAGE, OIL, ACID, ALKALI, AND SALTS AND SHALL BE FREE FROM OBJECTIONABLE QUANTITIES OF SLIT, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES.

2.02 ADMIXTURES

A. CHEMICAL ADMIXTURE: ASTM C494, TYPE A- WATER REDUCING OR TYPE D - WATER REDUCING AND RETARDING.

2.03 CURING COMPOUND: ASTM C309, TYPE1. CLASS B; TRANSLUCENT.

2.04 ACCESSORIES

- A. HONSHRINK GROUT; PREMIXED COMPOUND CONSISTING OF NONMETALLIC AGGREGATE, CEMENT, WATER REDUCING AND PLASTICIZING AGENTS; CAPABLE OF DEVELOPING MINIMUM COMPRESSIVE STRENGTH OF 7,000 PSI IN 28 DAYS.
- B. JOINT FILLER: BITUMINOUS TYPE, ASTM D1761 OR NON-BITUMINOUS TYPE ASTM D1752.
- C. ANCHOR BOLTS: ASTM A307, UNPRIMED.
- 2.05 CONCRETE MIX
- A. CONCRETE SHALL BE PROPORTIONED PER REQUIREMENTS OF ACI 301 & SPRINT CONSTRUCTION SPECIFICATIONS FOR DESIGN STRENGTH & WORKABILITY. CONCRETE SHALL BE DELIVERED WITHIN 45 MINUTES OF ADDITION OF WATER TO MIX.
- B. THE FOLLOWING STRENGTHS SHALL BE USED: 1. FENCE POST FOUNDATIONS — DESIGN COMPRESSIVE STRENGTH AT 28 DAYS OF 3,000 PSI.
 2. EQUIPMENT FOUNDATION — DESIGN COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS UNLESS OTHERMISE NOTED. STREAM OF JUNES 4,000 PSI AT 20 MAIS OTHERS OTHERWISE (CONTRACTOR FURNISH 4,000 PSI CONCRETE).

 3. CONCRETE STRENGTH FOR MONOPOLE OR TOWER FOUNDATION SHALL BE 1,000 PSI MORE THAN THE MANUFACTURER'S RECOMMENDATIONS, 4,000 PSI MINIMUM.

- C. USE ACCELERATING ADMIXTURES IN COLD WEATHER AND RETARDING ADMIXTURES IN HOT WEATHER ONLY WHEN APPROVED BY THE ENGINEER.
- TOTAL AR CONTENT SHALL BE 5 PERCENT PLUS OR MINUS

PART 3 - EXECUTION

3.01 INSPECTION

THE CONTRACTOR SHALL VERIFY ANCHORS, SEATS, PENETRATIONS, PLATES, RENFORCEMENT, AND OTHER TIEMS TO CAST INTO CONCRETE ARE ACCURATELY PLACED, HELD SECURELY, AND SHALL NOT CAUSE HARDSHIP IN PLACING CONCRETE.

3.02 PREPARATION

A. THE CONTRACTOR SHALL PREPARE PREVIOUSLY PLACED CONCRETE BY CLEANING WITH STEEL BRUSH AND APPLYING BONDING AGENT IN ACCORDANCE WITH

A. THE ENGINEER SHALL BE NOTIFIED NOT LESS THAN 24 HOURS IN ADVANCE OF CONCRETE PLACEMENT. UNLESS INSPECTION IS WAYED IN EACH CASE, PLACING OF CONCRETE SHALL BE PERFORMED ONLY IN THE PRESENCE OF THE ENGINEER.

CONCRETE SHALL NOT BE PLACED UNTIL ALL FORM WORK, EMBEDDED PARTS, STEEL REINFORCEMENT, FOUNDATION SURFACES, AND JOINTS INVOLVED IN THE PLACING HAVE BEEN APPROVED, AND UNTIL FACILITIES ACCEPTABLE TO THE SPRINT REPRESENTATIVE HAVE BEEN PROVIDED AND MADE READY FOR ACCOMPLISHEND TO THE WORK AS SPECIFED. CONCRETE MAND BE ORDERED FOR PLACEMENT UNTIL ALL ITEMS HAVE BEEN APPROVED AND SPRINT HAS PERFORMED A FINAL INSPECTION AND GWEN APPROVAL TO START PLACEMENT IN WRITING.

- B. UNLESS SPECIFIED TO BE BEVELED, EXPOSED EDGES OF FLOATED OR TROWELED SURFACES SHALL BE EDGED WITH A TOOL HAVING A $1/4^{\prime\prime}$ CORNER RADRUS.
- PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE WITH
- D. THE CONTRACTOR SHALL ENSURE THAT REINFORCEMENT, INSERTS, EUBEDDED PARTS, FORMED JOINTS AND VAPOR BARRIERS ARE NOT DISTURBED DURING CONCRETE PLACEMENT.

E. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE

#6 AND LARGER # WHF 1 1/2 IN.
#5 AND SMALLER & WHF 1 1/2 IN.
CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR
NOT CAST AGAINST THE GROUND.

SLAB AND WALL.... BEAUS AND COLUMNS.....

3 D4 SURFACE FINISHES

A. SURFACES AGAINST WHICH BACK FILL OR CONCRETE SHALL BE PLACED REQUIRE NO TREATMENT EXCEPT REPAIR OF

B. SURFACES THAT WILL BE PERMANENTLY EXPOSED SHALL PRESENT A UNIFORM FINISH PROVIDED BY THE REMOVAL OF FINIS AND THE FILLING OF HOLES AND OTHER IRREGULARITIES WITH DRY PACK GROUT, OR BY SACKING WITH UTILLY OR ORDINARY

- O. SURFACES THAT WOULD NORMALLY BE LEVEL AND WHICH WILL BE PERMANENTLY EXPOSED TO THE WEATHER SHALL BE SLOPED FOR DRAINAGE. UNILESS ENGINEER'S DESIGN DRAWING SPECIFIES A HORIZONTAL SURFACE OR SHOWS THE SLOPE REQUIRED. THE TOPS OF NARROW SURFACES, SUCH AS STAIR TIREADS, WALLS, CURBS, AND PARAPETS SHALL BE SLOPED APPROXIMATELY 3/8" /FT OF WOTH. BROADER SURFACES SUCH AS WALKS, ROADS, PARKING AREAS AND PLATFORMS SHALL BE SLOPED APPROXIMATELY 1/4" /LA" /LT SLOPED APPROXIMATELY 1/4" /FT.
- D. SURFACES THAT WILL BE COVERED BY BACKFILL OR CONCRETE SHALL BE SMOOTH SCREEDED.
- E. EXPOSED SLAB SURFACES SHALL BE CONSOLIDATED, E. EXPOSED SLAB SURFACES SHALL BE CONSOLIDATED, SCREEDED, FLOATED, AND "STEEL TROWTED." HAND OR POWER-DRIVEN EQUIPMENT MAY BE USED FOR FLOATINGS WHICH SHALL BE STARTED AS SOON AS THE SCREEND SURFACE HAS ATTAINED A STFFRIESS TO PERMIT FINISHING OPERATIONS. ALL EDGES MUST HAVE A 3/A" CHAMPER. CONCRETE EXPANSION ANCHORS AND EPOXY ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH UNIVERTURER'S REQUIREMENTS, SPECIAL INSPECTIONS, REQUIRED BY GOVERNING CODES, SHALL BE RESPONDED. IN DODES OF MAINTENET STEPS ANALISM. PERFORMED IN DRDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS. MANUFACTURER'S MINIMUM CONCRETE EOGE DISTANCE SHALL BE MAINTAINED DURING INSTALLATION.

3.05 PATCHING

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON REMOVAL OF THE FORMS TO OBSERVE CONCRETE SURFACE CONDITIONS. IMPERFECTIONS SHALL BE PATCHED ACCORDING TO THE ENGINEERS DIRECTION.

3.06 DEFECTIVE CONCRETE

THE CONTRACTOR SHALL MODIFY OR REPLACE CONCRETE NOT CONFORMING TO REQUIRED LEVELS AND LINES, DETAILS, AND ELEVATIONS AS SPECIFIED IN ACI 301.

3.07 PROTECTION

- A. IMMEDIATELY AFTER PLACEMENT, THE CONTRACTOR SHALL PROTECT THE CONCRETE FROM PREMATURE DRIVING. EXCESSIVELY HOT OR COLD TEMPERATURES, AND MECHANICAL INJURY. FINISHED WORK SHALL BE PROTECTED.
- B. CONCRETE SHALL BE MAINTAINED WITH MINIMAL MOISTURE LDSS AT RELATIVELY CONSTANT TEMPERATURE FOR PERCOD NECESSARY FOR INTURATION OF CEMENT AND HARDENING OF CONCRETE.
- C. ALL CONCRETE SHALL BE WATER CURED PER ACCEPTABLE PRACTICES SPECIFIED BY ACT CODE.

METALS

PART 1 - GENERAL

1.01 WORK INCLUDED

A THE WORK CONSISTS OF THE FABRICATION AND INSTALLATION OF ALL WATERVALS TO BE FURNISHED, AND WITHOUT LIMITING THE GENERALITY THEREOF, INCLUDES ALL EQUIPMENT, LABOR AND SERVICES REQUIRED FOR ALL STRUCTURAL STEEL WORK, INCLUDING ALL ITEMS INCIDENTAL THERETO AS SPECIFIED HEREIN AND AS SHOWN ON THE DRAWINGS. INCLUDING:

- 1. STEEL FRAMING INCLUDING BEAMS, ANGLES, CHANNELS AND PLATES.
- 2. WELDING AND BOLTING OF ATTACHIVENTS.
- 1.02 REFERENCE STANDARDS
- THE WORK SHALL CONFORM TO THE CODES AND STANDARDS THE FOLLOWING AGENCIES AS FURTHER CITED HEREIN:
- 1. ASTM: AMERICAN SOCIETY FOR TESTING AND MATERIALS, AS PUBLISHED IN "COMPRIATION OF ASTM STANDARDS IN BURLDING
- AWS: AMERICAN WELDING SOCIETY INC., AS PUBLISHED IN AWS: AMERICAN WELDING SUGIELT INC., AS FOC "STANDARD D1.1-2006, STRUCTURAL WELDING CODE"
- J. AISC: AMERICAN INSTITUTE FOR STEEL CONSTRUCTION, AS PUBLISHED IN "CODE FOR STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"; "SPECIFICATIONS FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR
- EIA/TIA-222-0 STRUCTURAL STANDARDS FOR STEEL ANTENNA PPORTING STRUCTURES.
- PART 2 -- STRUCTURAL NOTES

 AL STEEL WORK SHALL BE PAINTED OR QALVANZED IN
 ACCORDANCE WITH THE DRAWNINGS AND SPRINT SPECIFICATIONS
 UNLESS OTHERWISE NOTED. STRUCTURAL STEEL SHALL BE
 ASTM-992-50 UNLESS OTHERWISE NOTED ON THE SITE SPECIFIC
 DRAWNOS. STEEL DESIGN, INSTILATION AND BOLTING SHALL BE
 IN ACCORDANCE WITH THE AMERICAN INSTITUTE OF STEEL
 CONSTRUCTION (MISC) "MANUAL OF STEEL CONSTRUCTION", MISC.
 STEEL TO BE A36.
- 1. DESIGN REQUIREMENTS ARE PER STATE BUILDING CODE AND APPLICABLE SUPPLEMENTS, ANSI/TIA-222-G STRUCTURAL STANDARDS FOR STEEL ANTENNA SUPPORTING STRUCTURES.
- 2. CONTRACTOR SHALL YERFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND ENGINEER
- 3. DESIGN AND CONSTRUCTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
- 4. STEEL PIPE SHALL CONFORM TO ASTM A500 "COLD-FORWED WELDED & SEAMLESS CARBON STEEL STRUCTURAL TUBING", GRADE A, OR ASTM ASS PIPE STEEL BLACK AND HOT-MPPED ZING-COATED WELDED AND SEAMLESS TYPE E OR S, GRADE B, PIPE SIZES INDICATED ARE NOMINAL, ACTUAL OUTSIDE DIAMETER

5. STRUCTURAL CONNECTION BOLTS SHALL BE HIGH STRENGTH

- BOLTS (BEARING TYPE)AND CONFORM TO ASTM A325 THICH STRENOTH BOLTS FOR STRUCTURAL JOHNS, INCLUDING SUITABLE NUTS AND PLAN HARDENED WASHERS, UNLESS OTHERWISE NOTED, ALL BOLTS SHALL BE 5/8" DIA TYPE X. 6. ALL STEEL MATERIALS SHALL BE GALYANIZED AFTER FABRICATION IN ACCORDANCE WITH ASTM A123 "ZINC (HOT-DIP GALYANIZED) COATINGS ON IRON AND STEEL PRODUCTS", UNLESS OTHERWISE NOTED.
- 7. ALL BOLTS, ANCHORS AND MISCELLANEOUS HARDWARE SHALL BE GALVANIZED IN ACCORDANCE WITH ASTM A153 "ZINO-COATING (HOT-DIP) ON IRON AND STEEL HARDWARE", UNLESS OTHERWISE NOTED.
- 8. FIELD WELDS, DRILL HOLES, SAW CUTS AND ALL DAVAGED GALVANIZED SURFACES SHALL BE REPARED WITH AN ORGANIC ZING REPAIR PAINT COMPLYING WITH REQUIREMENTS OF ASTM A780, GALVANIZING REPAIR PAINT SHALL HAVE 65 PERCENT ZIED BY WEIGHT, ZIRD BY DUNCAN GALVANIZING, CALVA BRIGHT PREMIUM BY CROWN OR EQUAL THICKNESS OF APPLIED CALVANIZING REPAIR PAINT SHALL BE NOT NOT LESS THAN 4 COATS (ALLOW TIME TO DRY BETWEEN COATS) WITH A RESULTING COATING THICKNESS REQUIRED BY ASTM A123 OR A153 AS
- 9. CONTRACTOR SHALL COMPLY WITH AWS CODE FOR PROCEDURES, APPEARANCE AND QUALITY OF WELDS, AND FOR METHODS USED IN CORRECTING WELDING, ALL WELDERS AND WELDING PROCESSES SHALL BE QUALIFIED IN ACCORDANCE WITH WELDING PROCESSES SHALL BE QUALIFIED IN ACCURDANCE WITH AWS "STANDARD QUALIFICATION PROCEDURES". ALL WELDING SHALL BE DONE USING EFOXX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND D.L. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SEE PER TABLE V.Z.4. IN THE AISC "MANUAL OF STEEL CONSTRUCTION". 13TH EDITION.
- 10. INCORRECTLY FABRICATED, DAMAGED OR OTHERMSE MISHTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE CONSTRUCTION MANAGER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH ACTION SHALL REQUIRE CONSTRUCTION MANAGER APPROVAL
- 11. UNISTRUTS SHALL BE FORMED STEEL CHANNEL STRUT FRAMING AS MANUFACTURED BY UNISTRUT CORP, WAYNE, MI OR EQUAL STRUT MEMBERS SHALL BE 1 5/8"x1 5/8"x120A UNILESS OTHERMISE NOTED, AND SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION FOR EXTERNAL USE APPLICATIONS. 12. UNLESS OTHERWISE NOTED, EPOXY ANCHOR ASSEMBLY
- 12. UNLESS OTHERWISE NOTEC, PROXY ANCHOR ASSEMBLY SHALL CONSIST OF 1/2" DIAMETER STAINLESS STEEL ANCHOR ROD WITH NUTS & WASHERS. AN INTERNALLY THREADED INSERT, A SCREEN TUBE AND A EPOXY ADHESIVE. THE ANCHORING SYSTEM SHALL BE THE HILTI-HIT HY-20 AND OR HY-150 SYSTEMS (AS SPECIFIED ON DWG.) OR ENGINEERS APPROVED EQUAL WITH 4-1/4" MIN. EMBEDWENT DEPTH.

13. UNLESS OTHERWISE NOTED, EXPANSION BOLTS SHALL CONFORM TO FEDERAL SPECIFICATION FF-S-325, GROUP II, TYPE 4, CLASS I, HULTI KWIK BOLT II OR APPROVED EQUAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, MINIMUM EMBEDMENT SHALL

14. WHERE ROOF PENETRATIONS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT AND COORDINATE RELATED WORK WITH THE BUILDING OWNER AND THE EXISTING ROOF INSTALLER. WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO NOT YOU THE EXISTING ROOF WARRANTY.

- 1. PLYWOOD SHALL MEET THE RECOMMENDATIONS OF THE A.P.A.
 2. ALL LUMBER SHALL BE SPRUCE-PINE-FIR (SPF) #1 GRADE.
- 3. ALL LUMBER SHALL BE PRESSURE TREATED WITH PRESERVATIVES. ALLOWABLE BENDAYS STRESS: 16 min = 1,000 PSI MODULUS OF ELASTICITY: 1,6x10± PSI
- ALL JOIST HANGERS, CUP ANGLES AND PLATES TO BE HEAVY GRIVANZED AS MANUFACTURED BY SMPSON CO., OR APPROVED EQUAL.
- 5. ALL LYL'S TO BE MANUFACTURED BY BOSE CASCADE OR

SPECIAL CONSTRUCTION ANTENNA INSTALLATION

PART 1 - GENERAL

1.01 WORK INCLUDED

- A ANTENNAS AND COAXUL CABLES SHALL BE AS SPECIFIED ON THESE DRAWHINGS. THE CONTRACTOR SHALL BE RESPONSBLE FOR THE PROTECTION OF PERSONNEL AND PROPERTY. STRICT ADHERENCE TO OSSIA STANDARDS IS MANDATED.
- INSTALL ANTENNAS AS INDICATED ON DRAWINGS AND SPRINT
- INSTALL GALVANIZED STEEL ANTENNA MOUNTS AS INDICATED
- D. INSTALL COAXIAL CABLES AND TERMINATION'S BETWEEN ANTENINS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS. WEATHERPROOF ALL CONNECTORS BETWEEN THE ANTENINA AND EQUIPMENT PER MANUFACTURER'S REQUIREMENTS, TERMINATE ALL COMMAL CABLE THREE (3) FEET IN EXCESS OF ENTRY PORT LOCATION UNLESS OTHERWISE
- E. ANTENNA MOUNTS AND HARDWARE SHALL BE PAINTED TO
- F. ANTENNA AND COAXIAL CABLE GROUNDING: 1. ALL EXTERIOR #6 CREEN GROUND WIRE "DAISY CHAIN" CONNECTIONS ARE TO BE WEATHER SEALED.
 2. ALL COASALL CABLE GROUNDING KITS ARE TO BE INSTALLED ON STRAIGHT RUNS OF COASAL CABLE (NOT WITHIN

ROOF WORK

- 1. IF ROOF WORK IS REQUIRED, CAUTION SHALL BE EXERCISED WHILE WORKING ON THE ROOF. EVERY EFFORT MUST BE MADE TO PRESERVE THE ROOF WARRANIY.
- 2. WHEN ROOF PENETRATIONS ARE REQUIRED, THE CONTRACTOR SHALL CONTACT AND COORDINATE THE WORK WITH THE BUILDING OWNER AND THE EXISTING ROOFING INSTALLER.

RELATED WORK (ROOF TOP SITES)

FURNISHED THE FOLLOWING WORK AS SPECIFIED UNDER CONSTRUCTION DOCUMENTS, BUT COORDINATE WITH OTHER TRADES PRIOR TO BID:

- FLASHING OF OPENING INTO OUTSIDE WALLS SEALING AND CAULKING ALL OPENINGS PAINTING CUTTING AND PATCHING
- 1.03 REQUIREMENTS OR REGULATOR AGENCIES
- A. FURNISH U.L. LISTED EQUIPMENT WHERE SUCH LABEL IS AVAILABLE. INSTALL IN CONFORMANCE WITH U.L. STANDARDS WHERE APPLICABLE.
- B. INSTALL ANTENNA, ANTENNA CABLES, GROUNDING SYSTEM IN ACCORDANCE WITH DRAWINGS AND SPECIFICATION IN EFFECT AT PROJECT LOCATION AND RECOMMENDATIONS OF STATE AND LOCAL BUILDING CODES, AND SPECIAL CODES HAVING JURISDICTION OVER SPECIFIC PORTIONS OF WORK. THIS WORK INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
- 1. EIA/TIA ELECTRONIC INDUSTRES ASSOCIATION RS 222, STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES.
- 2. FAA FEDERAL AVATION ADMINISTRATION ADVISORY CIRCULAR AC 70/7460-IH, OBSTRUCTION MARKING AND LIGHTING.
- 3. FCC FEDERAL COMMUNICATIONS COMMISSION RULES AND REGULATIONS FORM 715, OBSTRUCTION MARKING AND LIGHTING SPECIFICATION FOR ANTENNA STRUCTURES AND FORM 715A, HIGH INTENSITY OBSTRUCTION LIGHTING SPECIFICATIONS FOR ANTENNA STRUCTURES.
 - 4. NEC -- NATIONAL ELECTRICAL CODE
- 5. UL. UNDERWRITER'S LABORATORIES APPROVED ELECTRICAL PRODUCTS.
- 6. IN ALL CASES, PART 77 OF THE FAA RULES AND PARTS 17 AND 22 OF THE FCC RULES ARE APPLICABLE AND IN THE EVENT OF CONFLICT, SUPERSEOE ANY OTHER STANDARDS OR SPECIFICATIONS.

IF ASSUMED EXISTING CONDITION DIFFERS, ENGINEER MUST BE INFORMED OF ACTUAL FIELD CONDITION. SUBCONTRACTOR TO VERIFY EXISTING DIMENSIONS PRIOR TO STEEL FABRICATION.



THETWORK VISION MANUELS LAUNCH 1 INTERNATIONAL BLVD, SUITE 800 MAHWAH, NJ 07495 TEL: (800) 357-7641



Alcatel · Lucent LECARNS POAD



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> JX CHECKED BY:

> > DPH

APPROVED BY:

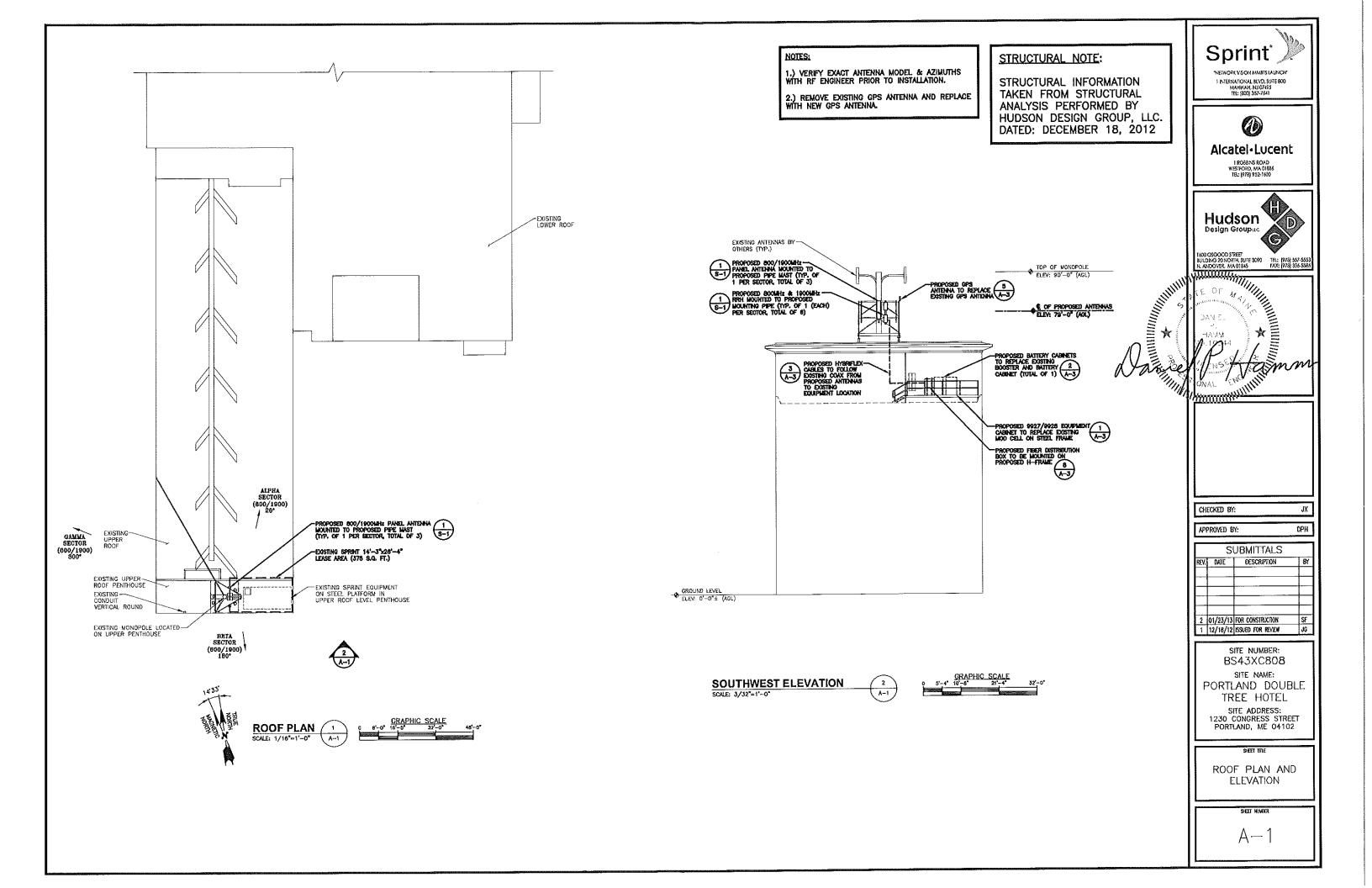
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2	01/23/13	FOR CONSTRUCTION	SF
1	12/18/12	issued for review	JG

SITE NUMBER: BS43XC808 SITE NAME: PORTLAND DOUBLE TREE HOTEL SITE ADDRESS: 1230 CONGRESS STREET

PORTLAND, ME 04102

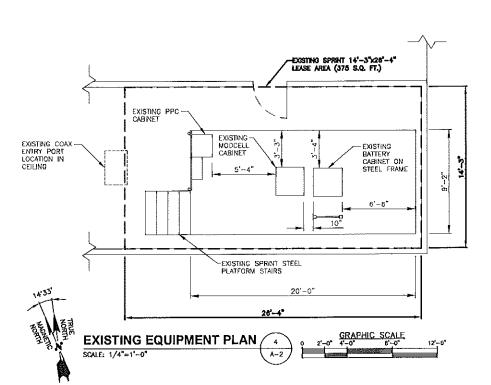
GENERAL NOTES

SELT MILEER



A2:(E)COMA ALPHA SECTOR (COMA) 40° C1:(E)CDWA C A1:(E)CDMA GAMMA SECTOR (CDMA) 280 EXISTING MONOPOLE B2:(E)CDVA existing Antenna Frame C2:(E)CDMA BETA SECTOR (CDMA) 160° 81:(E)CDWA

EXISTING ANTENNA PLAN



EXISTING ANTENNA AND PLATFORM ORBITATIONS HAS BEEN TAKEN FROM EXISTING SPRINT CO'S. Q.C. TO VERTY EXISTING ORBITATIONS PROOF TO PROPOSED INSTALLATION.

DIMENSIONS SHOWN ARE APPROXIMATE ONLY BASED ON PHOTO DOCUMENTATION AND ARE NOT INTERIODE FOR CONSTRUCTION LAVOUT PURPOSES. UNLESS NOTED OTHERWISE, HETWORK VISION ANTENIALS TO BE POSITIONED AT EXISTING PIPE MAST LOCATIONS.

ANTENNA STATUS LEGEND:

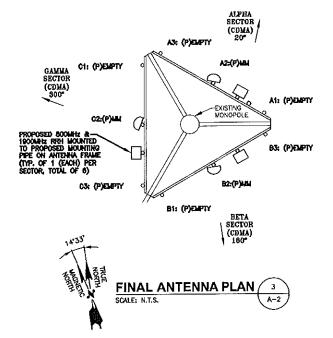
(E) - EXISTING

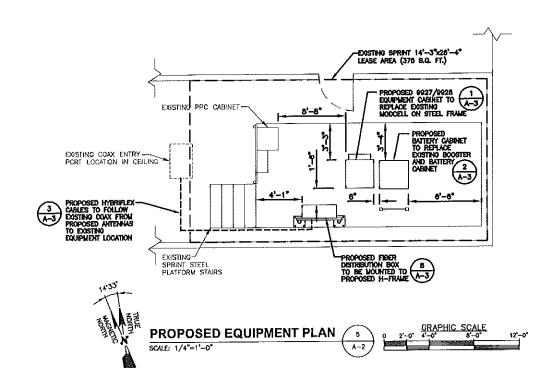
(P) - PROPOSED

EMPTY -- ANTENNA PIPE MAST TO REMAIN

CDMA - SPRINT ANTENNA

MM - MULTIMODAL ANTENNA







THETWORK VISION MANBES LAUNCH? I INTERNATIONAL BLVD, SUTE 800 MAHWAH, NJ 07455 TEL: (800) 357-7641



Alcatel · Lucent 1 ROSSINS ROAD WESTFORD, MA 01886 TEL: (978) 952-1600



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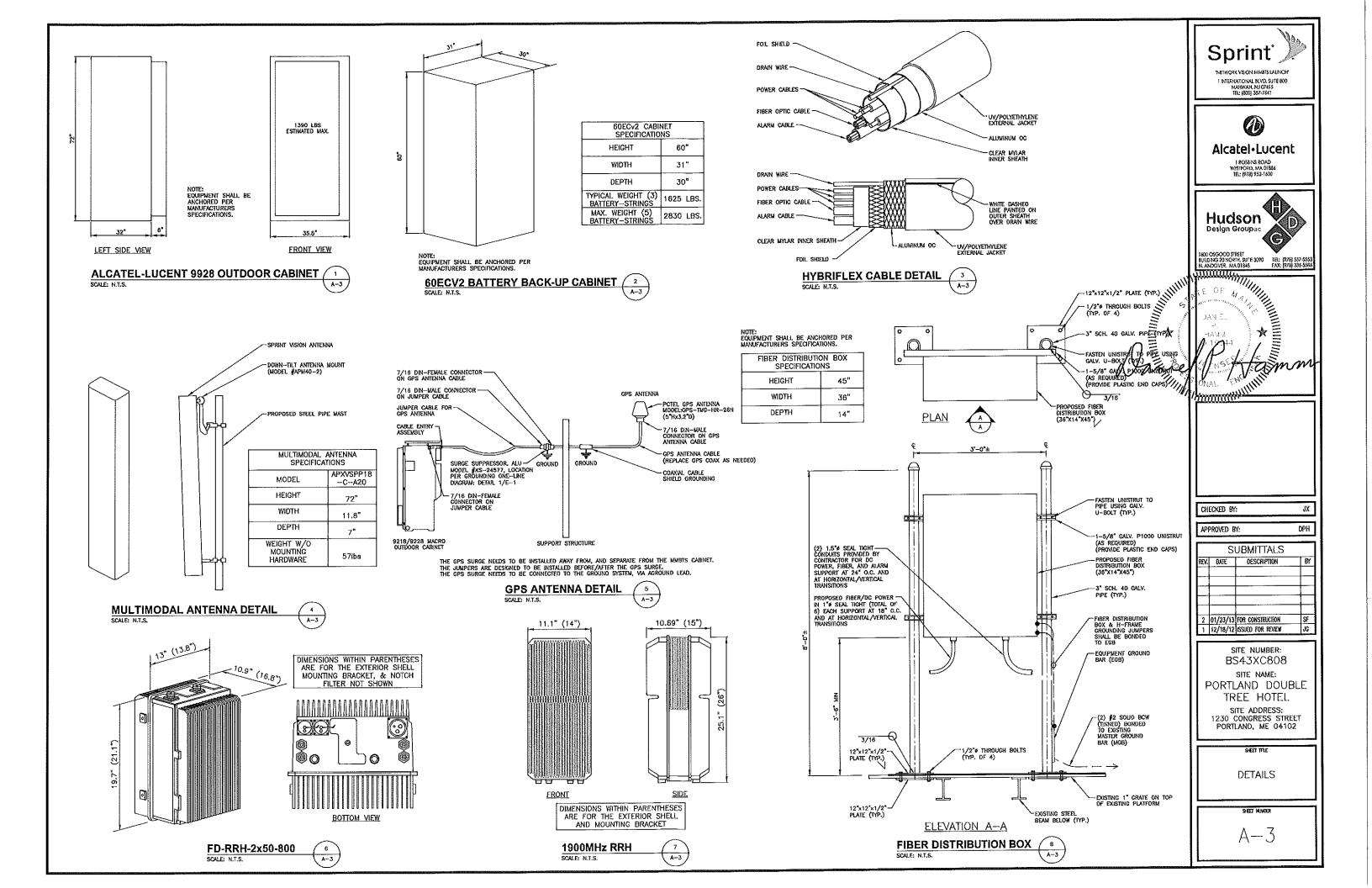
APPROVED BY:

DPH SUBMITTALS REV. DATE DESCRIPTION 2 01/23/13 FOR CONSTRUCTION 1 12/18/12 ISSUED FOR REVIEW

> SITE NUMBER: BS43XC808 SITE NAME: PORTLAND DOUBLE TREE HOTEL

SITE ADDRESS: 1230 CONGRESS STREET PORTLAND, ME 04102

ANTENNA SCENARIO & EQUIPMENT LAYOUTS



OMHz_Horizontal_Beamwidth OMHz_AntennaHeight (ft) OMHz_AntennaHeight (ft) OMHz_AntennaGain(Bd) OMHz_AntennaGain(Bd) OMHz_AntennaGain(Bd) OMHz_AntennaGain(Bd) OMHz_AntennaGain(Bd) OMHz_Antit OMHz_Carrier_Forecast_Year_2013 OMHz_RRH Manufacturer OMHz_RRH Model RRH OMHz_RRH Count OMHz_RRH Count OMHz_RRH Count OMHz_RRH Count OMHz_Top_Jumper #1_Length (RRH or Combiner-to-Antenna for TT or Main Coax to OMHz_Top_Jumper #2_Length (RRH or Combiner-to-Antenna for TT or Main Coax to OMHz_Top_Jumper #2_Length (RRH to Combiner for TT if applicable, ft) OMHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable, ft) OMHz_Main_Coax_Cable_Length (ft) OMHz_Main_Coax_Cable_Length (ft) OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OMHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OMHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax)		SECTOR 2 No 180 1 79 RFS APXVSP18-C-A20 65 5.5 6 15.9 0 0 3 ALU RRH 1900 4X45 65MHz 1 Top of the Pole/Tower No Combiner Required 10 *10 LCF12-50J N/A N/A	SECTOR 3 No 300 1 79 RFS APXVSPP18-C-A20 65 5,5 6 15,9 -5 0 3 ALU RRH 1900 4X45 65MHz 1 Top of the Pole/Tower No Combiner Required 10 *10 LCF12-50J N/A N/A
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OMHz_Combiner Model OMHz_Top_Jumper #1_Length (RRH or Combiner-to-Antenna for TT or Main Coax to OMHz_Top_Jumper #1_Cable_Model (RRH or Combiner-to-Antenna for TT or Main Coax OMHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable, ft) OMHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable) OMHz_Main_Coax_Cable_Length (ft) OMHz_Main_Coax_Cable_Model OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OMHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax, ft) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) WHZ_Azimuth WHz_Azimuth WHz_Azimuth WHz_Azimuth WHz_AntennaMake APXVSF WHz_AntennaMake APXVSF WHz_AntennaModel WHz_Horizontal_Beamwidth WHz_AntennaModel (Ground Dased-Combiner to Main Coax) WHz_Lengalender (ft) WHz_Lengalender (f	10 *10 LCF12-50J N/A N/A	10 *10 LCF12-50J N/A	10 *10 LCF12-50J N/A N/A
OMHz_Top_Jumper #1_Length (RRH or Combiner-to-Antenna for TT or Main Coax to OWHz_Top_Jumper #2_Cable_Model (RRH or Combiner-to-Antenna for TT or Main Coax OWHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable) OWHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable) OWHz_Main_Coax_Cable_Length (R) OWHz_Main_Coax_Cable_Length (R) OWHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OWHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OWHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OWHz_Rottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) WHz_Ainuth WHz_Ainuth WHz_Ainuth WHz_Ainuth WHz_Ainuth WHz_AntennaMake APXVSF WHz_AntennaMake WHz_AntennaMake WHz_AntennaModel WHz_AntennaModel (R) WHz_AntennaMake (R) WHz_AntennaGain (GBd) WHz_E_Tit	10 *10 LCF12-50J N/A N/A	10 *10 LCF12-50J N/A	10 *10 LCF12-50J N/A N/A
OMHz_Top_Jumper #1_Length (RRH or Combiner-to-Antenna for TT or Main Coax to OMHz_Top_Jumper #2_Cable_Modet (RRH or Combiner-to-Antenna for TT or Main Coax OMHz_Top_Jumper #2_Length (RRH to Combiner for TT if applicable, ft) OMHz_Top_Jumper #2_Cable_Modet (RRH to Combiner for TT if applicable) OMHz_Main_Coax_Cable_Length (ft) OMHz_Main_Coax_Cable_Modet OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax) OMHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) MHz_Arinuth MHz_No_of_Antennas MHz_RoCenter(ft) MHz_AntennaMake APXVSF WHZ_AntennaMadet WHz_AntennaModet WHz_AntennaModet (ft) MHz_AntennaMadet (ft) MHz_AntennaGain (dBd) MHz_E_Tit	N/A N/A	LCF12-50J N/A	LCF12-50J N/A N/A
ONHtz_Top_Jumper #1_Cable_Model (RRH or Combiner-to-Antenna for TT or Main Coax OWHz_Top_Jumper #2_Length (RRH to Combiner for TT if applicable, ft) OWHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable) OWHz_Main_Coax_Cable_Length (RTH to Combiner for TT if applicable) OWHz_Main_Coax_Cable_Model OWHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OWHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OWHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OWHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) MHz_Azimuth MHz_Azimuth MHz_No_of_Antennas MHz_RADCenter(ft) MHz_AntennaMake APXVSP WHz_AntennaMake APXVSP WHz_AntennaModel WHz_Horizontal_Beamwidth MHz_Vertical_Beamwidth MHz_AntennaGain (dBd) MHz_E_Titin_BEAMWIDER MHZ_E_Tit	N/A N/A	N/A	N/A N/A
OMHz_Top_Jumper #2_Length (RRH to Combiner for TT if applicable, ft) OMHz_Top_Jumper #2_Cable_Model (RRH to Combiner for TT if applicable) OMHz_Main_Coax_Cable_Length (ft) OMHz_Main_Coax_Cable_Length (ft) OMHz_Motom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OMHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OMHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax, ft) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) MHz_Arimoth MHz_Arimoth MHz_Arimoth MHz_No_of_Antennas MHz_RADCenter(ft) MHz_AntennaMake APXVSF MHz_AntennaMake MHz_Horizontal_Beamwidth MHz_Vertical_Beamwidth MHz_Lengagain (dBd) MHz_LeniaGain (dBd) MHz_LeniaGain (dBd)	N/A		N/A
OMHz_Top_lumper #2_Cable_Model (RRH to Combiner for TT if applicable) OMHz_Main_Coax_Cable_Length (it) OMHz_Main_Coax_Cable_Length (it) OMHz_Main_Coax_Cable_Model OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, it) OMHz_Bottom_Jumper #2_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax, it) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) MHz_Arimuth MHz_Arimuth MHz_Arimuth MHz_No_of_Antennas MHz_RADCenter(it) MHz_AntennaMake APXVSF MHz_AntennaModel MHz_Horizontal_Beamwidth MHz_Vertical_Beamwidth MHz_AntennaHeight (it) MHz_AntennaGain (dBd) MHz_E_Titit		N/A	
OMHz_Main_Coax_Cable_Length (ft) OMHz_Main_Coax_Cable_Modet OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OMHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OMHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) MNHz_Arimuth MNHz_No_of_Antennas MNHz_RADCenter(ft) MNHz_AntennaMake APXVSF MHz_AntennaMake MHz_AntennaModel MNHz_Horizontal_Beamwidth MNHz_Vertical_Beamwidth MNHz_Vertical_Beamwidth MNHz_AntennaGain (dBd) MNHz_E_Tit	N// #50		
OMHz_Main_Coax_Cable_Modet OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OWHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OWHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax, ft) OWHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) WHz_Azimuth WHz_No_of_Antennas WHz_RADCenter(ft) WHz_AntennaMake APXVSF WHz_AntennaMake APXVSF WHz_AntennaModel WHz_Horizontal_Beamwidth WHz_Lertical_Beamwidth MHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Titt WHz_E_Titt	M/A TOU	N/A *50	N/A *50
OMHz_Bottom_Jumper #1_Length (Ground based RRH to Combiner-OR-Main Coax, ft) OWHz_Bottom_Jumper #1_Cable_Model (Ground based RRH to Combiner-OR-Main Coax) OWHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OWHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) WHz_Azimuth WHz_No_of_Antennas WHz_RADCenter(ft) WHz_AntennaMake APXVSP WHz_AntennaMake APXVSP WHz_AntennaModel WHz_Horizontal_Beamwidth WHz_Vertical_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Tit	N/A	N/A	N/A
OMHz_Bottom_Jumper #1_Cabie_Model (Ground based RRH to Combiner-OR-Main Coax) OMHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OMHz_Bottom_Jumper #2_Cabie_Model (Ground based-Combiner to Main Coax) WHz_Azimuth WHz_Azimuth WHz_No_of_Antennas WHz_RADCenter(ft) WHz_AntennaMake APXVSF WHz_AntennaMake APXVSF WHz_AntennaModel WHz_Horizontal_Beamwidth WHz_Vertical_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Titt	N/A	N/A	N/A
OMHz_Bottom_Jumper #2_Length (Ground based-Combiner to Main Coax, ft) OWHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) MMtz_Azimuth MMtz_No_of_Antennas MMtz_RADCenter(ft) MMtz_AntennaMake APXVSF MHz_AntennaModel MMtz_Horizontal_Beamwidth MMtz_Vertical_Beamwidth MMtz_Vertical_Beamwidth MMtz_AntennaGain (dBd) MMtz_E_Tit MMtz_E_Tit MMtz_E_Tit MMtz_E_Tit MMtz_E_Tit MMtz_E_Tit MMtz_E_Tit MMtz_E_Tit MMtz_E_Tit MMtz_Model (dBd)	N/A	N/A	N/A
OMHz_Bottom_Jumper #2_Cable_Model (Ground based-Combiner to Main Coax) MHz_Azimuth MHz_Azimuth MHz_RADCenter(ft) MHz_AntennaMake APXVSF MHz_AntennaModel MHz_Horizontal_Beamwidth MHz_Horizontal_Beamwidth MHz_AntennaHeight (ft) MHz_AntennaGain (dBd) MHz_E_Titt MHz_E_Titt	N/A	N/A	N/A
WHz_Azimuth WHz_No_of_Antennas WHz_RADCenter(ft) WHz_AntennaMake APXVSP WHz_AntennaModel WHz_Horizontal_Beamwidth WHz_Vertical_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Tit WHz_E_Tit WHz_E_Tit	N/A	N/A	N/A
WHz_No_of_Antennas WHz_RADCenter(ft) WHz_AntennaMake APXVSF WHz_AntennaModel WHz_Horizontal_Beamwidth WHz_Vertical_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Tit WHz_E_Tit	20	180	300
MHz_RADCenter(ft) MHz_AntennaMake APXVSF WHz_AntennaModel WHz_Horizontal_Beamwidth MHz_Vertical_Beamwidth MHz_AntennaHeight (ft) MHz_AntennaGain (dBd) MHz_E_Tit WHz_E_Tit	0	0	0
WHz_AntennaMake APXVSF WHz_AntennaModel WHz_Horizontal_Beamwidth MHz_Vertical_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Titt WHz_E_Titt	79	79	79
MHz_AntennaModel WHz_Horizontal_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Tit WHz_E_Tit	RFS	RFS	RFS
WHz_AntennaModel WHz_Horizontal_Beamwidth WHz_Vertical_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Tit	18-C-A20 (Shared	APXVSPP18-C-A20 (Shared	APXVSPP18-C-A20 (Share
WHz, Horizontal Beamwidth WHz, Vertical Beamwidth WHz, AntennaHeight (ft) WHz, AntennaGain (dBd) WHz, E_Tilt	w/1900)	w/1900)	w/1900)
WHz_Vertical_Beamwidth WHz_AntennaHeight (ft) WHz_AntennaGain (dBd) WHz_E_Tilt	65	65	65
MHz_AntennaHeight (ft) MHz_AntennaGain (dBd) MHz_E_Tilt	11.5	11.5	11.5
MHz_AntennaGain (dBd) MHz_E_Tit	6	6	6
MHz_E_Tit	13.4	13.4	13.4
	-7	-8	-8
	ó	0	0
MHz_RRH Manufacturer	ALU	ALU	ALU
	Hz RRH 2×50W	800 MHz RRH 2×50W	800 MHz RRH 2x50W
MHz_RRH Count	1	1	1
	•	Top of the Pole/Tower	Top of the Pole/Tower
Top_Jumper #1_Length (RRH to Antenna for TT or Main Coax to Antenna for GM)	The Pole / Lower	10 *10	10 *10
_rop_sumper_Cable_Model (RRH to Antenna for TT or Main Coax to Antenna for GM)	the Pole/Tower	LCF12-50J	LCF12-50J
MHz_Main_Coax_Cable_Length (ft)	10 *10	N/A *50	N/A *50
MHZ_Main_Coax_Cable_cengun (rt) MHZ_Main_Coax_Cable_Model	10 *10 LCF12-50J		N/A
Bottom_lumper #1_Length (Ground based RRH to Main Coax)	10 *10 LCF12-50J N/A *50	N/A	N/A
_Bottomtumper #1_Length (Ground based RRH to Main Coax) _Bottom_tumper #1_Cable_Model (Ground based RRH to Main Coax)	10 *10 LCF12-50J N/A *50 N/A	N/A	
mbing Scenario *	10 *10 LCF12-50J N/A *50 N/A N/A	N/A N/A N/A	N/A
plumbing scenario does not match the material received, please contact your Construction Mana	10 *10 LCF12-50J N/A *50 N/A N/A N/A	N/A N/A	
	10 *10 CF12-50J N/A *50 N/A N/A N/A 124	N/A	N/A
9/2012	10 *10 CF12-50J N/A *50 N/A N/A N/A 124	N/A N/A	N/A

RF DATA SHEET



SPRINT CONSTRUCTION STANDARDS:

GENERAL CONTRACTOR SHALL ADHERE TO THE FOLLOWING SPRINT CONSTRUCTION STANDARDS (AS AMENDED FROM TIME TO TIME AND AVAILABLE ON THE ALL FST DATABASE):

- CONSTRUCTION STANDARDS: INTEGRATED CONSTRUCTION STANDARDS FOR WRELESS SITES VERSION 4.0, INCLUDING EXHIBITS A-M.
 CONSTRUCTION SPECIFICATIONS: CONSTRUCTION STANDARDS EXHIBIT A STANDARD CONSTRUCTION SPECIFICATIONS FOR WIRELESS SITES
- (VERSION 4.0).

 GROUNDING STANDARDS: EXTERIOR GROUNDING SYSTEM DESIGN.

 GROUNDING STANDARDS (SUPPLEMENT): ANTI-THEFT UPDATE TO SPRINT
 GROUNDING 082412 AND SPRINT ENGINEERING LETTER EL-0504 DATED
- WEATHER PROOFING STANDARDS: EXCERPT FROM CONSTRUCTION STANDARDS EXHIBIT A, SECTION 3.6 WEATHERPROOFING CONNECTORS AND GROUND KITS.
 COLOR CODING: SPRINT NEXTEL ANT AND LINE COLOR CODING (DRAFT) V3
- 09-08-11.

IMPORTANT:

GENERAL CONTRACTOR/TOWER CREW SHALL VERIFY THAT THE LATEST RF DATA SHEET ARE USED FOR EQUIPMENT INSTALLATION.

(**) NETWORK VISION ANTENNA RADIATION CENTERUNE AGL (FT) BASED ON TOWER MAPPING PERFORMED BY HUDSON DESIGN GROUP AND WILL SUPERSEDE ANY CONFLICTING BIFORMATION DERIVED FROM THE ALU/SPRINT DATABASE.

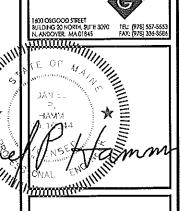


THETWORK VISION MANBIS LAUNCH I INTERNATIONAL BLVD, SUITE 800 MARWAH, NJ 07495 TEL: (800) 357-7641



Alcatel · Lucent I ROSENS ROAD WESTFORD, MA 01886 TEL: (978) 952-1600





CHECKED BY:

DPH APPROVED BY:

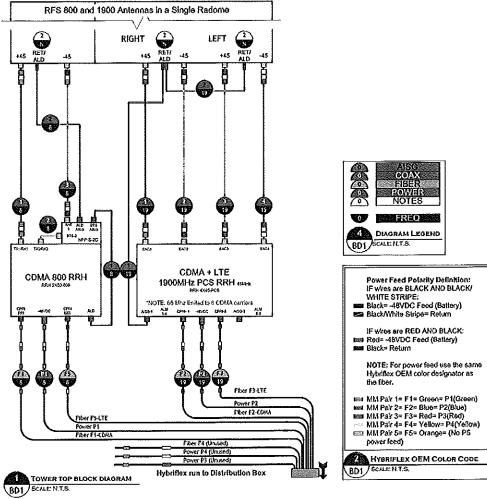
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L			+
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2	01/23/13	FOR CONSTRUCTION	SE.
1		ISSUED FOR REVIEW	JG

SITE NUMBER: BS43XC808 SITE NAME: PORTLAND DOUBLE TREE HOTEL SITE ADDRESS: 1230 CONGRESS STREET PORTLAND, ME 04102

RF DATA SHEET

A-4

SCENARIO 124_v2.0



Power Pair 3 Hybriflex, 1900 LTE RRH1 -46VDC port TO/FROM Distribution Box Breaker 3 (S1), 7 (S2), 11 (S3) cer Pair 3, 1990 RRHZ CPRI PRI port TO/FROM Distribution Box, Top LC Butthead, Position 3-4 (S1), 9-10 (S2), Lower LC BH, Position 3-4 (S3) umper, Power Pair 3 CTAP TO/FROM 1900 LTE RRH2 -48VDC port (42* Jumper) ber Jumper, 1900 RRH1 CPRI SEC part TO/FROM 1900 RRH2 CPRI SEC port SG Cable jumper, 1900 CDMA RRH1 AISG port TO/FROM 1900 Ardenna RET/ADL port ISG Cable Jumper, 1900 Antenna RET/ADL port TO/FROM 1900 Antenna RET/ALD port (RET Motors) pax jumper, 1960 LTE RRH1 TX2/RX2 port TO/FROM Combiner Port G2 2004/hz sax jumper, 1900 LTE RRH2 TX1/RX1(logical TX/RX3) port TO/FROM Combiner Port G3 00Mh2 ax jumper, 1960 LTE RRH2 TX2/RX2(logical TX/RX4) port TO/FROM Combiner Port G4 23 De Power Pair 2 Hybridez, 1900 CDWA RRH1 -4SVDC port TOFROM Distribution box business a power and power pair 2 Hybridez, 1900 CDMA RRH1 - CPRI PRI port TOFROM Distribution Box. Top LC Business. Position 13-14 (S1), 19-20 (S2), Lower LC BH, Position 13-14 (S3) and 1900 Minz ber Jumper, 1900 RRH1 CPRI SEC port TO-FROM 1900 RRH2 CPRI SEC port 100M/sz ax jumper, 1900 CDMA RRH1 TX1/RX1 port TO:FROM Combiner Port A1B1 Coax jumper, 1900 CDMA RRHI TX2/RX2 part TO/FROM Combiner Part A282 1900/thz ax jumper, 1900 CDMA RRH2 TX1/RX1(logical TX/RX3) port TO/FROM Combiner Port A383 oax Jumper, 1900 CDMA RRH2 TX2/RX2(logical TX/RX4) port TO:FROM Combiner Port A484 90/M/sz oax jumper, 1900 Combiner COM 2 port TO/FROM Antenna -45 por 100Mhz oax Jumper, 1900 Combiner COM 3 part TO/FROM Arkenna +45 part 300Mhz oax Jumper, 1900 Combiner COM 4 port TO:FROM Antenna -45 port 900Mnz 1 Spare Fiber Pairs & DC Power terminated, weatherproofed, specified and tile wrapped to side of 800Mhz RRH. (cable management)
Notes

Alarm jumper cap connection. This alarm jumper must be in place to make the RRH # 2 of the pair. (# 2 is always the one farthest froinches)
Notes

3 Power Cable "Y" jumper. C-Tap jumper from Pair 3 to 1900 RRH2. Weatherproof C-Tap and leave 18-24" toop.
Notes arm jumper cap connection. This alarm jumper must be in place to make the RRH # 2 of the pair. (# 2 is always the one farthest from the pipe)

> CONNECTION LEGEND SCALE: N.T.S.

IMPORTANT:

GENERAL CONTRACTOR/TOWER CREW SHALL VERIFY THAT THE LATEST NETWORK VISION RAN CONNECTION DIAGRAMS ARE USED FOR **EQUIPMENT INSTALLATION**

IMPORTANT:

VELCRO STRAPS ONLY MAY BE USED ON FIBER. CABLE TIES OR TIE WRAP MUST NOT BE USED ON FIBER.



THETWORK VISION MARRIS LAUNCH I INTERNATIONAL BLVD, SUITE 800 MAHWAH, NJ 07495 TEL: (800) 357-7641



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CHECKED BY:

DPH

APPROVED BY:

SUBMITTALS					
REV.	DATE	DESCRIPTION	B		
			+		
-			-		
2	01/03/13	FOR CONSTRUCTION	SF		
-	12/18/12	ISSUED FOR REVEW	JG		

SITE NUMBER: BS43XC808 SITE NAME: PORTLAND DOUBLE TREE HOTEL

SITE ADDRESS: 1230 CONGRESS STREET PORTLAND, ME 04102

WIRING DIAGRAM

A-5

STRUCTURAL NOTE:

STRUCTURAL INFORMATION TAKEN FROM STRUCTURAL ANALYSIS PERFORMED BY HUDSON DESIGN GROUP, LLC. DATED: DECEMBER 18, 2012

NOTE:

1. CONTRACTOR TO ENSURE THAT RRH MOUNTING DOES NOT INTERFERE WITH CLIMBING PEGS, CABLE CLIMB, COAX PORTS, OR EXISTING TOWER EXTENSION PLATE.

- 2. CENTER MAXIMUM OPENING BETWEEN ADJACENT RRH ON EXISTING SAFETY CLIMB.
- 3. CONTRACTOR TO VERIFY DIAMETER OF EXISTING MONOPOLE/UNIPOLE BEFORE ORDERING PARTS.
- 4. PROPOSED EQUIPMENT TO BE MOUNTED PER MANUFACTURERS SPECIFICATIONS.
- 5. RRH PLACEMENT FOR REFERENCE ONLY. CONTRACTOR SHALL PLACE RRH IN CORRECT ORDER MATCHING PROPOSED ANTENNA PLACEMENT.

-EXISTING ANTENNA MOUNTING FRAME (TYP.)

--PROPOSED 1/2*# U-BOLT (TYP.)



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APPROVED BY: DPH

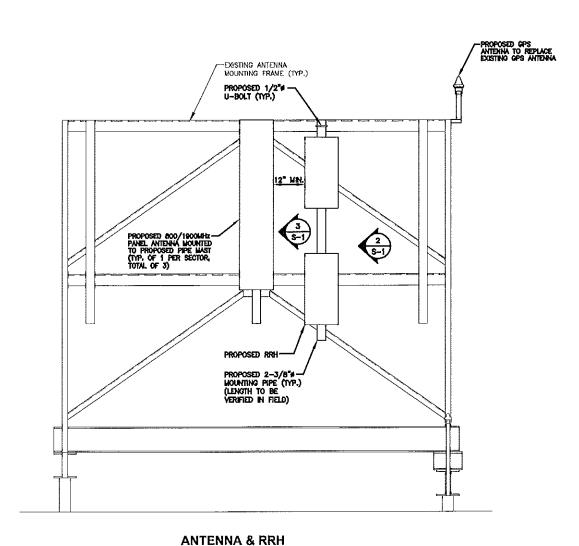
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SUBMITTALS REV. DATE DESCRIPTION 2 01/23/13 FOR CONSTRUCTION 1 12/18/12 ISSUED FOR REVIEW

SITE NUMBER: BS43XC808 SITE NAME: PORTLAND DOUBLE TREE HOTEL SITE ADDRESS: 1230 CONGRESS STREET PORTLAND, ME 04102

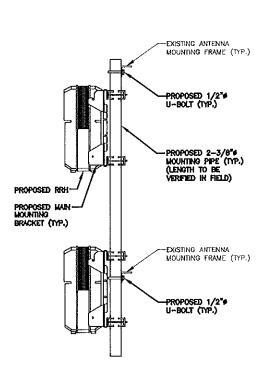
STRUCTURAL DETAILS

S-1



MOUNTING DETAIL

SCALE: N.T.S.



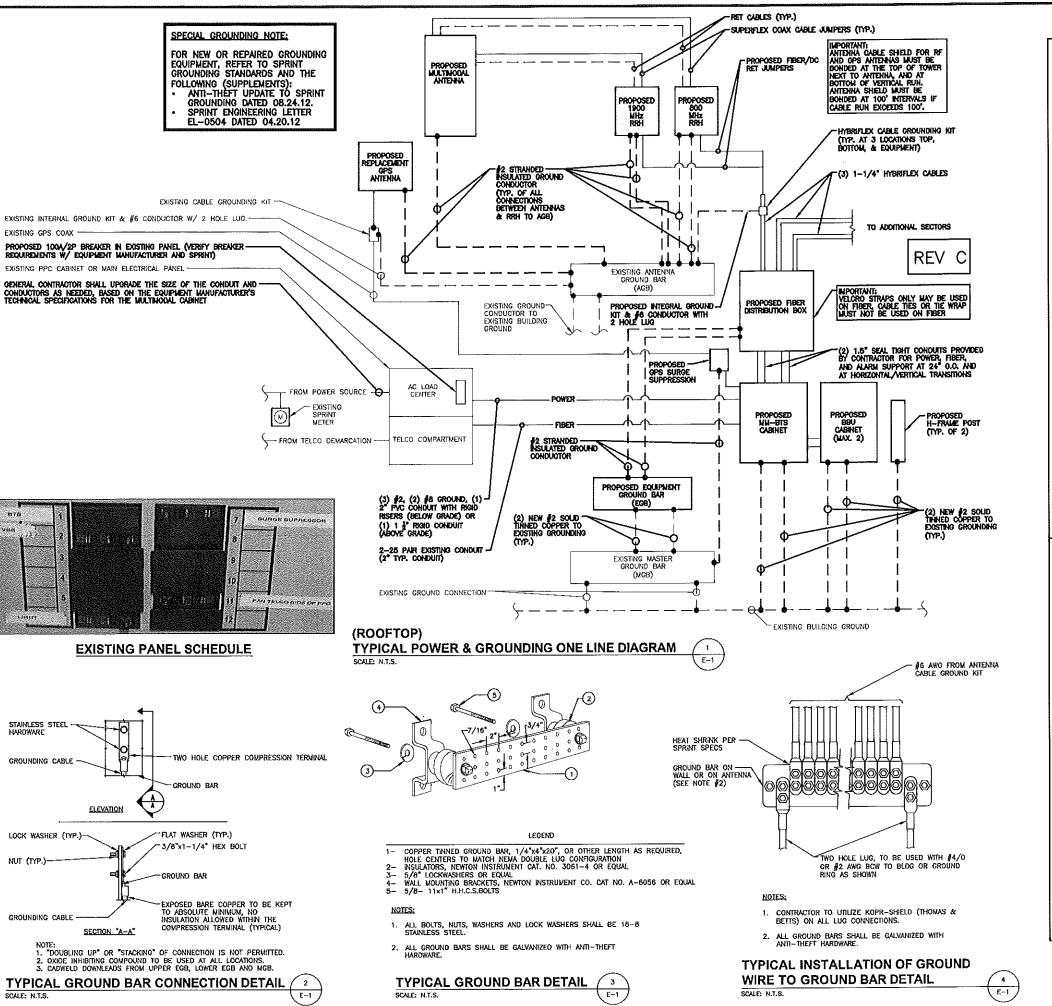
RRH MOUNTING SECTION

-EXISTING ANTENNA MOUNTING FRAME (TYP.) --PROPOSED 1/2°≠ U-BOLT (NP.) PROPOSED 2-3/8"# -MOUNTING PIPE (TYP.) (LENGTH TO BE YERIFIED IN FIELD)

ANTENNA MOUNTING SECTION

PROPOSED -----

Proposed – Multimodal Antenna



ELECTRICAL NOTES

ALL ELECTRICAL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE (NEC) AS WELL AS APPLICABLE STATE AND LOCAL CODES.

2) THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL CONDUIT ROUTING WITH LOCAL UTILITY COMPANIES AND SPRINT CONSTRUCTION MANAGER.

3) ALL CONDUITS ROUTED BELOW GRADE SHALL TRANSITION TO RIGID GALVANIZED STEEL CONDUIT ABOVE GRADE.

4) ALL METAL CONDUITS SHALL BE PROVIDED WITH GROUNDING BUSHINGS.

5) GENERAL CONTRACTOR SHALL PROVIDE ALL DIRECT BURIED CONDUITS WITH PLASTIC WARNING TAPE IDENTIFYING CONTENTS, TAPE COLORS SHALL BE GRANGE FOR TELEPHONE AND RED FOR ELECTRIC.

6) ALL ELECTRICAL ITEMS SHALL BE U.L. APPROVED OR LISTED AND PROCURED PER SPECIFICATION REQUIREMENTS.

7) THE ELECTRICAL WORK INCLUDES ALL LABOR AND MATERIALS DESCRIBED BY DRAMINGS AND SPECIFICATIONS INCLUDING INCIDENTIAL WORK TO PROVIDE COMPLETE OPERATING AND APPROVED ELECTRICAL SYSTEM.

9) ELECTRICAL AND TELCO WIRING OUTSIDE A BUILDING AND EXPOSED TO WEATHER SHALL BE IN WATER TIGHT GALVANIZED RIGID STEEL CONDUITS OR SCHEDULE 60 PVC (AS PERMITTED BY CODE) AND WHERE REQUIRED IN LIQUID TIGHT FLEGRE METAL OR NONMETIALLIC CONDUITS.

10) BURIED CONDUIT SHALL BE SCHEDULE 40 PVC.

11) ELECTRICAL WIRING SHALL BE COPPER WITH TYPE XHHW, THANKOR THIN INSULATION.

12) RUN ELECTRICAL CONDUIT OR CABLE BETWEEN ELECTRICAL UTILITY AND PROJECT OWNER CELL SITE PPC AS-WIDIGATED ON THIS DRAWING, PROVIDE FULL LENGTH PULL ROPE. COORDUITE INSTALLATION WITH UTILITY COMPANY.

13) RUN TELCO CONDUIT OR CABLE BETWEEN TELEPHONE UTILITY TO DEMARCATION POINT AND PROJECT OWNER CELL SITE FELOD CABNET AS BTS CABINET AS NINCATED ON THIS DRAWING PROVIDE FULL LENGTH PULL ROPE IN INSTALLED TELCO CONDUIT, PROVIDE GREENLEE CONDUIT MEASURING TAPE AT EACH END.

14) ABOVE GROUND PORTION OF CONDUIT BETWEEN BTS AND PROJECT OWNER'S CELL SITE PPC SHALL BE RIGID CONDUIT.

16) FOR NEW OR REPAIRED CROWNOWG EQUIPMENT, REFER TO SPRINT CROWNING STANDARDS AND THE FOLLOWING SUPPLEMENTS

ANTI-THEFT UPDATE TO SPRINT GROUNDING DATED 08.24.12 SPRINT ENGINEERING LETTER EL-0504 DATED 04.20.12

GROUNDING NOTES

1) ALL EQUIPMENT LOCATED OUTSIDE SHALL HAVE NEWA 3R ENCLOSURE.

2) ALL GROUND WIRE SHALL BE BARE COPPER $\sharp 2$ AWG UNLESS OTHERWISE NOTED.

3) ALL GROUND WRES SHALL PROVIDE A STRAIGHT, DOWNWARD PATH TO GROUND WITH GRADUAL BEHDS AS REQUIRED. GROUND WIRES SHALL NOT BE LOOPED OR SHARPLY BENT.

4) EACH EQUIPMENT CABINET SHALL BE CONNECTED TO THE MASTER GROUND BAR (MGB) WITH #2 AWG INSULATED STRANDED COPPER WIRE. EQUIPMENT CABINETS SHALL EACH HAVE (2) CONNECTIONS.

5) PROVIDE DEDICATED #2 AWG COPPER GROUND WARE FROM EACH ANTENNA MOUNTING PIPE TO ASSOCIATED AGB (TYP.)

 $\boldsymbol{6})$ antenna ground kits shall be furnished by sprint and installed by electrical contractor.

7) COORDINATE NEW SPRINT GROUND SYSTEM WITH EXISTING SITE GROUND SYSTEM.

8) GROUNDING SHALL COMPLY WITH NEC ART. 250. ADDITIONALLY, GROUNDING, BONDING AND LIGHTNING PROTECTION SHALL BE DONE IN

9) CROUND HYBRIFLEX CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURERS HYBRIFLEX CABLE GROUNDING KITS.

10) ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERNIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.

11) ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #8 WRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY, BOND ANY METAL OBLECTS WITHIN 6 FEET OF PROJECT OWNER EQUIPMENT OR CABRIET TO MASTER GROUND BAR OR CONTINUED BAND.

12) CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS. APPLY OXIDE INHERTING COMPOUND TO ALL LOCATIONS.

13) APPLY OXIDE INHIBITING COMPOUND TO ALL COMPRESSION TYPE GROUND CONNECTIONS.



"NETWORK VISION MUSIS LAUNCH" 1 INTERNATIONAL BLVD, SUITE 800 MAHWAH, NJ 07495 TEL: (800) 357-7641



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1 ROSSINS ROAD WESTFORD, MA 01884 TEL: (978) 952-1600



1600 OSGOOD STREET BUILDING 20 NORTH, SUITE 3090 N. ANDOVER, MA 01845

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CHECKED BY:

APPROYED BY: OPH

SUBMITTALS				
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2	01/23/13	FOR CONSTRUCTION	SI	
1	12/18/12	ISSUED FOR REVIEW	JO	

SITE NUMBER: BS43XC808 SITE NAME: PORTLAND DOUBLE TREE HOTEL

SITE ADDRESS: 1230 CONGRESS STREET PORTLAND, ME 04102

TYPICAL POWER & GROUNDING ONE LINE DIAGRAM

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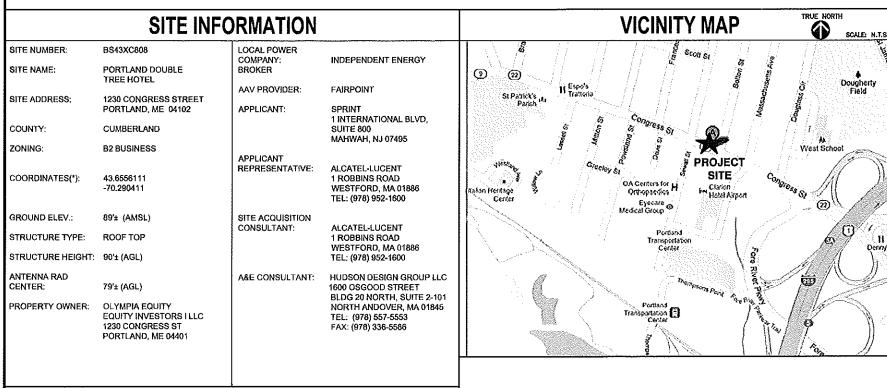
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SITE NAME:

PORTLAND DOUBLE TREE HOTEL

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1230 CONGRESS STREET PORTLAND, ME 04102



		SHEET INDEX	
2	SHEET	DESCRIPTION	REV
	T-1	TITLE SHEET	0
100	T-2	SITE PHOTOS	0
	A-1	COMPOUND PLAN	0
	A-2	DETAILS	0
ß		APPROVALS	

APPROVALO

THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS AND AUTHORIZE THE CONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE OCAL BUILDING DEPARTMENT AND MAY IMPOSE CHANGES OR MODIFICATIONS.

GENERAL NOTES

- THIS IS AN UNMANNED TELECOMMUNICATION FACILITY AND NOT FOR HUMAN HABITATION: -HANDICAPPED ACCESS NOT REQUIRED - PORTABLE WATER OR SANITARY SERVICE IS NOT REQUIRED

 - NO OUTDOOR STORAGE OR ANY SOLID WASTE RECEPTACLES REQUIRED
- CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS, AND CONDITIONS ON JOB SITE. CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK, FAILURE TO NOTIFY THE ARCHITECT/ENGINEER PLACE THE
- DEVELOPMENT AND USE OF THE SITE WILL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. BUILDING CODE: MASSACHUSETTS STATE BUILDING CODE 780 CMR - 8TH EDITION ELECTRICAL CODE: 2008 NATIONAL ELECTRICAL CODE STRUCTURAL CODE: TIA/EIA-222-G OR LATEST EDITION

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CALL

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ALCATEL-LUCENT REP AAV REP: SITE ACQUISITION: DATE:





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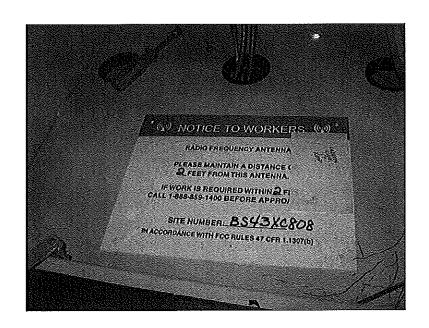


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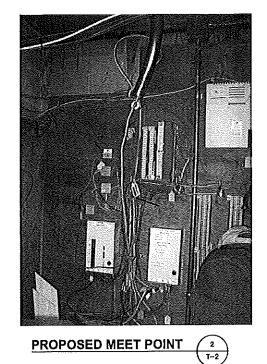
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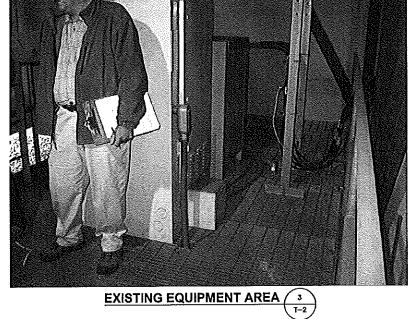
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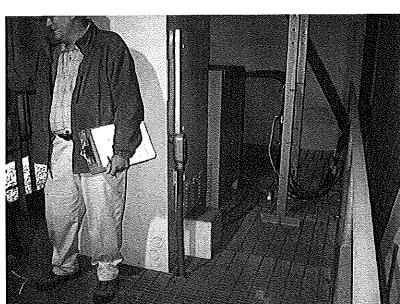
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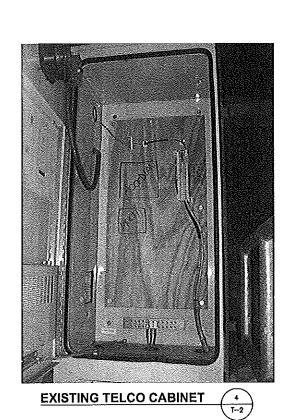
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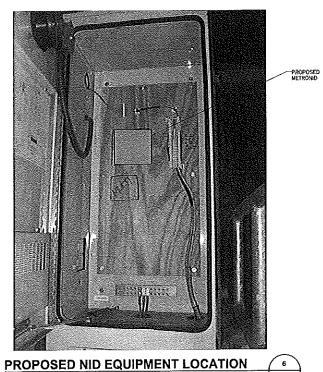




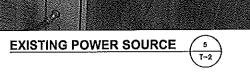






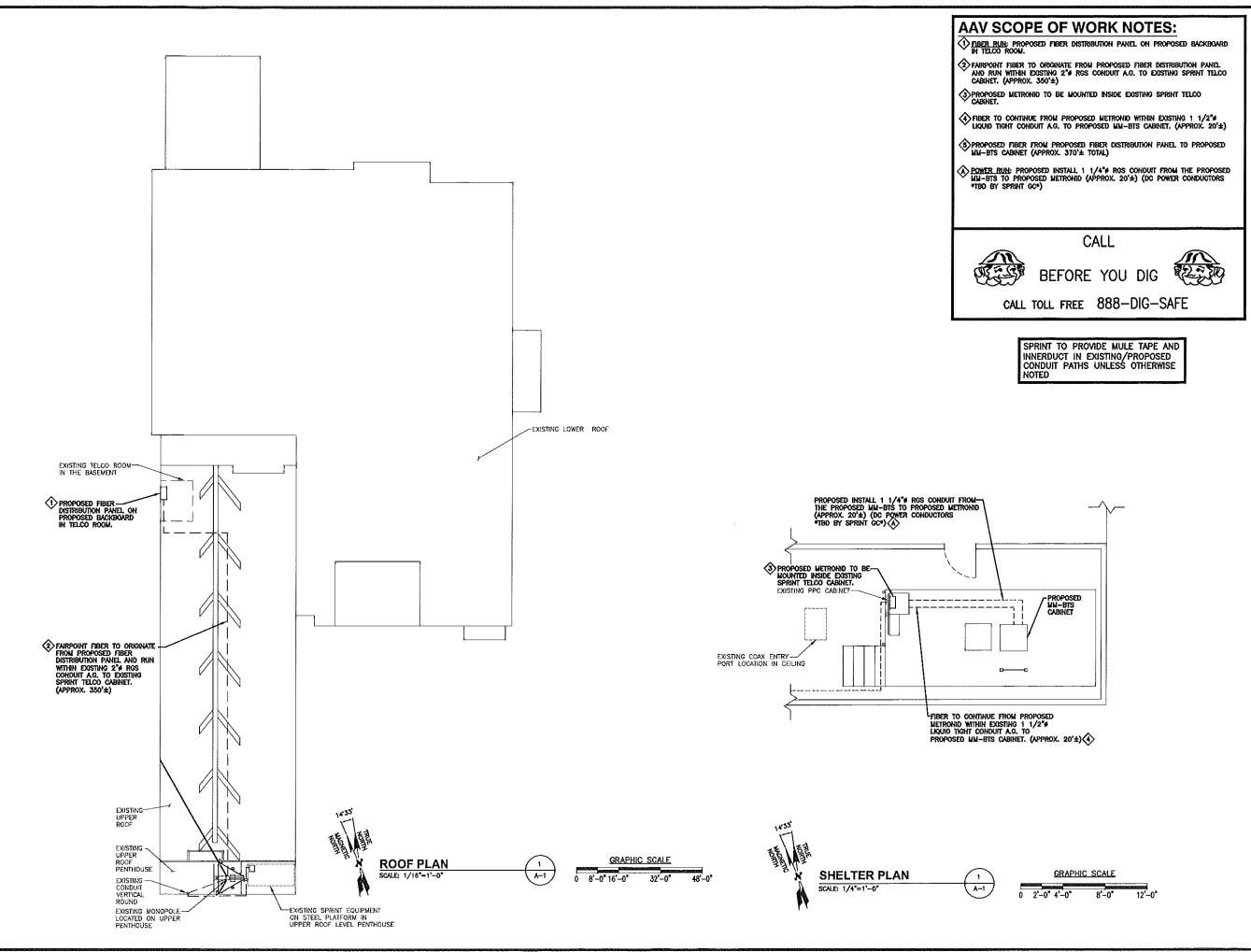


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SITE PHOTOS

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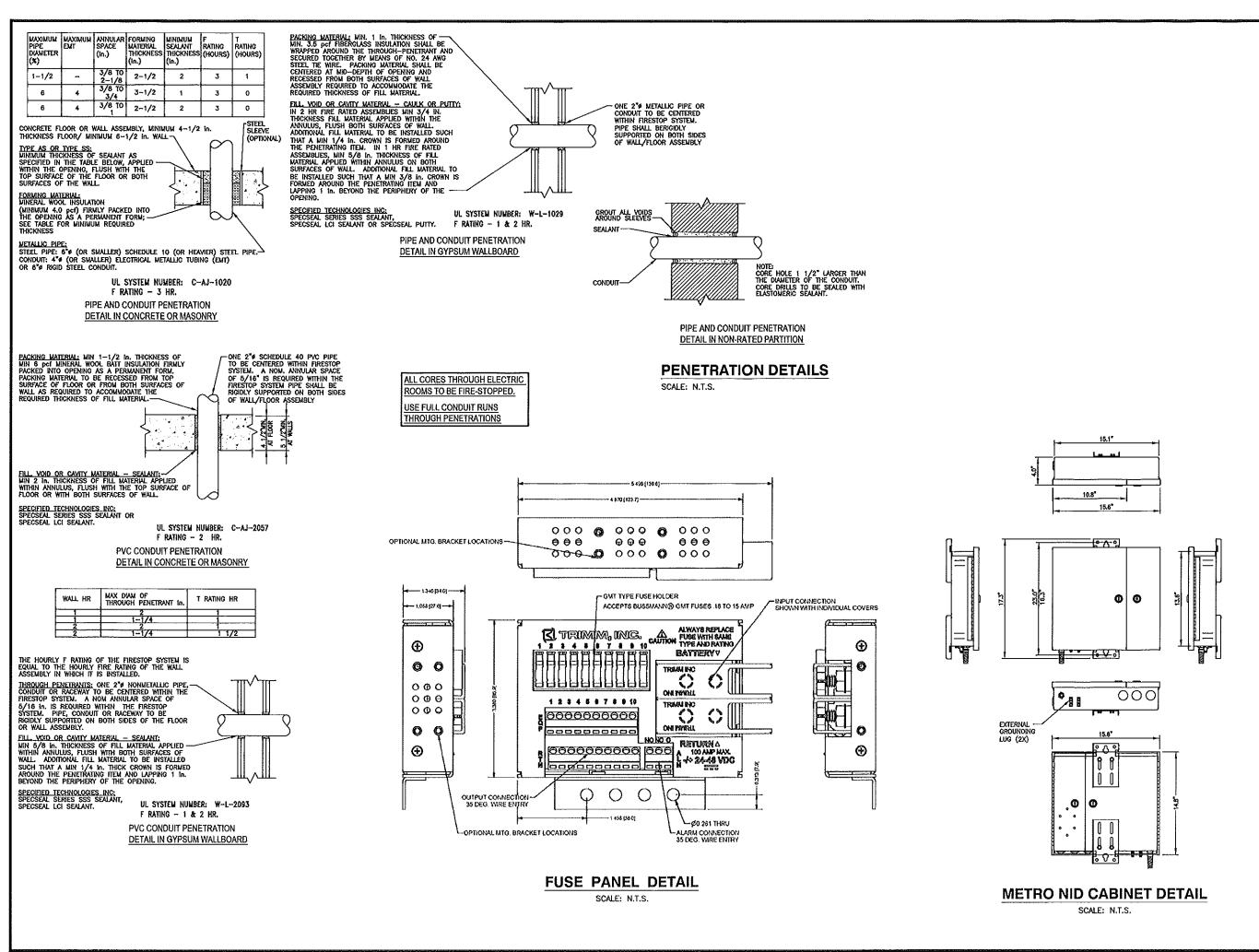
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COMPOUND PLAN



Sprint VISION

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PORTLAND, ME 04102

See the

DETAILS

SHEET NUMBER

A-2