

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 031478

**Please Read
Application And
Notes, if Any,
Attached**

This is to certify that Olympia Equity Investors/Alvin Cook Construction
has permission to Separation of 2nd floor into 2 tenant spaces including changing access to stairs.
AT 1200 Congress St Portland, Oregon 97201 189 A013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 03-1478	Issue Date: JAN 07 2004	CBL: 189 A013001
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Location of Construction: 1200 Congress St	Owner Name: Olympia Equity Investors	Owner Address: 50 Monument Sq 2nd Floor	Phone:
Business Name: n/a	Contractor Name: Allied/Cook Construction	Contractor Address: PO Box 1396 Portland	Phone: 2077722888
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Alterations - Commercial	Zone: B2

Past Use: Commercial / Bank & Medical	Proposed Use: Bank & Medical / Seperation of 2nd floor into to tenant spaces, including changing access to stairs.	Permit Fee: \$741.00	Cost of Work: \$80,000.00	CEO District: 3
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Proposed Project Description: Seperation of 2nd floor into 2 tenant spaces including changing access to stairs.	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: 8 Type: 2c Signature: <i>MM</i> Signature: <i>[Signature]</i>
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Permit Taken By: gg	Date Applied For: 12/03/2003	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>Any New Sewerage requires a sep sept permit</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: 12/10/03	Zoning Appeal <input type="checkbox"/> Variance <input checked="" type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

~~cb~~ Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

~~cb~~ Footing/Building Location Inspection: Prior to pouring concrete

~~cb~~ Re-Bar Schedule Inspection: Prior to pouring concrete

~~cb~~ ~~MA~~ Foundation Inspection: Prior to placing ANY backfill

~~cb~~ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

~~cb~~ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

~~cb~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~cb~~ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Mike Racine
Signature of applicant/designee

1.7.03
Date

Ben Marshall
Signature of Inspections Official

1/7/03
Date

CBL: 189A013 Building Permit #: 031476

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-1478	Date Applied For: 12/03/2003	CBL: 189 A013001
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Location of Construction: 1200 Congress St	Owner Name: Olympia Equity Investors	Owner Address: 50 Monument Sq 2nd Floor	Phone:
Business Name: n/a	Contractor Name: Allied/Cook Construction	Contractor Address: PO Box 1396 Portland	Phone (207) 772-2888
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Alterations - Commercial	

Proposed Use: Bank & Medical / Separation of 2nd floor into to tenant spaces, including changing access to stairs.	Proposed Project Description: Separation of 2nd floor into 2 tenant spaces including changing access to stairs.
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Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 12/04/2003	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Building	Status: Approved	Reviewer: Mike Nugent	Approval Date: 01/06/2004	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 12/10/2003	Ok to Issue: <input checked="" type="checkbox"/>
Note:				
1) the fire alarm system shall be maintained to NFPA 72 standards				

Comments:
12/15/2003-mjn: Plans not stamped and statment of special inspections for new stairs and floor system. Have question about width of first floor exit discharge hall way
Received--01/06/2004

consulting · architecture · engineering · interior design · construction management

118 Congress Street, Portland, Me 04101 Tel. (207) 842-6260 · Fax (207) 842-6271 · Email Admin@E-TLA.com

To:	Project	Project No.	0332
Michael Nugent	Norway Savings Bank	Date:	12-03-03
City Hall	1200 Congress Street	No. Pages	1
389 Congress Street	Portland, Me 04102		
Portland, ME 04101	Formally Coastal Bank		

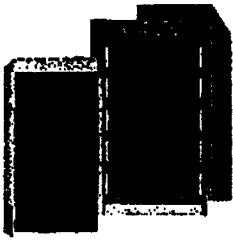
Dear Michael Nugent:

Attached are drawings A1, A2 and A3 in both 36x24 and 17 x 11 formats as well as Permit Applications and permit fee for \$749.00 based upon an \$80,000.00 construction cost. I have also attached for your information a preliminary plan to Gastroenterology which is substantially correct.

This is a project that I have consulted with you on previously. On the last go around I met with Lieutenant Gaylen McDougal and he suggested this solution, which includes enclosing the existing open stair in a one-hour enclosure and providing a one-hour horizontal enclosure.

To expedite work, this represents Phase I of the work, which prepares raw space for Gastroenterology who currently occupy the third floor. Phase II will be prepared by another architect John Whipple. The Contractor Allied/Cook Construction John Brockington 207 772-2888


Clyde Blackwell



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Clyde Blackwell
Therivault Landmann Associates 118 Congress Street Portland ME 04101

RE: Certificate of Design

DATE: Dec. 3 2003

These plans and/or specifications covering construction work on:

NORWAY SAVINGS BANK SUB-LEASE 1200 CONGRESS ST.

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the **BOCA National Building Code 1999 Fourteenth Edition**, and local amendments.

(SEAL)

Signature Clyde Blackwell
Title Architect
Firm Therivault Landmann Assoc. 118 Congress St
Address Portland ME 04101

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

PSH 6/20/2k





City of Portland Maine

389 Congress St., Rm. 315
Portland, ME 04101

ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Services

FROM: Clyde Blackwell Theriault Landmann Assoc

RE: Certificate of Design, HANDICAP ACCESSIBILITY

DATE: DEC 3 2007

These plans and/or specifications covering construction work on:

NORWAY SAVINGS BANK - Sub-Lease 1200 CONGRESS ST.

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

(SEAL)

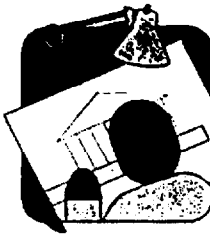


Signature Clyde Blackwell

Title Architect

Firm Theriault Landmann Assoc

Address 119 Congress Street
Portland ME 04101



CITY OF PORTLAND MAINE

89 Congress St., Rm 315
Portland, ME 04101
Tel. -207-874-8704
Fax- 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: THERRAULT LANDMANN ASSOCIATES Clyde Blackwell
118 CONGRESS STREET PORTLAND ME 04101 207 842 6260
DATE: DEC 3, 2003

Job Name: NORWAY SAVINGS BANK SUB-LEASE
Address of Construction: 1200 CONGRESS STREET

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year BOCA 1999 Use Group Classification(s) B
Type of Construction 2C Bldg. Height ~ 30' Bldg. Sq. Footage 11,600 s.f. ^{Footprint}
Seismic Zone _____ Group Class _____
Roof Snow Load Per Sq. Ft. NA. Dead Load Per Sq. Ft. NA.
Basic Wind Speed (mph) NA. Effective Velocity Pressure Per Sq. Ft. NA.
Floor Live Load Per Sq. Ft. _____

Structure has full sprinkler system? Yes No Alarm System? Yes No

Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered N.A.

List Occupant loading for each room or space, designed into this Project.

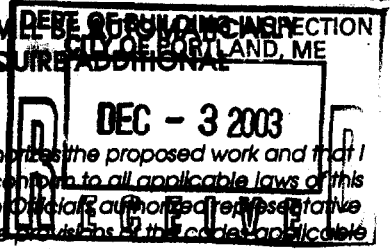
*This project is a renovation (Designers Stamp & Signature)
separating a floor for a
second tenant.
PSH 6/07/2K*

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1200 CONGRESS STREET</u>		
Total Square Footage of Proposed Structure <u>~ 30,000 SF</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>189 A 013</u>	Owner: <u>Olympia Equity Inv.</u> <u>1200 Congress St</u> <u>PORT ME. 04104</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>CLYDE BLACKWELL</u> <u>THEVAULT LANDMAN ASSOC.</u> <u>118 CONGRESS ST</u> <u>PORTLAND ME 04101 842-6260</u>	Cost Of Work: \$ <u>80,000.00</u> Fee: \$ <u>749.00</u>
Current use: <u>BUSINESS</u> <u>Bank & Medical</u>		
If the location is currently vacant, what was prior use: <u>NA</u>		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>SAME</u> <u>Separation of 2nd Floor into 2 Tenant Spaces including</u> Project description: <u>changing access to stairs to maintain code compliant</u> <u>egress</u>		
Contractor's name, address & telephone: <u>Allied / Cook Construction - JOHN BROCKERTON</u>		
Who should we contact when the permit is ready: <u>CLYDE BLACKWELL</u>		
Mailing address: <u>Thevault Landman Assoc</u> <u>118 Congress Street</u> <u>Portland ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>842-6260</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to comply to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Clyde Blackwell</u>	Date: <u>Dec 3.03</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

ck# 7344

To:	Project:	Owner:	Project No.	0332
Michael Nugent	Norway Savings Bank	Olympia Equity Investors	Date:	01-06-04
City Hall	1200 Congress Street	50 Monument Square	No. Pages	1
389 Congress Street	Portland, Me 04102	Portland, ME 04101		
Portland, ME	Formally Coastal Bank			
04101				

Dear Michael Nugent:

This project was previously submitted on December 3, 2003. We are resubmitting plans and additional plans, in response to your fax sent December 15, 2003. Please note the following changes:

1. Drawings are now stamped.
2. The exit corridor on the first floor will be a minimum of 44" clear width.
3. A statement of special inspections is noted below.
4. The treads and risers of the existing stair are 11" for treads and 7" or less for the risers. The new stair flight dimensions are now noted on the drawings.
5. The new floor loads are noted on drawing SKS-0.
6. The new stair flight will have walls on either side with wall-mounted hand railings. The existing railings and guard have a tempered glass infill without any opening greater than 1/2" between glass panels.

Statement of Special Inspections: per BOCA 1999 paragraph sections as noted below

This office will provide special inspections by either Becker Structural Engineers, Inc. or S.W. Cole Engineering as follows:

- a. Special inspection of high strength bolts per 1705.34.3.1 (Field inspection for material identification markings and conformance to ASTM standards specified by design engineers.)
- b. Special inspection of welds per 1705.3.3.2 (Field inspection per AWS D1.1 and conformance with design drawings)
- c. Special inspection of concrete materials for the structural slab on grade per 1705.4.1 (Is not required provided concrete supplier provides certification for less than 50 C.Y.)
- d. Special inspection of reinforcing materials per 1705.4.2 (Field inspection per ACI 318 and conformance with design drawings)



Clyde Blackwell, Architect #AR1834

GENERAL NOTES

1. THE FOLLOWING NOTES ARE INTENDED TO BE USED AS OUTLINE SPECIFICATIONS FOR THIS PROJECT. THE REFERENCED STANDARDS ARE CONSIDERED TO BE PART OF THE WORK.
2. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
3. THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE ONLY AFTER THE STRUCTURAL WORK CONTAINED IN THE S- SKETCHES IS COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, OR TIEDOWNS. SUCH MATERIAL SHALL REMAIN THE PROPERTY OF THE CONTRACTOR AFTER COMPLETION OF THE PROJECT.
4. SECTIONS AND DETAILS SHOWN ON ANY STRUCTURAL DRAWINGS SHALL BE CONSIDERED TYPICAL FOR SIMILAR CONDITIONS AS DETERMINED BY THE ENGINEER.
5. ALL APPLICABLE FEDERAL, STATE, AND MUNICIPAL REGULATIONS SHALL BE FOLLOWED, INCLUDING THE FEDERAL DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ACT.

DESIGN LOADS

1. BUILDING CODE: BOCA NATIONAL BUILDING CODE (1999)
ASCE 7-98 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
2. DESIGN LIVE LOADS:

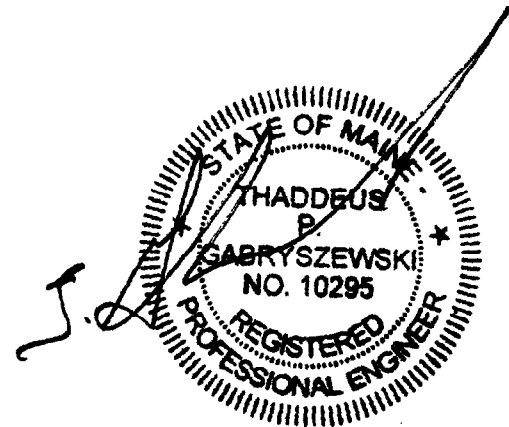
CORRIDORS	100 PSF
FILE AREAS AT GROUND FLOOR	250 PSF

STRUCTURAL STEEL NOTES

1. STRUCTURAL STEEL FABRICATION AND ERECTION, SHALL CONFORM TO AISC "SPECIFICATION FOR THE DESIGN FABRICATION, AND ERECTION OF STRUCTURAL STEEL" 9TH EDITION, AND THE "CODE OF STANDARD PRACTICE, LATEST EDITION.
2. STRUCTURAL STEEL: STEEL PLATES, SHAPES, AND BARS SHALL CONFORM TO ASTM A36 UNLESS NOTED OTHERWISE (U.N.O.)
STRUCTURAL STEEL SHAPES DESIGNATED ON THE DRAWINGS FOR WIDE-FLANGE SECTIONS SHALL CONFORM TO ASTM A992 GRADE 50 KSI (U.N.O.)
3. FIELD CONNECTIONS SHALL BE BOLTED USING 3/4" DIA. ASTM A325 HIGH STRENGTH BOLTS (U.N.O.)
4. WHERE WELDING IS INDICATED, ALL WELDING SHALL CONFORM TO AWS D1.1- LATEST EDITION. ELECTRODES SHALL BE CONFORM TO AWS A5.1 E70XX SERIES WITH PROPER ROD TO PRODUCE OPTIMUM WELD (LOW HYDROGEN).
5. METAL FLOOR DECK SHALL BE AS INDICATED ON THE DRAWINGS IN ACCORDANCE WITH THE LATEST EDITION OF "DESIGN MANUAL FOR FLOOR AND ROOF DECKS" BY THE STEEL DECK INSTITUTE. METAL FLOOR DECK SHALL BE FORMED OF STEEL SHEETS CONFORMING TO ASTM A611. METAL FLOOR DECK SHALL BE PAINTED.
6. SEE NOTES ON SKS-2 FOR DECK FASTENING INFORMATION.

CONCRETE NOTES

1. CONCRETE WORK SHALL CONFORM TO THE LATEST EDITIONS OF "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)," AND "SPECIFICATIONS FOR STRUCTURAL CONCRETE (ACI 301)." THESE PUBLICATIONS ARE AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3800.
2. GENERAL CONTRACTOR, CONSTRUCTION MANAGER AND/OR OWNER'S CLERK OF THE WORK SHALL HAVE AVAILABLE ON SITE AT ALL TIMES A COPY OF ACI "FIELD REFERENCE MANUAL SP-15(85)". THIS PUBLICATION IS AVAILABLE THROUGH THE AMERICAN CONCRETE INSTITUTE (248) 848-3800.
3. CONCRETE MIX DESIGN:
INTERIOR SLABS ON GRADE & ELEVATED SLABS:
 - A. STRENGTH: 3000 PSI @28 DAYS
 - B. AGGREGATE: 1" MAX
 - C. W/C RATIO: 0.55 MAX
 - D. ENTRAPPED AIR: 3% MAX, 1% MIN (NO ENTRAINED AIR)
 - E. SLUMP: 4" MAX
 A. ADDITIONAL SLUMP MAY BE ACHIEVED BY THE ADDITION OF A MIDRANGE OR HIGH RANGE WATER REDUCING ADMIXTURE. MAXIMUM SLUMP AFTER ADDITION OF ADMIXTURE SHALL BE 8 INCHES.
4. REINFORCING BARS SHALL CONFORM TO ASTM A615 GRADE 60 DEFORMED BARS AND SHALL BE DETAILED, FABRICATED, AND PLACED IN ACCORDANCE WITH ACI 315, LATEST EDITION.
5. PLACE REINFORCEMENT IN TOP THIRD OF SLAB. OVERLAP ALL REINFORCEMENT SPLICES BY 1'-6" MIN.
6. WELDING OF REINFORCEMENT IS NOT PERMITTED.



BECKER

structural engineers, inc.

75 York Street
Portland, ME 04101-4701
info@beckerstructural.com

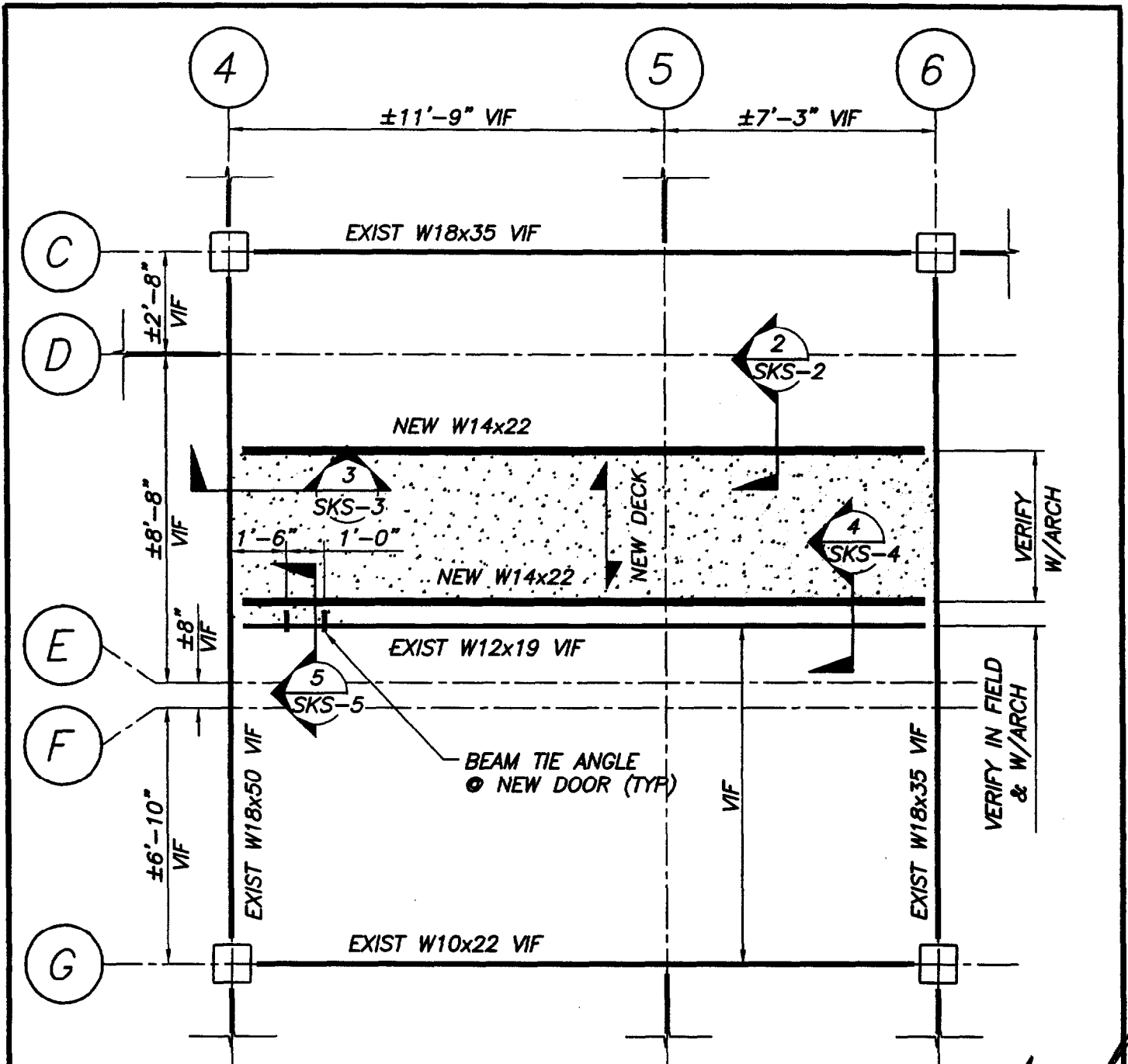
Tel 207-879-1838
Fax 207-879-1822
www.beckerstructural.com

Designed	TPG
Drawn	TPG
Checked	PBB
Scale	NOTED
Date	12/30/03

NORWAY BANK
INT. RENOVATIONS
PORTLAND, ME

Becker Job Number
1141

SKS-0

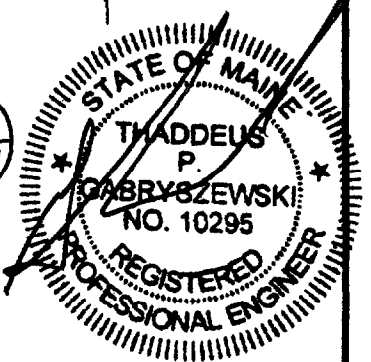


NEW ELEVATED WALKWAY PLAN

1/4" = 1'-0"

NOTE: VERIFY ALL DIMENSIONS IN FIELD
PRIOR TO COMMENCING WORK.

1
SKS-1



BECKER
structural engineers, inc.

75 York Street
Portland, ME 04101-4701
info@beckerstructural.com

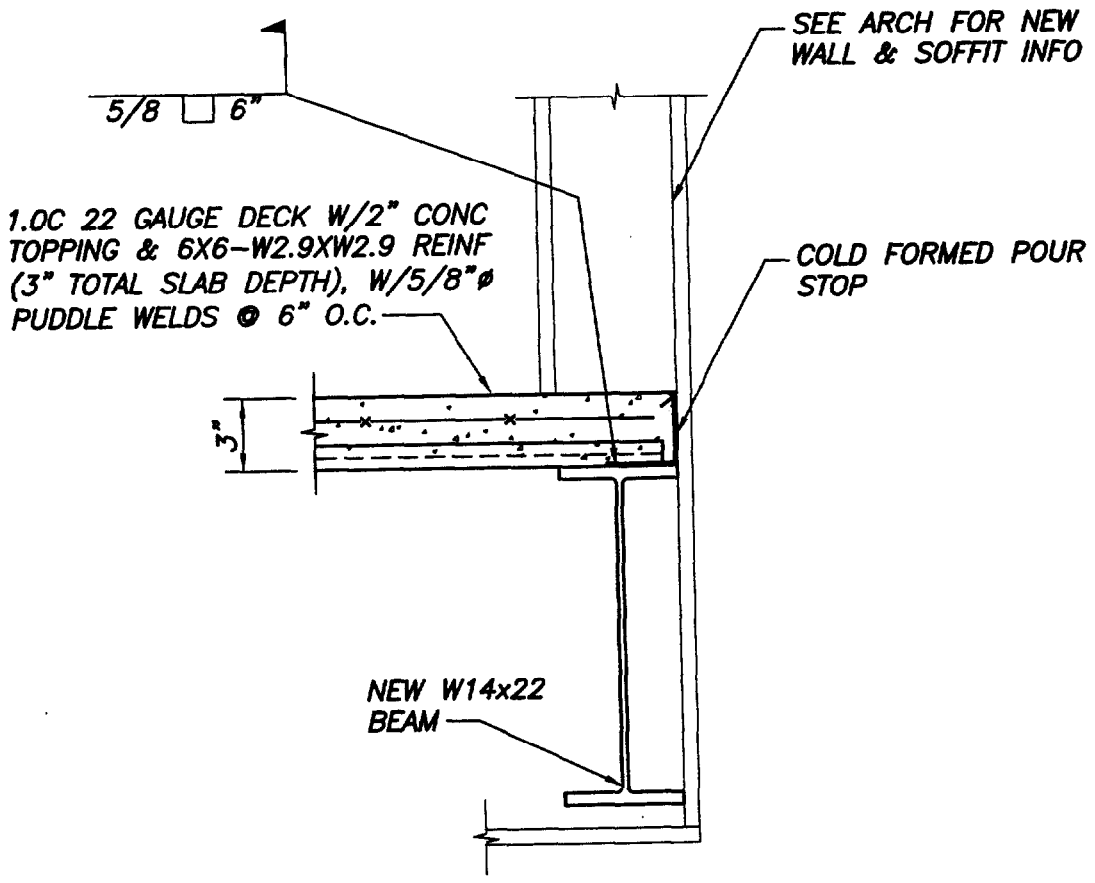
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Designed	TPG
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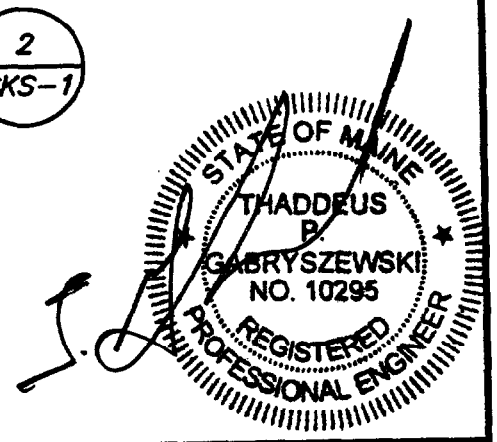
NORWAY BANK
INT. RENOVATIONS
PORTLAND, ME

Becker Job Number
1141

SKS-1



TYP SECTION @
 NEW BRIDGE BEAM 2
 1 1/2" = 1'-0" SKS-1



BECKER
 structural engineers, inc.

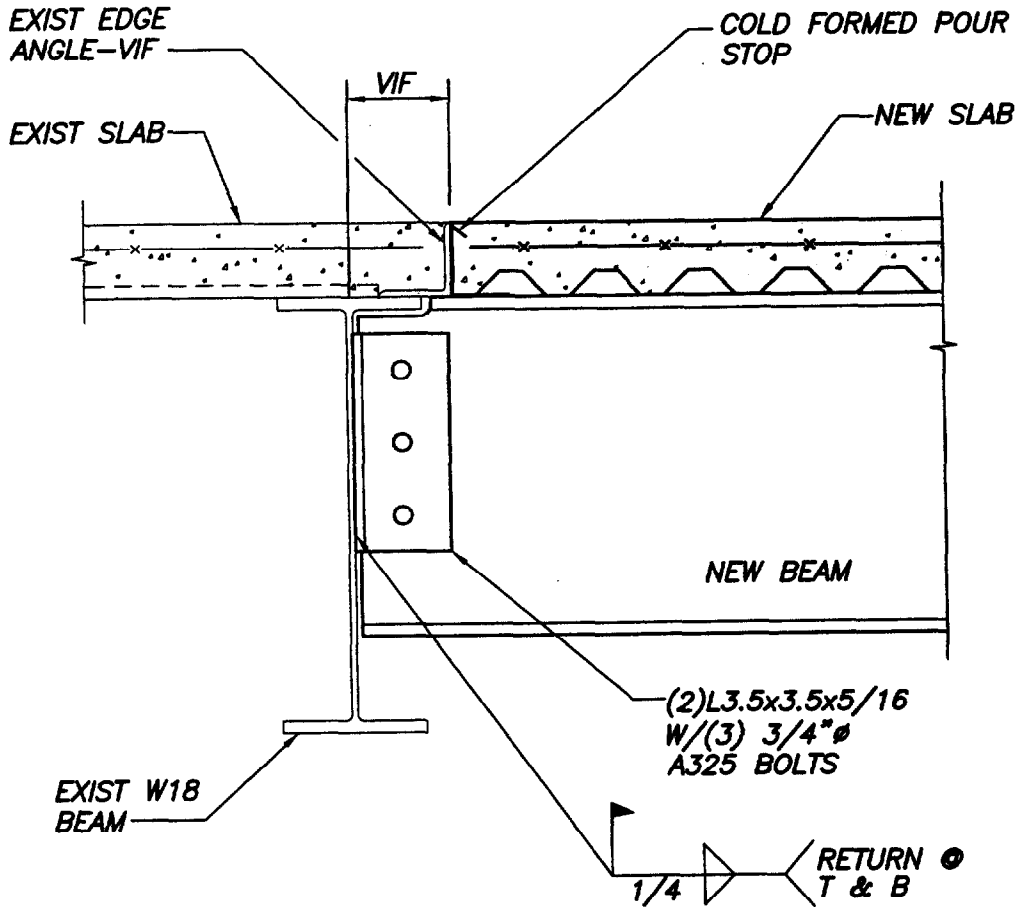
75 York Street
 Portland, ME 04101-4701
 info@beckerstructural.com

Tel 207-879-1838
 Fax 207-879-1822
 www.beckerstructural.com

Designed	TPG
Drawn	TPG
Checked	PBB
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Date	12/30/03

NORWAY BANK
 INT. RENOVATIONS
 PORTLAND, ME

Becker Job Number	1141
	SKS-2

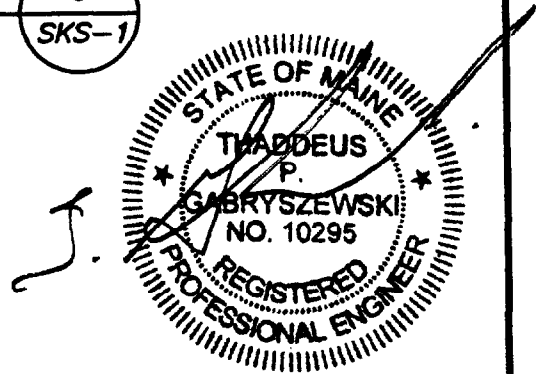


TYP CONN @ EXIST W18

1 1/2" = 1'-0"

3
SKS-1

NOTE: SEE SKS-2 FOR
SLAB & BEAM INFO



BECKER
structural engineers, inc.

75 York Street
Portland, ME 04101-4701
info@beckerstructural.com

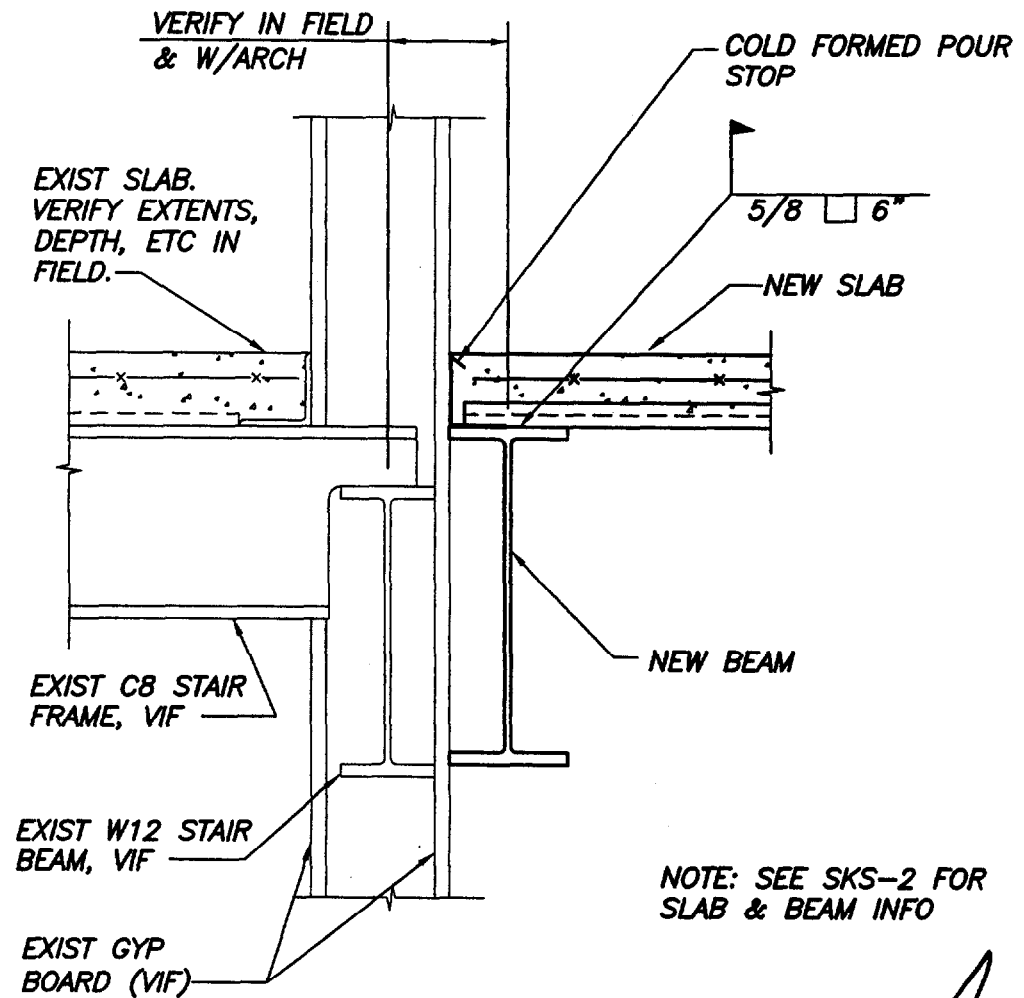
Tel 207-879-1838
Fax 207-879-1822
www.beckerstructural.com

Designed	TPG
Drawn	TPG
Checked	PBB
Scale	NOTED
Date	12/30/03

NORWAY BANK
INT. RENOVATIONS
PORTLAND, ME

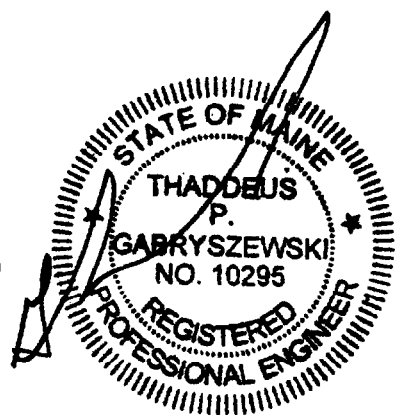
Becker Job Number
1141

SKS-3



TYP SECTION ADJ
TO EXIST STAIR
1 1/2" = 1'-0"

4
SKS-1



BECKER
structural engineers, inc.

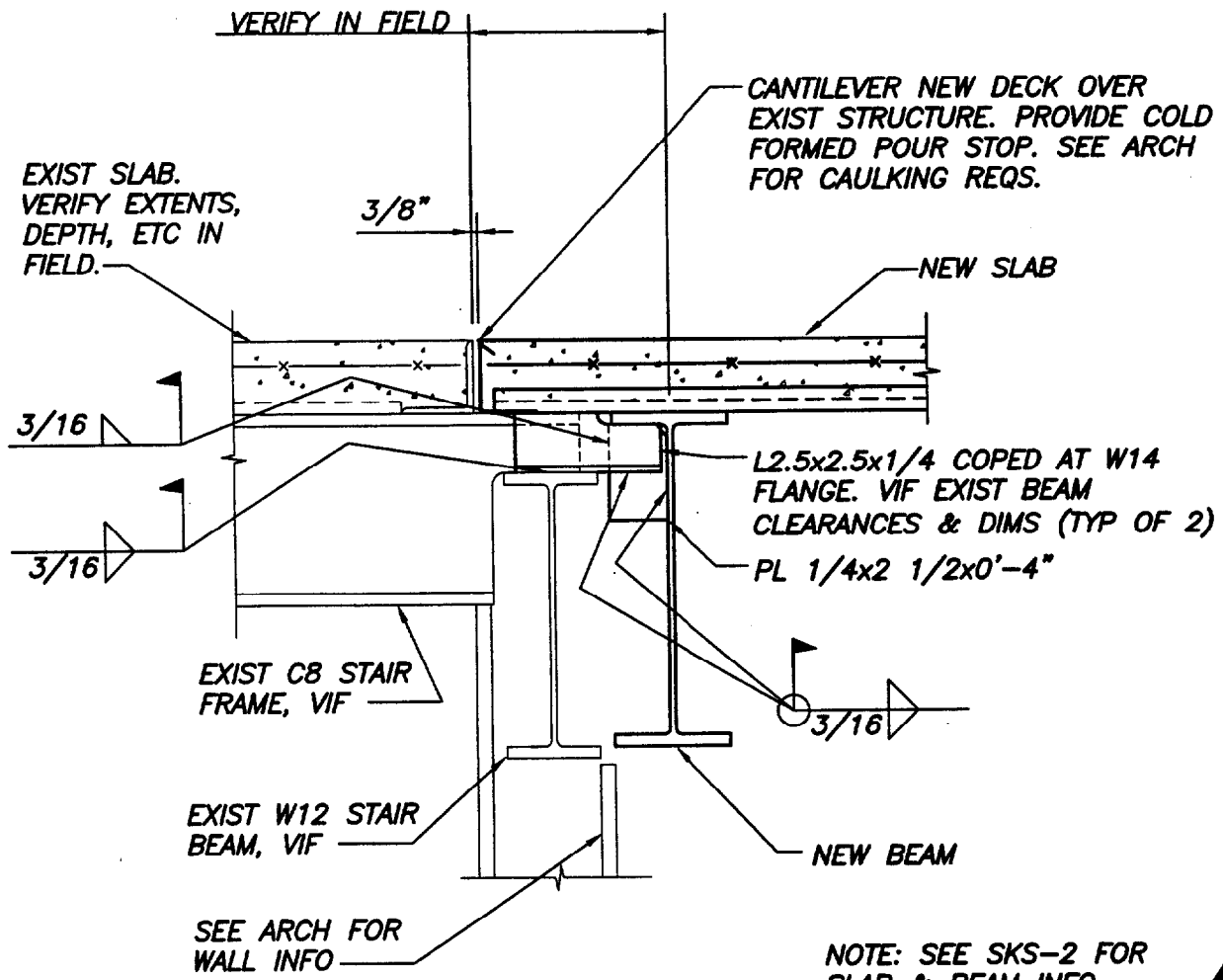
75 York Street
Portland, ME 04101-4701
info@beckerstructural.com

Tel 207-879-1838
Fax 207-879-1822
www.beckerstructural.com

Designed	TPG
Drawn	TPG
Checked	PBB
Scale	NOTED
Date	12/30/03

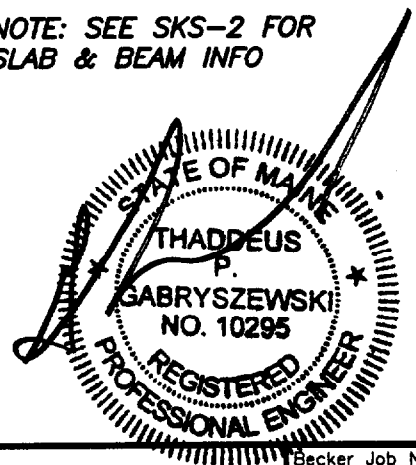
NORWAY BANK
INT. RENOVATIONS
PORTLAND, ME

Becker Job Number 1141
SKS-4



SECTION AT NEW DOOR OPENING
 $1 \frac{1}{2}'' = 1'-0''$

5
 SKS-1



BECKER
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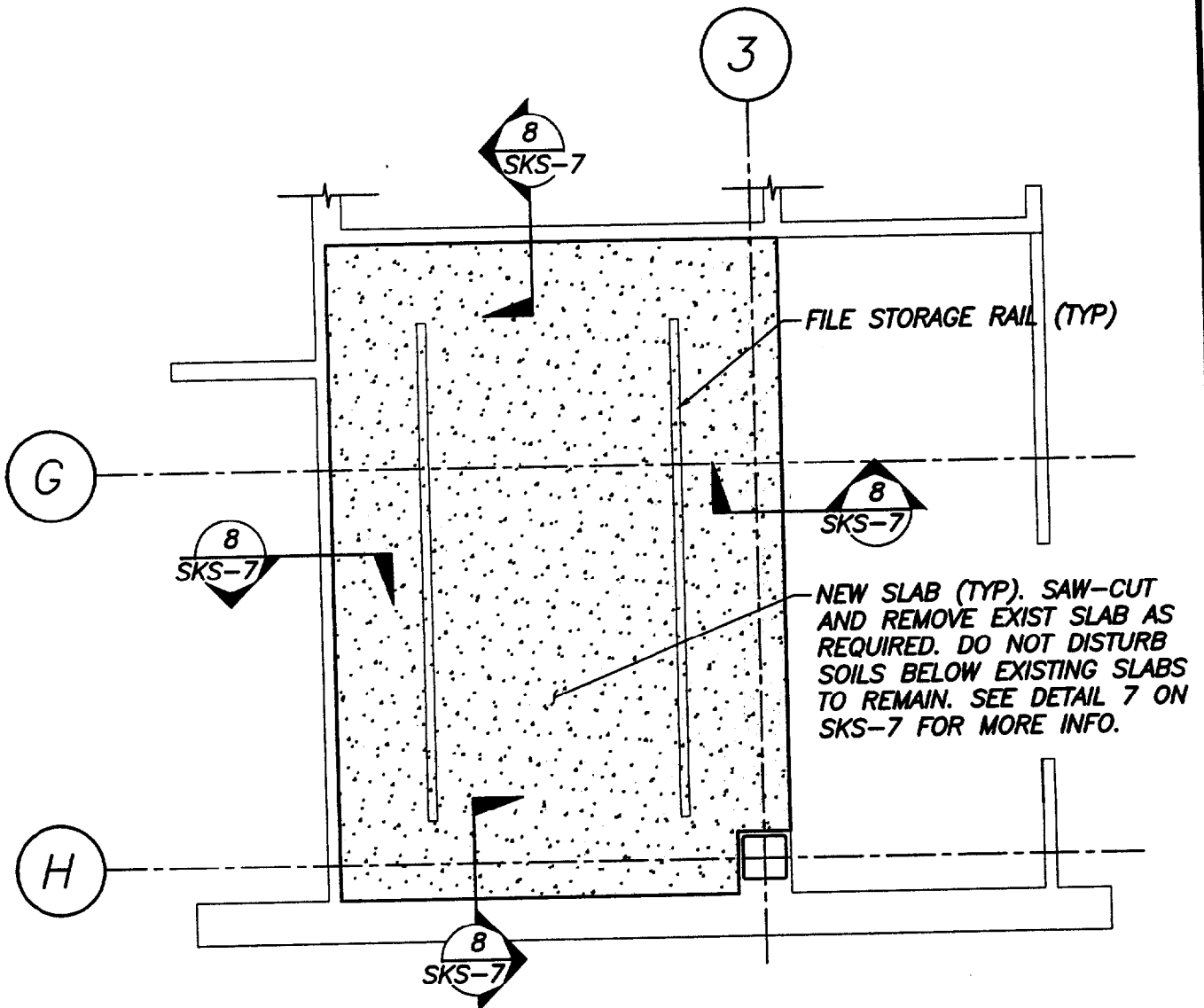
Tel 207-879-1838
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Designed	TPG
Drawn	TPG
Checked	PBB
Scale	NOTED
Date	12/30/03

NORWAY BANK
 INT. RENOVATIONS
 PORTLAND, ME

Becker Job Number
 1141

SKS-5



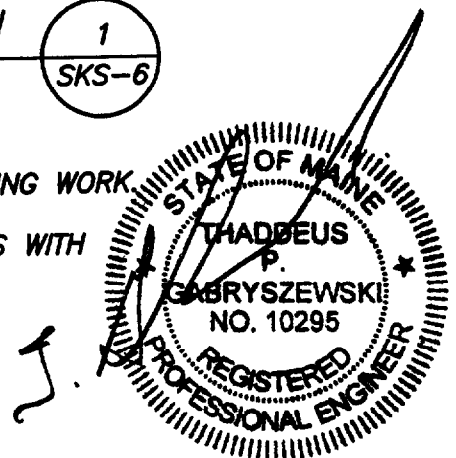
ROOM 134 NEW SLAB PLAN

1/4" = 1'-0"

1
SKS-6

NOTES:

1. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO COMMENCING WORK.
2. VERIFY FILE STORAGE UNIT PLACEMENT WITH ARCH.
3. VERIFY FILE STORAGE UNIT ANCHORAGE REQUIREMENTS WITH MANUFACTURER & ARCH.



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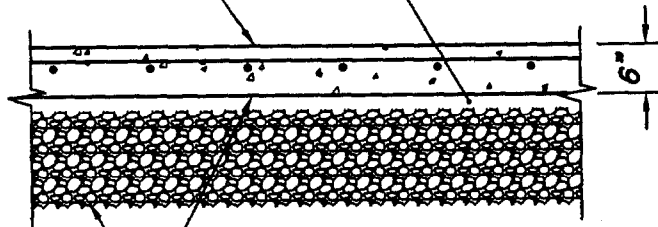
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SKS-6

1" MIN LAYER OF CLEAN FINE
GRADED MATERIAL CORRESPONDING
TO REQUIREMENTS OF ACI 302.1R
SECTION 4.1.4.

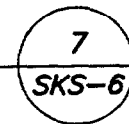
CONC SLAB ON GRADE
REINF W/ #3 @ 12" O.C.
E.W. WITHIN TOP THIRD
OF SLAB



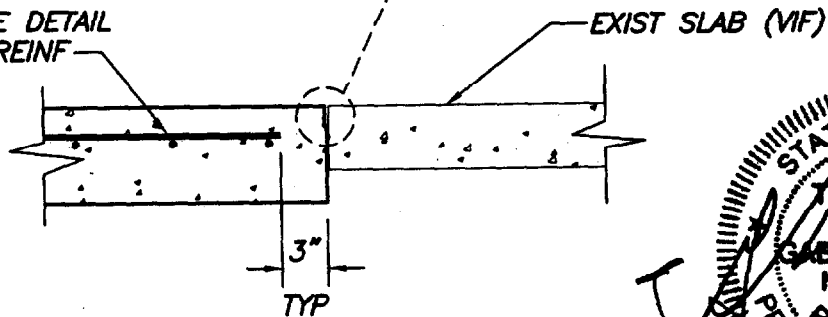
NEW VAPOR BARRIER
COMPACTED EXISTING SUB-BASE OR
COMPACTED WELL-GRADED STRUCTURAL FILL
(6" MIN). DO NOT DISTURB SOILS BELOW
EXISTING SLABS TO REMAIN IN PLACE.

TYP SLAB DETAIL

N.T.S.

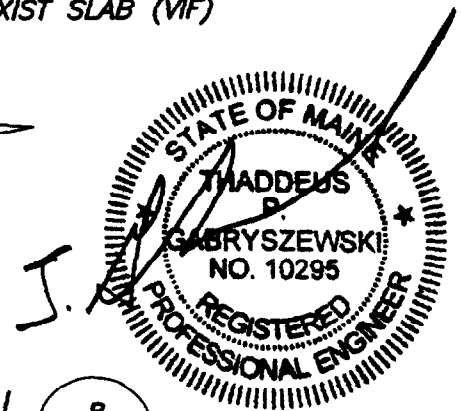


JOINT SEALANT
BACKER ROD
PRE-MOLDED JOINT FILLER
PROVIDE (2) 30# CONST PAPER
BOND BREAK @ EXIST SLAB
SEE ABOVE DETAIL
FOR TYP REINF



TYP SLAB ON GRADE
CONSTRUCTION JOINT DETAIL

N.T.S.



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