

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 100875

Please Read
Application And
Notes, If Any,
Attached

This is to certify that BOYINGTON AMY M /Coast construction
has permission to amend permit#100752 to change foundation to footing
AT 84 CALEB ST CE 188-C045001

PERMIT ISSUED

JUL 26 2010

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

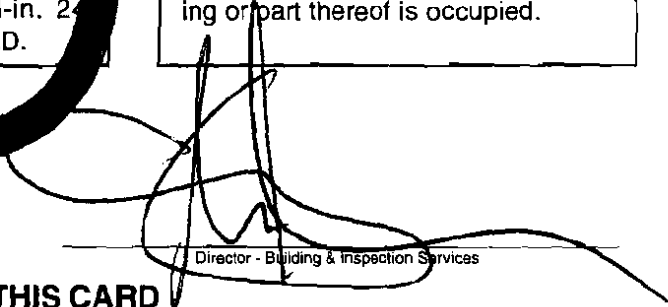
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name



Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0875	Issue Date:	CBL: 188 C045001
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Location of Construction: 84 CALEB ST	Owner Name: BOYINGTON AMY M	Owner Address: 84 CALEB ST	Phone:
Business Name:	Contractor Name: Coastal Construction	Contractor Address: 4 King St Portland	Phone: 2078786511
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone:

Past Use: Single family Home	Proposed Use: Single Family Home - amend permit#100752 to change foundation to footings	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>TRC 2003</i>	

Proposed Project Description: amend permit#100752 to change foundation to footings	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 07/23/2010	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<p>PERMIT ISSUED</p> <p>JUL 26 2010</p> <p>City of Portland</p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **All inspections issued under permit number 10-0752 are remain applicable under this permit.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

JUL 26 2010

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0875	Date Applied For: 07/23/2010	CBL: 188 C045001
-----------------------	---------------------------------	---------------------

Location of Construction: 84 CALEB ST	Owner Name: BOYINGTON AMY M	Owner Address: 84 CALEB ST	Phone:
Business Name:	Contractor Name: Coastal Construction	Contractor Address: 4 King St Portland	Phone: (207) 878-6511
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home - amend permit#100752 to change foundation to footings	Proposed Project Description: amcnd permit#100752 to ehange foundation to footings
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 07/27/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) All conditions issued under permit number 10-0752 are remain applicable under this permit.			
Dept: Building	Status: Approved with Conditions	Reviewer:	Approval Date:
Note:			Ok to Issue:
1) All conditions issued under permit number 10-0752 are remain applicable under this permit.			

PERMIT ISSUED

JUL 26 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>84 CALEB ST. PORTLAND ME. 0402</u>		
Total Square Footage of Proposed Structure/Area <u>115 sq. ft.</u>	Square Footage of Lot <u>6,500 sq. ft.</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>188 C 045</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Michael Clifford / Coastal Const.</u> Address <u>25 Old Blue Point Rd.</u> City, State & Zip <u>Scarborough ME. 04074</u>	Telephone: <u>207-518-9053</u> <u>917-536-6034</u> <u>207-671-2005</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>ANNE E HARCADIE</u> Address <u>84 CALEB ST.</u> City, State & Zip <u>Portland, ME 0402</u>	Cost Of Work: \$ <u>25,000⁰⁰</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Mud Room / BATH ROOM / DECK</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>REMOVE FOUNDATION AND REPLACE WITH 12" BIGFOOT TUBES AND DBL. LVE RIM JOINTS, Amend # 100752 6x6 POSTS</u>		
Contractor's name: <u>Michael Clifford / Coastal Construction</u> Address: <u>25 Old Blue Point Rd.</u> City, State & Zip <u>SCARBOROUGH ME 04074</u> Telephone: <u>207-671-2005</u> Who should we contact when the permit is ready: <u>Contractor</u> Telephone: <u>207-671-2005</u> Mailing address: <u>SAME AS ABOVE</u>		

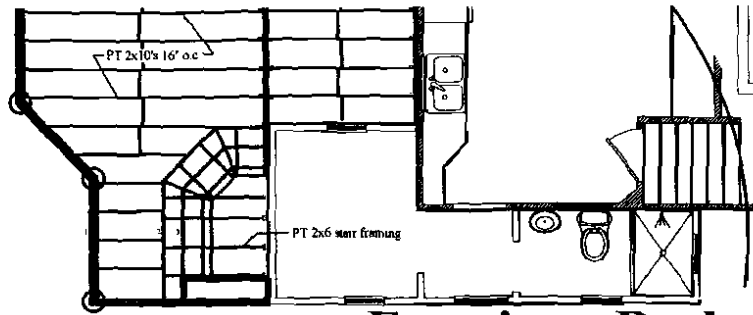
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

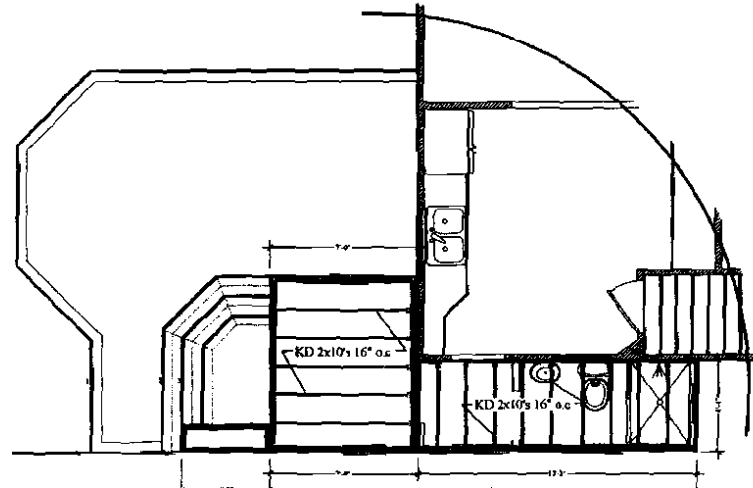
Signature: [Signature] Date: 7/23/10

This is not a permit; you may not commence ANY work until the permit is issued



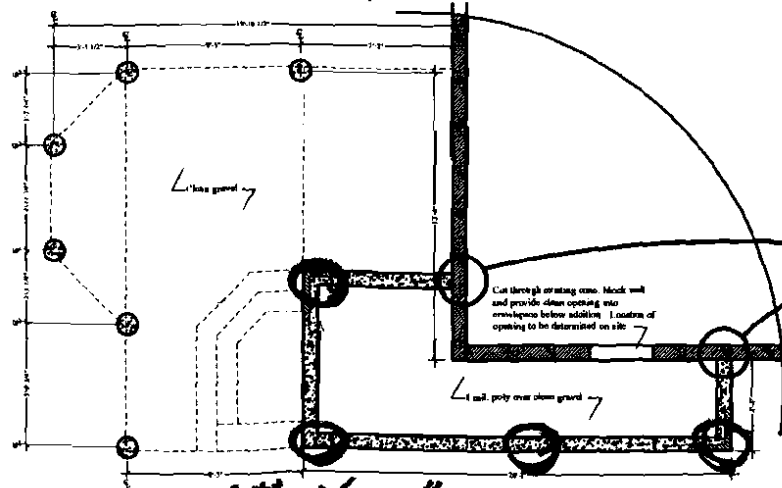
Framing - Deck

SCALE 1/4" = 1'-0"



Framing - Floor

SCALE 1/4" = 1'-0"



4' 12" TUBES



Framing

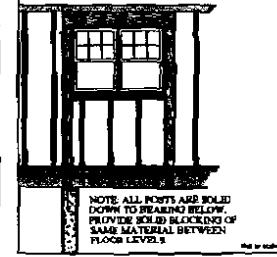
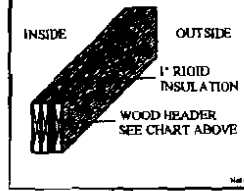
SCALE 1/4" = 1'-0"

HEADER SCHEDULE

H-26	(3) 2x8's
H-28	(3) 2x8's
H-210	(3) 2x10's
H-212	(3) 2x12's
H-26L	(3) 1"x3'-1" LVL's - SOLID
H-28L	(3) 1"x7'-0" LVL's - SOLID
H-210L	(3) 1"x9'-0" LVL's - SOLID
H-212L	(3) 1"x11'-0" LVL's - SOLID

POST SCHEDULE

P-44L	3"x3'-1" LVL COLUMN
P-46L	3"x5'-0" LVL COLUMN
P-66L	5'-0"x5'-0" LVL COLUMN
P-88L	7'-0"x7'-0" LVL COLUMN
P-26	(2) 2x6 COLUMN
P3-26	(3) 2x6 COLUMN



ROOF CONSTRUCTION

CONTINUOUS RIDGE VENT (on expo RIDGE BEAM (PER STRUCTURALS) MATCH EXIST. ROOF SHINGLES (25' CONTINUOUS ICE & WATER SHIELD 5/8" SHEATHING WITH OVERLAPPING ROOF FRAMING (PER STRUCTURAL: 2x6 COLLAR TIE EACH BAY BATT INSULATION (R-38 Min.) PROPER VENT EACH BAY LEADING 1X3 STRAPPING 16" O.C. 1/2" DRYWALL CEILING - MATCH EX

EXTERIOR WALL CON:

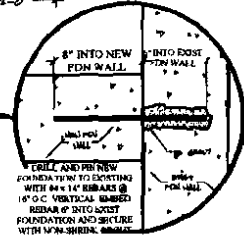
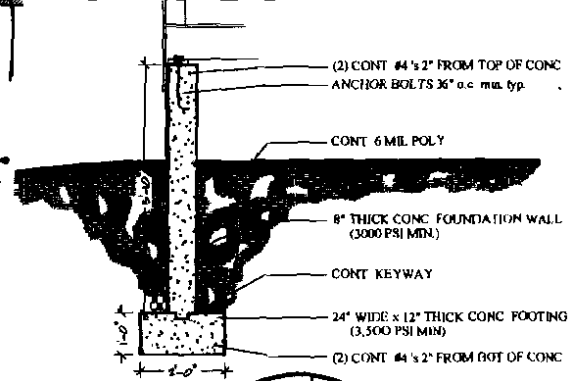
1/2" DRYWALL SEE DETAIL FOR EXTERIOR HEADER DOUBLE SILL PLATES ON ALL WINE SPRAYED OPEN CELL INSULATION (KD 2x4-16" O.C WITH DOUBLE TOP 1/2" ADVANTEC PLYWOOD WITH OS MATCH EXISTING SIDING AND EXTI

FLOOR CONSTRUCTION

CONT 2x6 PT SILL PLATE ON SILL S JOISTS AS PER STRUCTURALS 3/4" T&G ADVANTEC SCREWED & G TIE UNDERLAYMENT PER MANUF/ RECOMMENDATIONS SPRAYED CLOSED CELL INSULATIO

DECK CONSTRUCTION

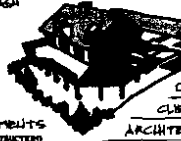
LEDGER BOLTED TO HOUSE FRAME 1 AG BOL TS STAGGERED (IN EA ALL FRAMING LUMBER IS PRESSURE USE PROPER STEEL SPECS FOR PRES ALL POSTS ATTACHED TO CONC. W ALL JOIST / LEDGER CONNECTIONS TREX OR SIMILAR DECKING - VERIFY WRAP DECKING ALONG FACE OF ST REFER TO FOUNDATION PLAN FOR I



Foundation

SCALE 1/4" = 1'-0"

- PRELIMINARY DESIGN (FOR CLIENT REVIEW)
- DEVELOPMENT (FOR CLIENT REVIEW AND CONF. WITH ARCHITECT)
- CONTRACT DOCUMENTS (FOR PERMIT, BIDDING AND CONTRACTING)



Permit #
166752
CBL
G0415-001



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>84 Caleb Street, Portland ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>1,389 sq ft (includes existing)</u>	Square Footage of Lot <u>6,500 sq ft.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>188-C-45</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Ann E. Hardcastle</u> Address <u>84 Caleb St.</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207-518-9053</u> or <u>417-536-6034</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>25,000</u> C of O Fee: \$ Total Fee: \$ <u>270</u>
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? Proposed Specific use: <u>same</u> Is property part of a subdivision? <u>no</u> If yes, please name Project description: <u>murderoom and bathroom addition with deck.</u>		
<div style="text-align: right;"> PERMIT ISSUED RECEIVED JUN 28 2010 JUN 28 2010 Dept. of Building Inspections City of Portland, Maine </div>		
Contractor's name: <u>TBD</u>		
Address:		
City, State & Zip		
Telephone:		
Who should we contact when the permit is ready: <u>Ann Hardcastle</u> Telephone: <u>207-518-9053</u>		
Mailing address: <u>254 Spring St. #1, Portland ME 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6.28.10

This is not a permit; you may not commence ANY work until the permit is issue

Applicant: Anne Hardcastle

Date: 6/30/10

Address: 84 Caleb St.

C-B-L: 188-C-45
permit # 10-0752

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1916

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work -

Sevage Disposal - city

Lot Street Frontage - N/A

Front Yard - 25' min - beyond 25' setback OK - as shown on plot plan

Rear Yard - 25' min - well beyond 25' rear setback - as shown on plot plan

Side Yard - 1 1/2 stories 8' min - single story addition is 11.5' so needs 8' side setback
2 stories 11' min more than 8' shown on plot plan

Projections -

Width of Lot -

Height - 35' max. - 13' to ridge for addition OK

Lot Area - 6,700 sq ft - 6,700 sq ft given

Lot Coverage Impervious Surface - 35% = 2,275 sq ft given 1385 sq ft OK

Area per Family - 6,700 sq ft

Off-street Parking - existing.

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - part 13 - zone C

* Was existing small outcrop of deck - ~~at~~ this point increases the median rim lot
keeps the same distance beyond 8' setback.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100752

Please Read
Application And
Notes, if Any,
Attached

This is to certify that Anne Hardcastle & George Royle/TBD

has permission to additon of mudroom, bathroom & deck

CBL 188 C045001

AT 84 CALEB ST

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Handwritten Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0752	Issue Date:	CBL: 188 C045001
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Location of Construction: 84 CALEB ST	Owner Name: Anne Hardcastle & George Royle	Owner Address: 84 Caleb Street	Phone: 207-578-9053
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - additon of mudroom, bathroom & deck	Permit Fee: \$270.00	Cost of Work: \$25,000.00	CEO District: 3
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Proposed Project Description:
 additon of mudroom, bathroom & deck
 mudroom: bathroom - 115 #
 deck 253 #

FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>NA</i>	INSPECTION: Use Group: R-3 Type: SB <i>TRC 2003</i>
Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 06/29/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	OK w/conditions Date: 7/1/10 <i>Asa</i>	Date:	Date:

PERMIT ISSUED

JUL - 7 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0752	Date Applied For: 06/29/2010	CBL: 188 C045001
-----------------------	---------------------------------	---------------------

Location of Construction: 84 CALEB ST	Owner Name: Anne Hardcastle & George Royle	Owner Address: 84 Caleb Street	Phone: 207-578-9053
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - additon of mudroom & bathroom (115 sf) & deck (253 sf)	Proposed Project Description: additon of mudroom & bathroom (115 sf) & deck (253 sf)
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/01/2010

Note: **Ok to Issue:** ✓

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/07/2010

Note: **Ok to Issue:** ✓

- 1) The stairs must be built to the specifications on the enclosed diagram.
- 2) The glass wall enclosure of the shower/tub enclosure must be tempered glass.
- 3) The window in the tub enclosure must be tempered glass if it is less than 60" above the floor.
- 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

6/30/2010-amachado: Spoke to Anne Hardcastle. Will get plot plan to me today.

6/30/2010-amachado: Received plot plan.

PERMIT ISSUED

JUL - 7 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

 X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

JUL - 7 2010

City of Portland

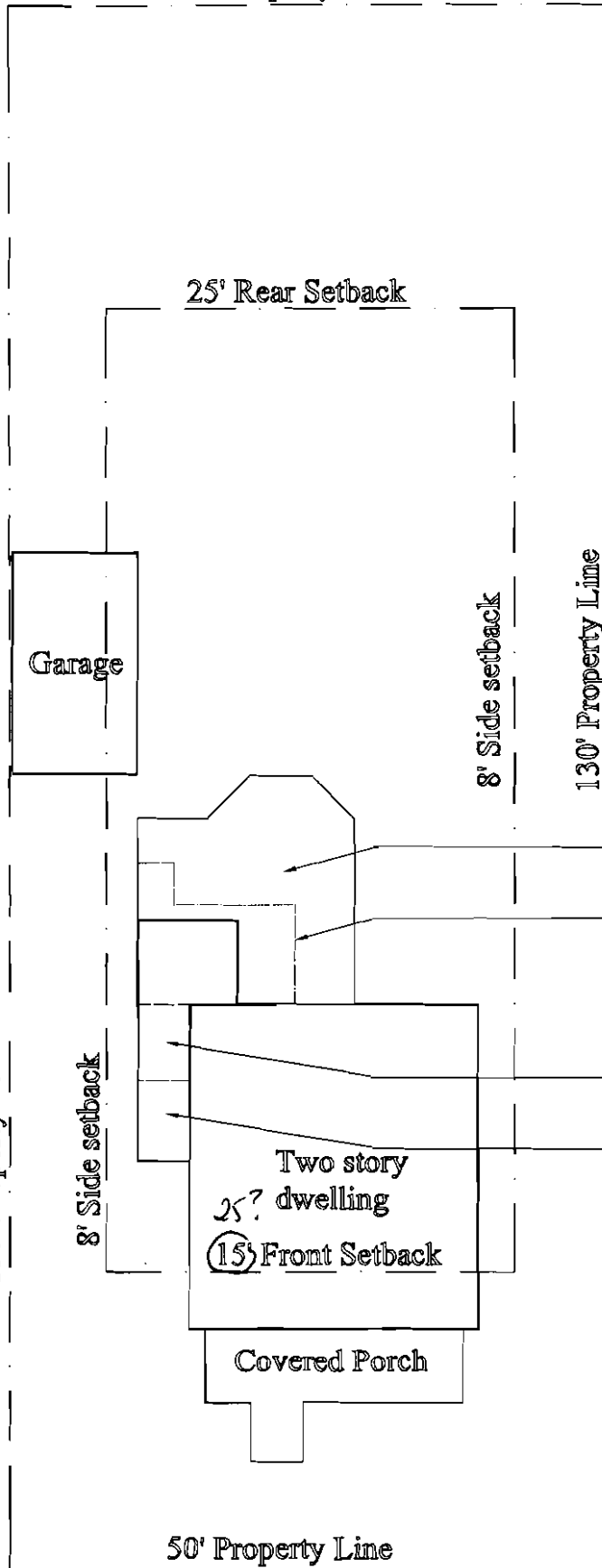
50' Property Line

25' Rear Setback

RECEIVED

JUN 30 2010

Dept. of Building Inspections
City of Portland Maine



New deck

Existing deck

Existing single story mudroom

New single story addition

Two story dwelling

15' Front Setback

Covered Porch

Garage

8' Side setback

130' Property Line

130' Property Line

8' Side setback

50' Property Line

Note; This assumes a side setback of 8' required for a single story addition

Apparent R.O.W.

Caleb Street

This sketch was provided from limited field dimensions and is not a boundary survey. Not to scale.

WARRANTY DEED
Joint Tenancy
Maine Statutory Short Form

KNOW ALL PERSONS BY THESE PRESENTS, That

Amy M. Boyington

of 84 Caleb Street, Portland, ME 04102

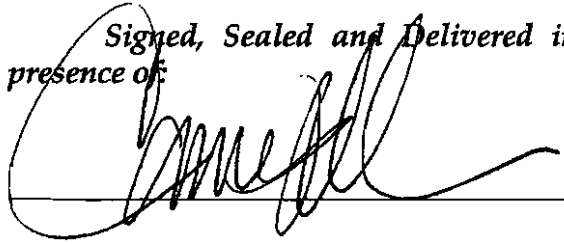
for consideration paid, grant to **George Royle and Anne Hardcastle**

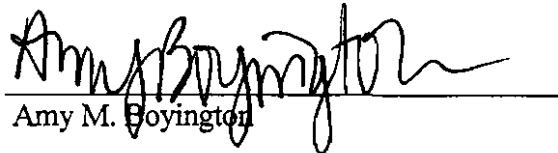
of 254 Spring Street #1, Portland, ME 04102

with **warranty covenants**, as joint tenants the land in Portland , County of Cumberland, and State of Maine, described on the attached **EXHIBIT A**.

WITNESS our/my hand(s) and seal(s) this 10th day of June, 2010.

*Signed, Sealed and Delivered in
presence of:*





Amy M. Boyington

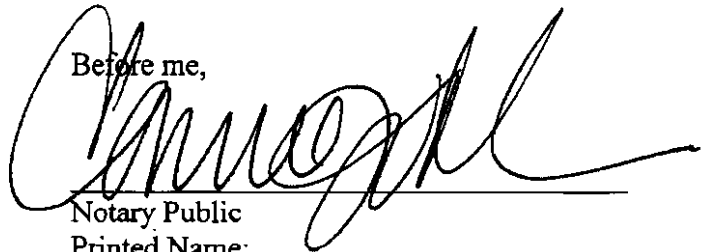
STATE OF MAINE

June 10, 2010

COUNTY OF Cumberland

Then personally appeared the above named Amy M. Boyington and acknowledged the foregoing instrument to be her free act and deed.

Before me,

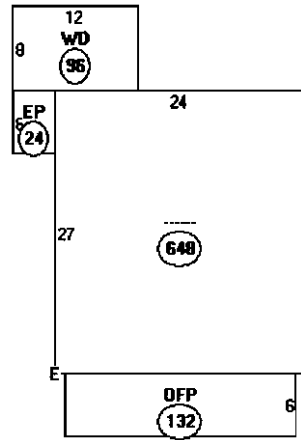


Notary Public

Printed Name: _____

My Commission Expires:

Connie Jo Minervino
Notary Public, Maine
My Commission Exp. 12/29/2014



Descriptor/Area

- A: ---
648 sqft
- B: EP
24 sqft
- C: WD
96 sqft
- D: DFP
132 sqft
- E: RG1
180 sqft



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

7.23 20 10

Received from

Coastal Const.

Location of Work

87 Caleb.

Cost of Construction

\$

Building Fee:

Permit Fee

\$

Site Fee:

Certificate of Occupancy Fee:

Total:

30

Building (IL)

Plumbing (IS)

Electrical (I2)

Site Plan (U2)

Other

CBL:

1286 45

Check #:

CC

Total Collected \$

30

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

J. J. J.

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

6-28 2010

Received from

George Royle

Location of Work

27 Caleb St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 270

Building (1L) _____ Plumbing (1S) _____ Electrical (12) _____ Site Plan (U2) _____

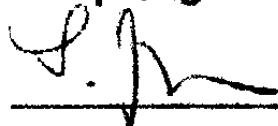
Other: _____

CBL: 188-C-15

Check #: CC

Total Collected: 270

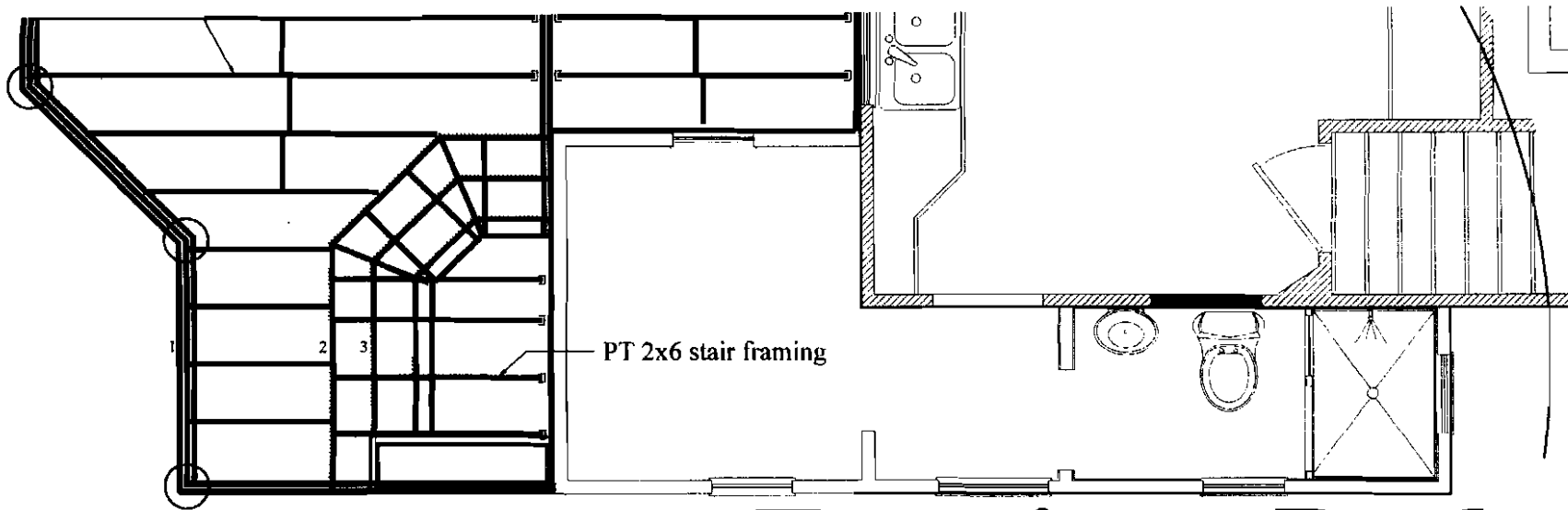
**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: 

WHITE - Applicant's Copy

YELLOW - Office Copy

PINK - Permit Copy

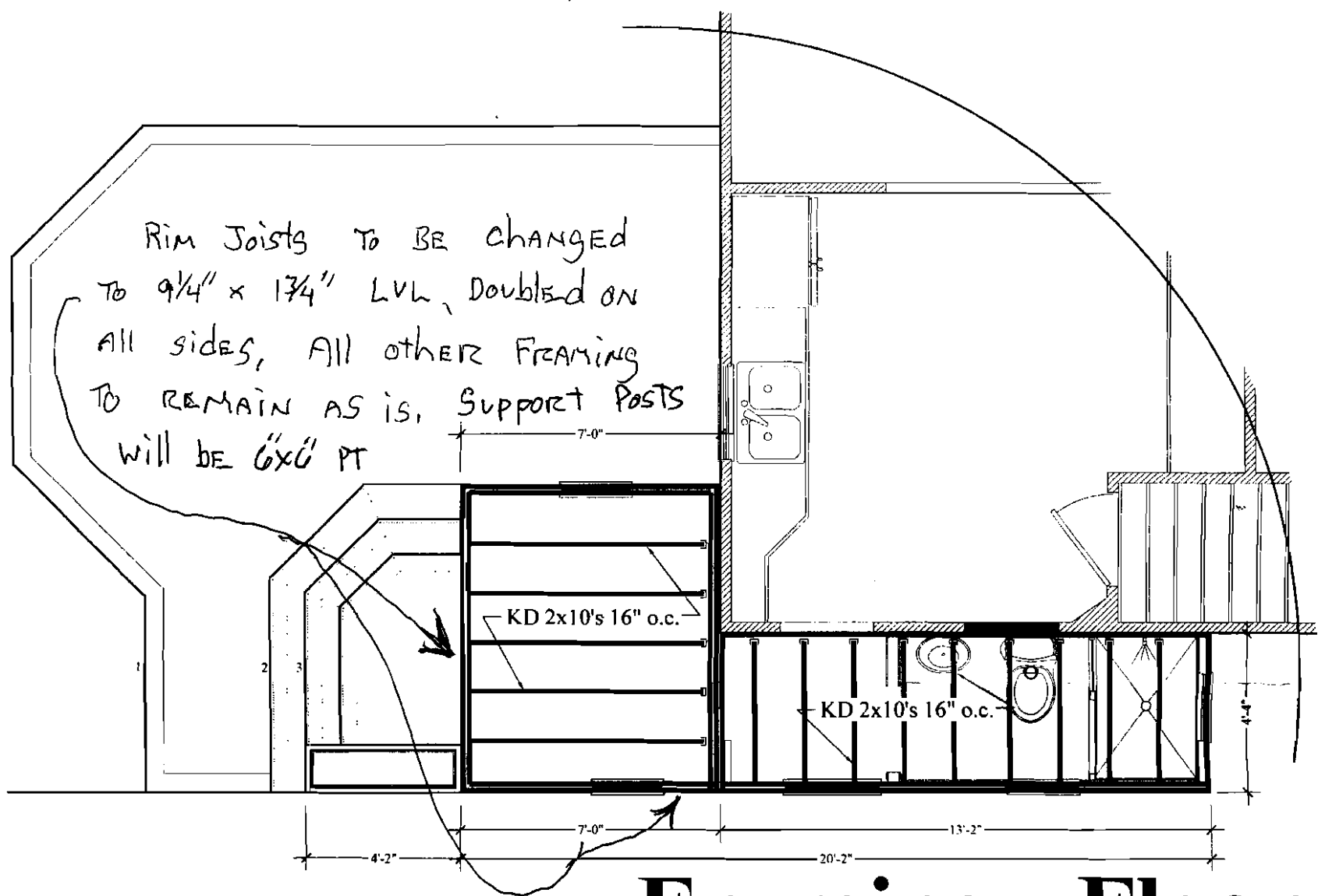


Framing - Deck

SCALE 1/4" = 1'-0"

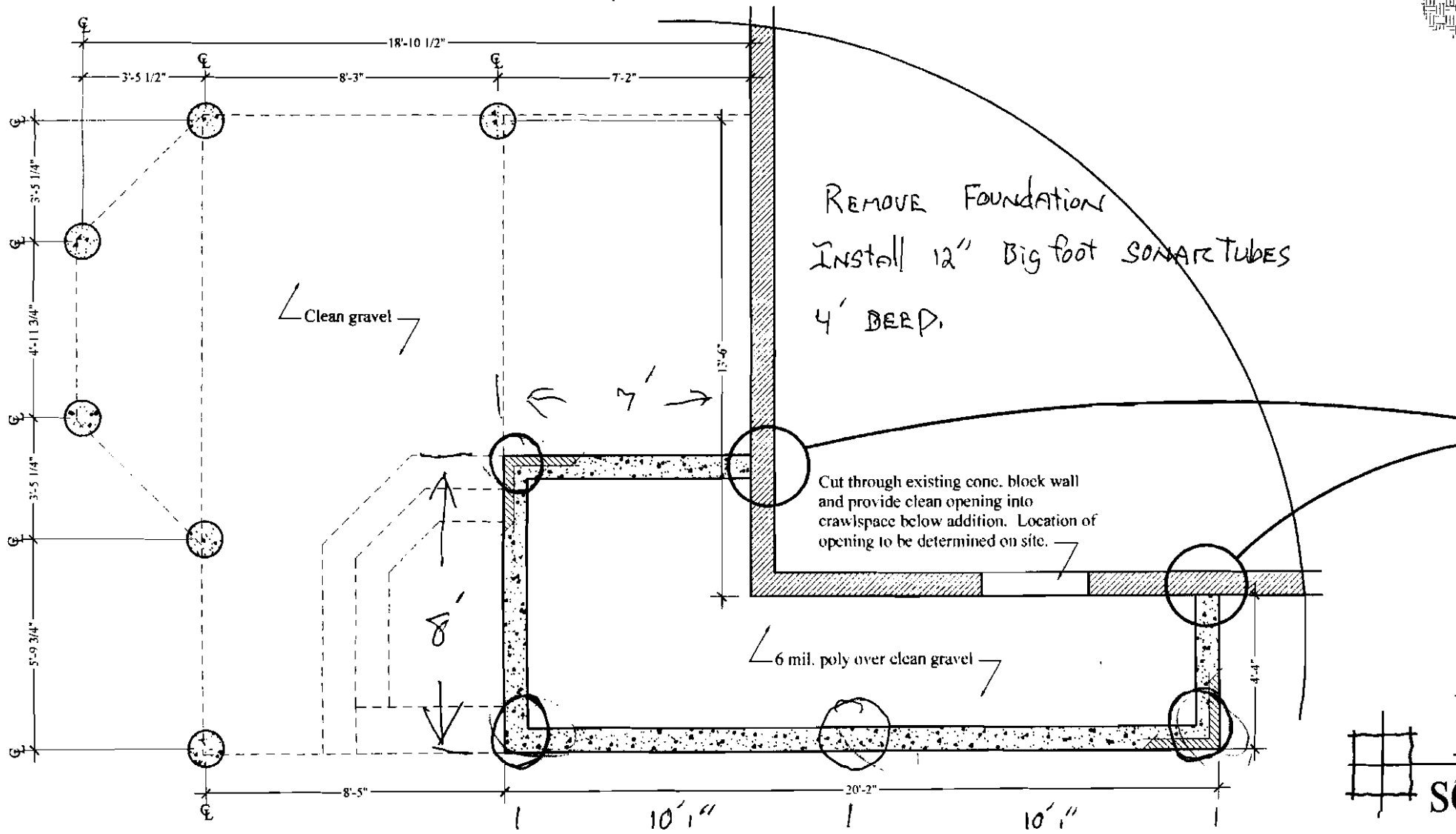
HE/
H-20
H-21
H-21
H-21
H-26
H-28
H-210
H-212

INSI



Framing - Floor

SCALE 1/4" = 1'-0"



SC

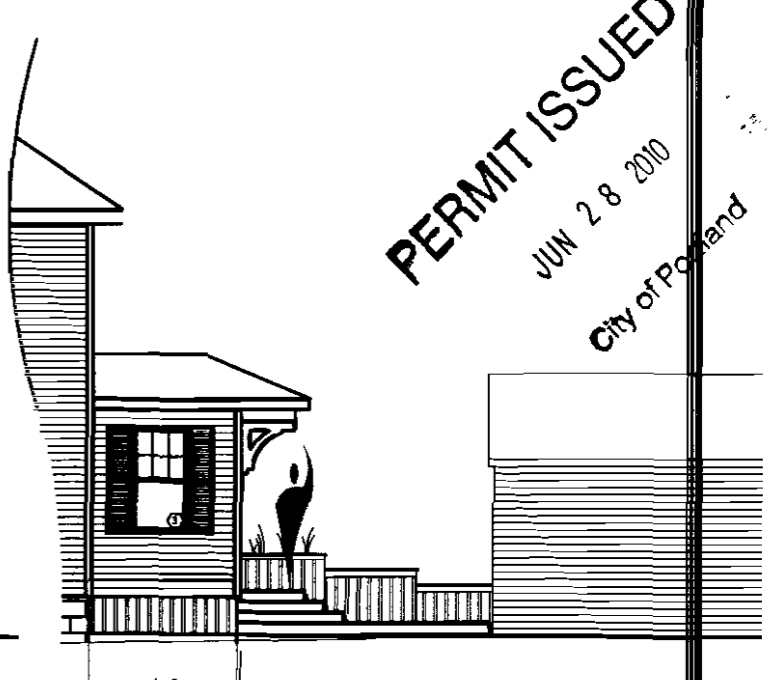
PERMIT ISSUED
 JUN 28 2010
 City of Portland



South Elevation
 SCALE 1/4" = 1'-0"

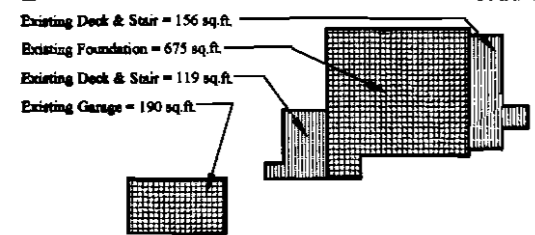


West Elevation
 SCALE 1/4" = 1'-0"

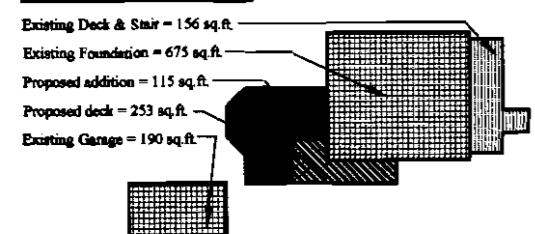


North Elevation
 SCALE 1/4" = 1'-0"

Existing Coverage

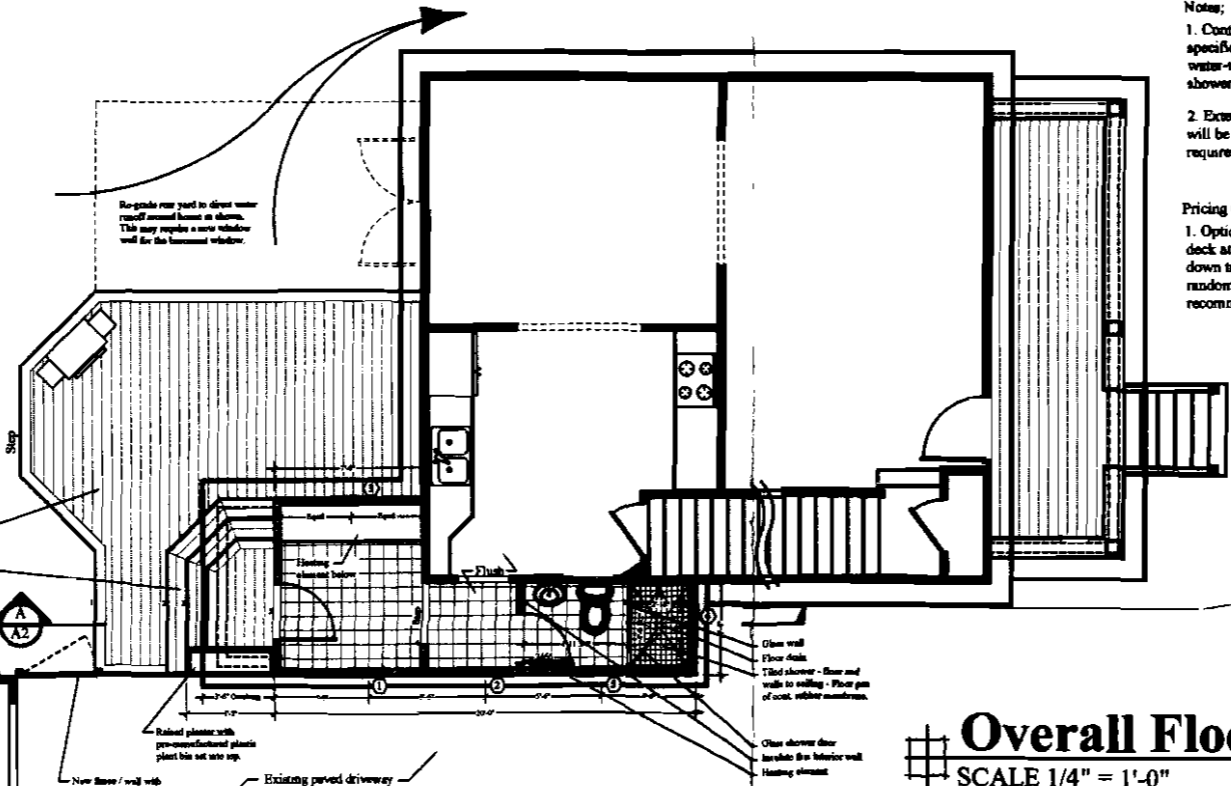


Proposed Coverage



Lot Coverage

Total Lot = 6,500 sq. ft.
 Allowable coverage = 2,275 sq. ft. (6,500 x 35%)
 Existing coverage = 1,140 sq. ft. (foundation, decks & stairs)
 Proposed coverage = 1,389 sq. ft. (existing foundation, addition, decks & stairs) (21.3% coverage)



Overall Floorplan
 SCALE 1/4" = 1'-0"



East Elevation
 SCALE 1/4" = 1'-0"

Notes:
 1. Contractor is responsible for the details and specifications of the shower to ensure it is water-tight. Contractor must warranty this shower against leaks for a minimum of 5 years.
 2. Exterior walls are constructed of 2x4's but will be properly insulated to meet energy requirements.

Pricing Options:
 1. Option for a patio at grade in place of the deck at grade. Maintain wooden steps leading down to patio. Provide optional price for random bluestone patio blocks on proper base as recommended by manufacturer.

STRUCTURAL POINT LOADS

	POST ABOVE
	POST BELOW

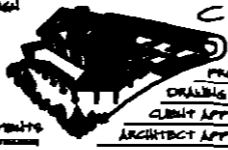
NOTE: POINT LOADS ARE ALL CENTERING BEAMS (S) UNLESS NOTED OTHERWISE
 NOTE: SPECIFY SPECIFICATIONS EXCEEDED ALL OTHERS' SYMBOLS

NOTE: SCALES SHOWN ON ALL DRAWINGS ARE APPLICABLE TO FULL-SIZE PRINTS (24x36) ONLY. OTHER PRINT SIZES ARE TO BE CONSIDERED "NOT TO SCALE"

- PLEASE DO NOT SCALE DRAWINGS - CONTACT ARCHITECT IF REQUIRED



- PRELIMINARY DESIGN (PER CLIENT SERVICE)
- DESIGN DEVELOPMENT (PER CLIENT SERVICE)
- CONTRACT DOCUMENTS (PER PERMITS, STATE AND JURISDICTIONS)

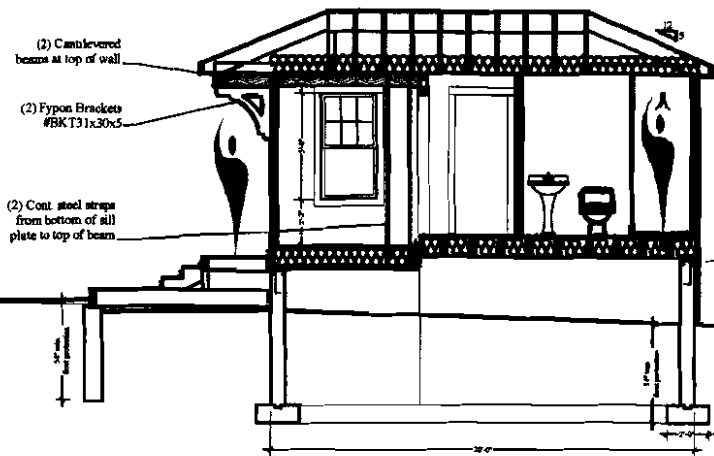
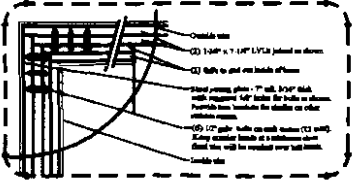


CUSTOM CONCEPTS, INC.
 200 D.S. ROUTE 1, SUITE 1A - SCARBOROUGH, MAINE 04074
 P: (603) 888-8888 F: (603) 888-8881 WWW.CUSTOMCONCEPTS.COM

PROJECT: ADDITION & RENOVATIONS TO THE ROYLE RESIDENCE
 DRAWING TITLE: FLOORPLANS & ELEVATIONS
 CLIENT APPROVAL: _____
 ARCHITECT APPROVAL: _____

JOB #: 2010-00
 SCALE: 1/4" = 1'-0" O.A.D.
 DATE: 1/26/10
 DRAWN BY: MCK





Framing - Roof
SCALE 1/4" = 1'-0"

Section A
SCALE 1/4" = 1'-0"

WINDOW SCHEDULE

Andersen 400 Series - Verify all specifications with owner

NO	ANDERSEN	TYPE	HEADER ELEV.	REMARKS
1	TW18210	DOUBLE HUNG	Align with existing	
2	TW26310	DOUBLE HUNG	Align with existing	
3	TW26210	DOUBLE HUNG	Align with existing	
4	AW21	AWNING	Align with existing	Wet location - Vinyl interior - Tempered glass - Framed
5	TW18210	DOUBLE HUNG	Align with existing	Tempered glass

ROOF CONSTRUCTION

- CONTINUOUS RIDGE VENT (on exposed ridge only)
- RIDGE BEAM (PER STRUCTURALS)
- MATCH EXIST ROOF SHINGLES (25 YR. Min.)
- CONTINUOUS ICE & WATER SHIELD ON WHOLE ROOF
- 5/8" SHEATHING WITH OVERLAPPING JOINTS
- ROOF FRAMING (PER STRUCTURALS)
- 2x6 COLLAR TIE EACH BAY
- BATT INSULATION (R-38 Min.)
- PROPER VENT EACH BAY LEADING TO RIDGE VENT
- 1X3 STRAPPING 16" O.C.
- 1/2" DRYWALL CEILING - MATCH EXISTING FINISH

EXTERIOR WALL CONSTRUCTION (TYP)

- 1/2" DRYWALL
- SEE DETAIL FOR EXTERIOR HEADER CONSTRUCTION
- DOUBLE SILL PLATES ON ALL WINDOW OPENINGS
- SPRAYED OPEN CELL INSULATION (R-21 Minimum)
- KD 2X4-16" O.C WITH DOUBLE TOP PLATE
- 1/2" ADVANTEC PLYWOOD WITH OVERLAPPING JOINTS
- MATCH EXISTING SIDING AND EXTERIOR TRIM

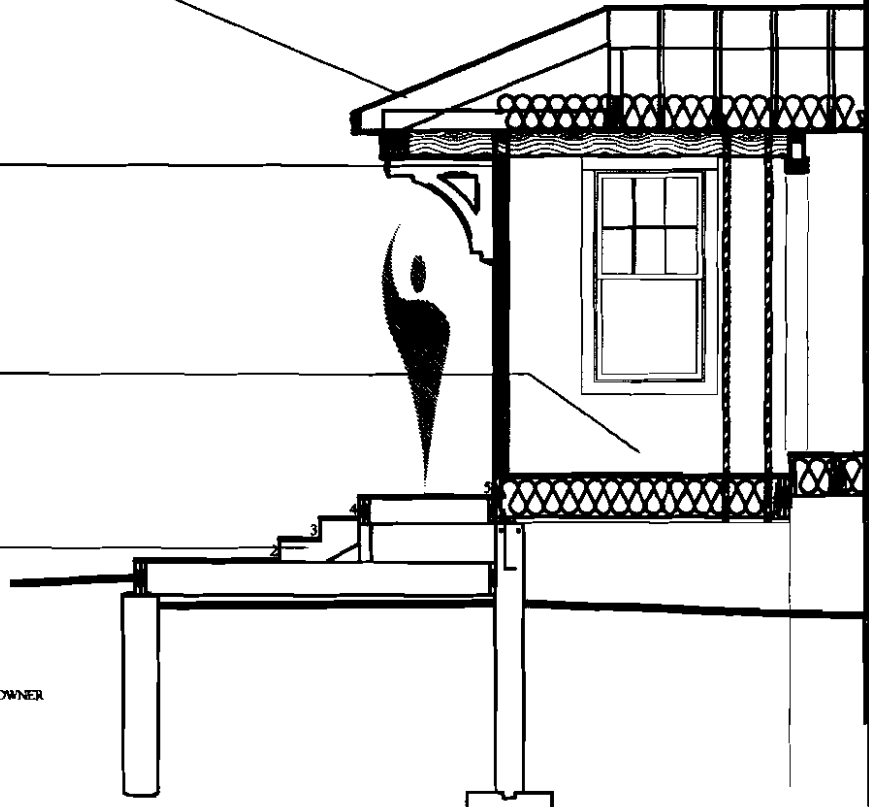
FLOOR CONSTRUCTION (TYP)

- CONT. 2x6 PT SILL PLATE OR SILL SEAL
- JOISTS AS PER STRUCTURALS
- 3/4" T&O ADVANTEC SCREWED & GLUED
- TILE UNDERLAYMENT PER MANUFACTURERS RECOMMENDATIONS
- SPRAYED CLOSED CELL INSULATION (R-38 min.)

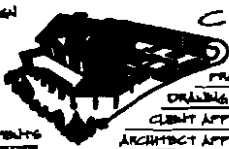
DECK CONSTRUCTION (TYP)

- LEDGER BOLTED TO HOUSE FRAME WITH 5/8" LAG BOLTS STAGGERED IN EACH BAY
- ALL FRAMING LUMBER IS PRESSURE TREATED
- USE PROPER STEEL SPECS FOR PRESSURE TREATED
- ALL POSTS ATTACHED TO CONC. WITH SIMPSON CONNECTIONS
- ALL JOIST / LEDGER CONNECTIONS WITH SIMPSON BRACKETS
- TREX OR SIMILAR DECKING - VERIFY OPTIONS AND FRICING WITH OWNER
- WRAP DECKING ALONG FACE OF STEPS AND DECK FRAME

REFER TO FOUNDATION PLAN FOR FOUNDATION SPECS

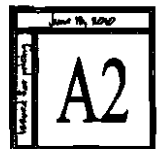


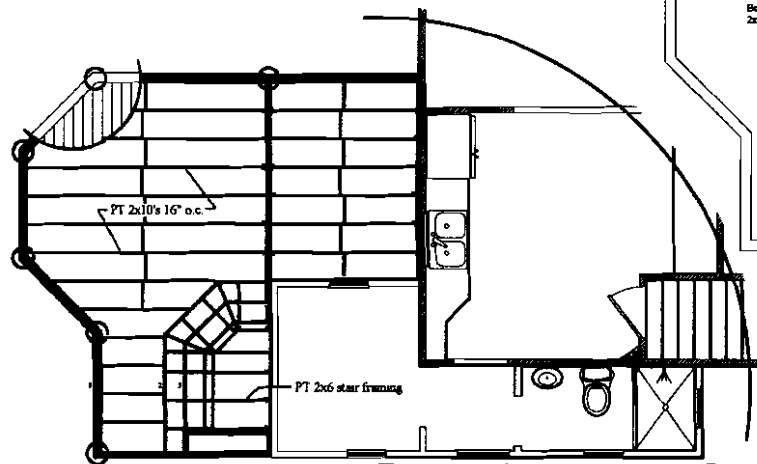
- PRELIMINARY DESIGN (FOR CLIENT REVIEW)
- DESIGN DEVELOPMENT (FOR CLIENT REVIEW AND CITY SUBMITTALS)
- CONTRACT DOCUMENTS (FOR PERMITS, BIDD, AND CONSTRUCTION)



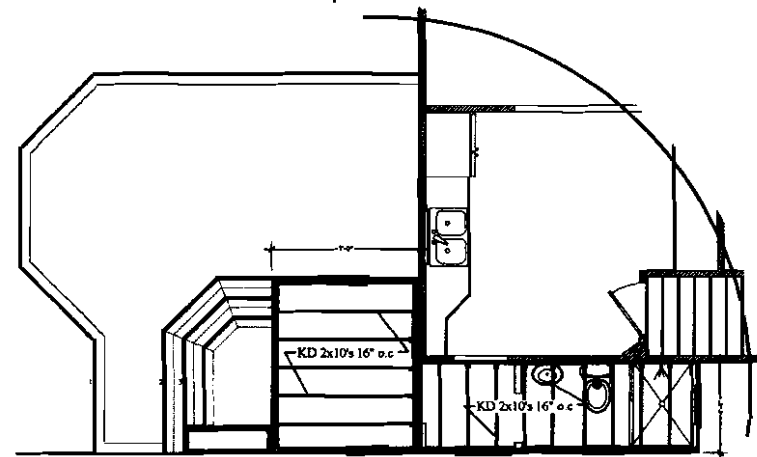
CUSTOM CONCEPTS, INC.
388 U.S. ROUTE 1, SUITE 114 - SCARBOROUGH, MAINE 04117
P: (603) 888-8888 F: (603) 888-8881 WWW.CUSTOMCONCEPTS.COM

PROJECT: Additional Renovations to the Royce Residence
 DRAWING TITLE: Floorplans & Elevations
 CLIENT APPROVAL: _____
 ARCHITECT APPROVAL: _____
 JOB #: 2620
 SCALE: 1/4" = 1'-0" O.S.D.
 DATE: 1/18/20

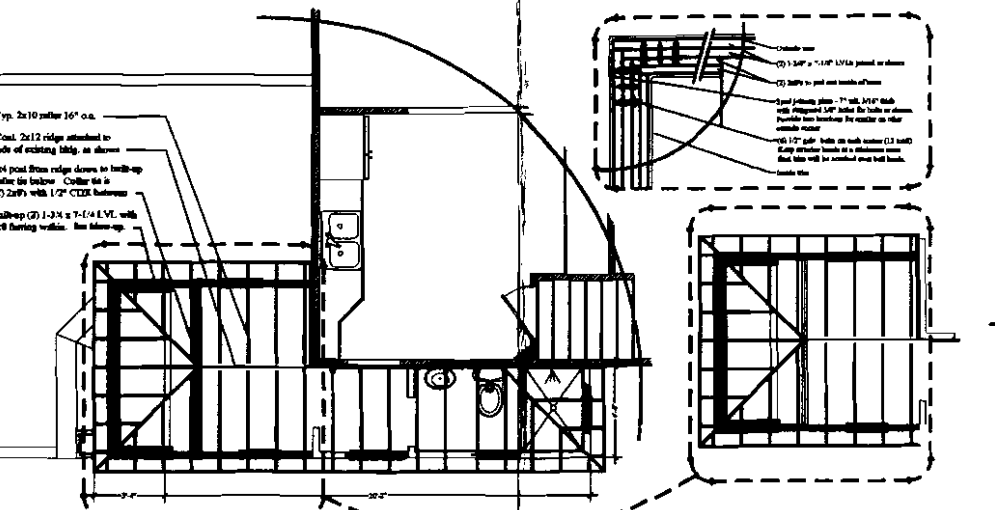
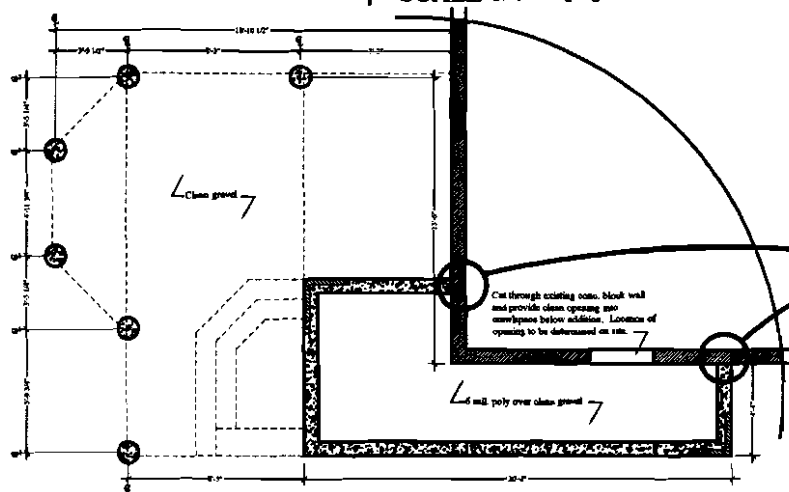




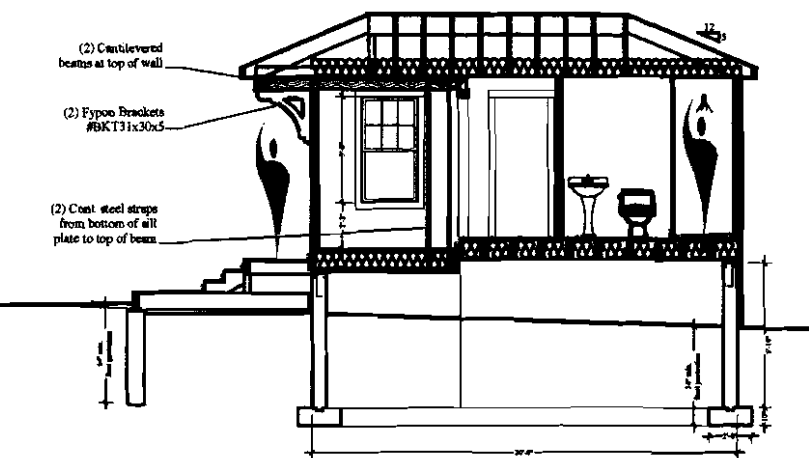
Framing - Deck
SCALE 1/4" = 1'-0"



Framing - Floor
SCALE 1/4" = 1'-0"



Framing - Roof
SCALE 1/4" = 1'-0"



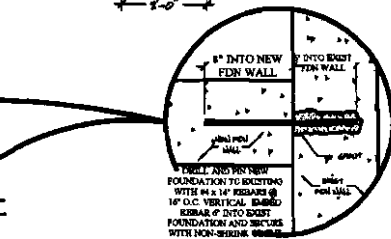
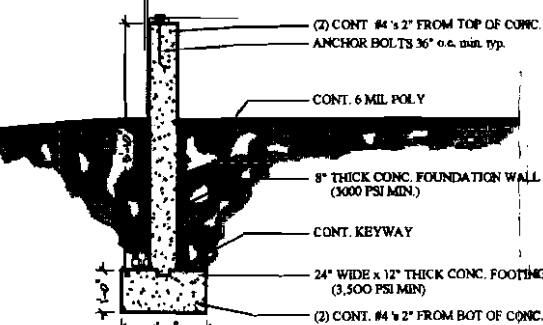
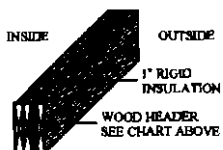
Section A
SCALE 1/4" = 1'-0"

HEADER SCHEDULE

H-26	(3) 2x6's
H-28	(3) 2x8's
H-210	(3) 2x10's
H-212	(3) 2x12's
H-26L	(3) 1-1/2"x5-1/2" LVL's - SOLID
H-28L	(3) 1-1/2"x7-1/2" LVL's - SOLID
H-210L	(3) 1-1/2"x9-1/2" LVL's - SOLID
H-212L	(3) 1-1/2"x11-1/2" LVL's - SOLID

POST SCHEDULE

P-4L	3-1/2"x3-1/2" LVL COLUMN
P-4GL	3-1/2"x5-1/2" LVL COLUMN
P-6L	5-1/2"x5-1/2" LVL COLUMN
P-8L	7-1/2"x7-1/2" LVL COLUMN
P2-26	(2) 2x6 COLUMN
P3-26	(3) 2x6 COLUMN



Foundation
SCALE 1/4" = 1'-0"

WINDOW SCHEDULE

Andersen 400 Series - Verify all specifications with owner

NO	ANDERSEN	TYPE	HEADER ELEV.	REMARKS
1	TW18210	DOUBLE HUNG	Align with existing	
2	TW26310	DOUBLE HUNG	Align with existing	
3	TW20210	DOUBLE HUNG	Align with existing	
4	AW21	AWNING	Align with existing	Wet location - Vinyl Interior - Tempered glass - Frosted
5	TW18210	DOUBLE HUNG	Align with existing	Tempered glass

ROOF CONSTRUCTION

CONTINUOUS RIDGE VENT (on exposed ridge only)
 RIDGE BEAM (PER STRUCTURALS)
 MATCH EXIST. ROOF SHINGLES (25 YR. Min.)
 CONTINUOUS ICE & WATER SHIELD ON WHOLE ROOF
 5/8" SHEATHING WITH OVERLAPPING JOINTS
 ROOF FRAMING (PER STRUCTURALS)
 2x6 COLLAR TR EACH BAY
 BATT INSULATION (R-38 Min.)
 PROPER VENT EACH BAY LEADING TO RIDGE VENT
 1X3 STRAPPING 16" O.C
 1/2" DRYWALL CEILING - MATCH EXISTING FINISH

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 1/2" ADVANTEC PLYWOOD WITH OVERLAPPING JOINTS
 MATCH EXISTING SIDING AND EXTERIOR TRIM

FLOOR CONSTRUCTION (TYP)

CONT. 2x6 PT SILL PLATE ON SILL SEAL
 JOISTS AS PER STRUCTURALS
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 ALL JOIST / LEDGER CONNECTIONS WITH SIMPSON BRACKETS
 TREX OR SIMILAR DECKING - VERIFY OPTIONS AND PRICING WITH OWNER
 WRAP DECKING ALONG FACE OF STEPS AND DECK FRAME

REFER TO FOUNDATION PLAN FOR FOUNDATION SPECS

- PRELIMINARY DESIGN (not ready to build)
- DESIGN
- DEVELOPMENT (with owner review and/or revisions)
- CONTRACT DOCUMENTS (FOR PERMITS, BIDDING AND CONSTRUCTION)



CUSTOM CONCEPTS, INC.
 888 U.S. ROUTE 1, SUITE 1A - SCARBOROUGH, MAINE 04114
 P: (603) 888-8888 F: (603) 888-8881 WWW.CUSTOMCONCEPTS.COM

PROJECT: ADDITIONAL 4 REVISIONS TO THE ROYLE RESIDENCE
 DRAWING TITLE: FLOORPLANS & ELEVATIONS
 CLIENT APPROVAL: _____
 ARCHITECT APPROVAL: _____

JOB # 2020
 SCALE: 1/4" = 1'-0" O.C.
 DATE: 06/20/20
 DRAWN BY: MBR