

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

## CITY OF PORTLAND

### BUILDING INSPECTION

# PERMIT

Permit Number: 100752

Please Read  
Application And  
Notes, if Any,  
Attached

This is to certify that Anne Hardcastle & George Royle/TBD

has permission to additon of mudroom, bathroom & deck

AT 84 CALED ST CBL 188 C045001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

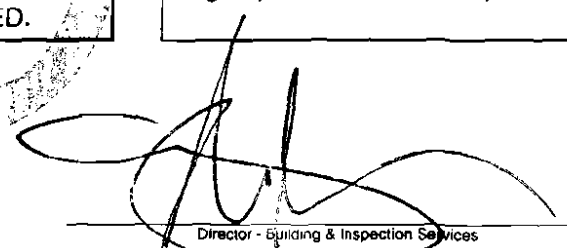
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name



Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0752	Issue Date:	CBL: 188 C045001
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Location of Construction: 84 CALEB ST	Owner Name: Anne Hardcastle & George Royle	Owner Address: 84 Caleb Street	Phone: 207-578-9053
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - additon of mudroom, bathroom & deck	Permit Fee: \$270.00	Cost of Work: \$25,000.00	CEO District: 3
Proposed Project Description: addition of mudroom, bathroom & deck mudroom: bathroom - 115 # deck 253 #		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature:	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 06/29/2010	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>7/1/10</i>	<p><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	<p><b>PERMIT ISSUED</b></p> <p><b>JUL - 7 2010</b></p> <p>City of Portland</p>	<p><b>CERTIFICATION</b></p> <p>I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.</p>	

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# CITY OF PORTLAND, MAINE

Department of Building Inspections

## Original Receipt

6-28 2010

Received from

George Royle  
of Caled St

Location of Work

Cost of Construction \$ \_\_\_\_\_

Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 270

Building (1L) \_\_\_\_\_

Plumbing (1S) \_\_\_\_\_

Electrical (1Z) \_\_\_\_\_

Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 188-C-15

Check #: CC

Total Collected \$ 270

**No work is to be started until permit issued.  
Please keep original receipt for your records.**

Taken by: [Signature]

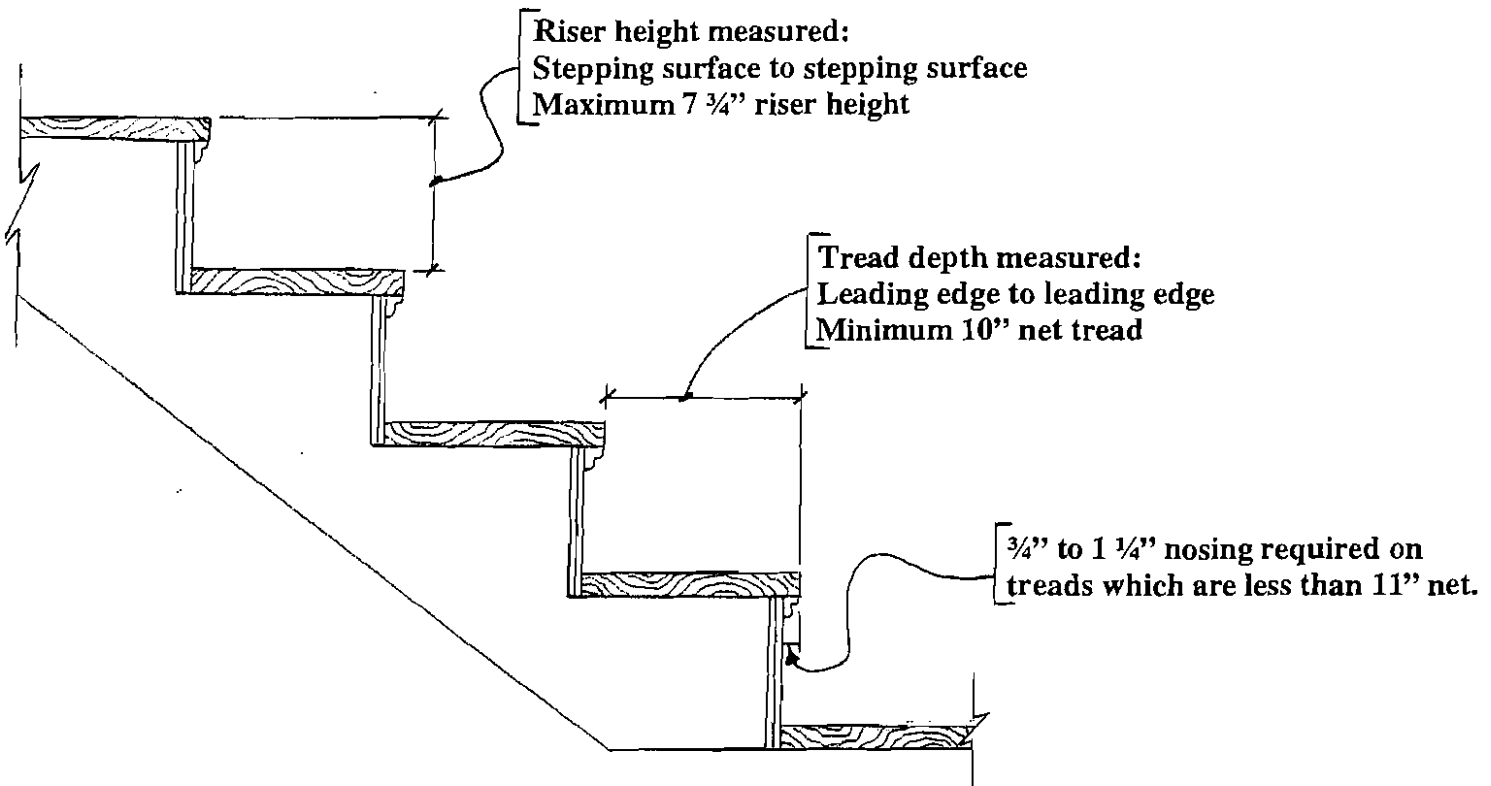
WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

**TREAD & RISER DIMENSIONS  
ONE & TWO FAMILY  
2003 INTERNATIONAL RESIDENTIAL CODE  
SECTION R311.5.3 TREADS & RISERS**

In occupancies in 1 and 2 family dwellings (Use Group R-3) and in accessory occupancies (shed, garages, etc.) to 1 and 2 family dwellings the following are the tread and riser requirements:

The **MAXIMUM riser height shall be 7 ¾"** and the **minimum riser height shall be 4"**. The **MINIMUM tread depth shall be 10"** (measured from leading edge of tread to leading edge of tread). A nosing not less than **¾"** but **not more than 1 ¼"** SHALL be required on treads where the depth is less than 11". Openings in risers shall not exceed 4".

**Correct method of measuring treads and risers:**



**Please note: To achieve a minimum 10" net tread the stringer must be cut to 10".**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0752	<b>Date Applied For:</b> 06/29/2010	<b>CBL:</b> 188 C045001
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<b>Location of Construction:</b> 84 CALEB ST	<b>Owner Name:</b> Anne Hardcastle & George Royle	<b>Owner Address:</b> 84 Caleb Street	<b>Phone:</b> 207-578-9053
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - additon of mudroom & bathroom (115 sf) & deck (253 sf)	<b>Proposed Project Description:</b> additon of mudroom & bathroom (115 sf) & deck (253 sf)
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 07/01/2010
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 07/07/2010
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) The stairs must be built to the specifications on the enclosed diagram.			
2) The glass wall enclosure of the shower/tub enclosure must be tempered glass.			
3) The window in the tub enclosure must be tempered glass if it is less than 60" above the floor.			
4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.			
5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.			

<b>Comments:</b> 6/30/2010-amachado: Spoke to Anne Hardcastle. Will get plot plan to me today. 6/30/2010-amachado: Received plot plan.
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**PERMIT ISSUED**

JUL - 7 2010

City of Portland

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY )

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

  X   Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

  X   Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

JUL - 7 2010

City of Portland



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>84 Calcb Street, Portland ME 04102</u>		
Total Square Footage of Proposed Structure/Area <u>1,389 sq ft (includes existing)</u>		Square Footage of Lot <u>6,500 sq ft.</u>
Tax Assessor's Chart, Block & Lot Chart# <u>188-C-45</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Anne E. Hardcastle</u> Address <u>84 Calcb St.</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207-518-9053</u> or <u>417-536-6034</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>25,000</u> C of O Fee: \$ Total Fee: \$ <u>270</u>
Current legal use (i.e. single family) <u>Single family</u> If vacant, what was the previous use? Proposed Specific use: <u>same</u> Is property part of a subdivision? <u>no</u> If yes, please name Project description: <u>bedroom and bathroom addition with deck.</u>		
Contractor's name: <u>TSD</u> Address: City, State & Zip Telephone:		
Who should we contact when the permit is ready: <u>Anne Hardcastle</u> Telephone: <u>207-518-9053</u> Mailing address: <u>254 Spring St. #1, Portland ME 04102</u>		

**PERMIT REVIEWED**  
**RECEIVED**  
JUN 21 8 2010  
JUN 21 8 2010  
Dept. of Building Inspections  
City of Portland  
Dept. of Building Inspections  
City of Portland  
City of Portland, Maine

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6.28.10

This is not a permit; you may not commence ANY work until the permit is issue

Applicant: Anne Hardcastle

Date: 6/30/10

Address: 84 Calab St.

C-B-L: 1PP-C-45

permit # 10-0752

CHECK-LIST AGAINST ZONING ORDINANCE

Date - house built 1916

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work -

Sevage Disposal - city

Lot Street Frontage - N/A

Front Yard - 25' min - beyond 25' setback OK - as shown on plot plan

Rear Yard - 25' min - well beyond 25' rear setback - as shown on plot plan

Side Yard - 1 1/2 stories 8' min - single story addition is 11.5' so needs 8' side setback  
2 stories 11' min more than 8' shown on plot plan

Projections -

Width of Lot -

Height - 35' max. - 13' to ridge for addition OK

Lot Area - 6,500 sq ft - 6,500 sq ft given

Lot Coverage Impervious Surface - 35% = 2,275 sq ft given 13,850 sq ft OK

Area per Family - 6,500 sq ft

Off-street Parking - existing

Loading Bays -

Site Plan -

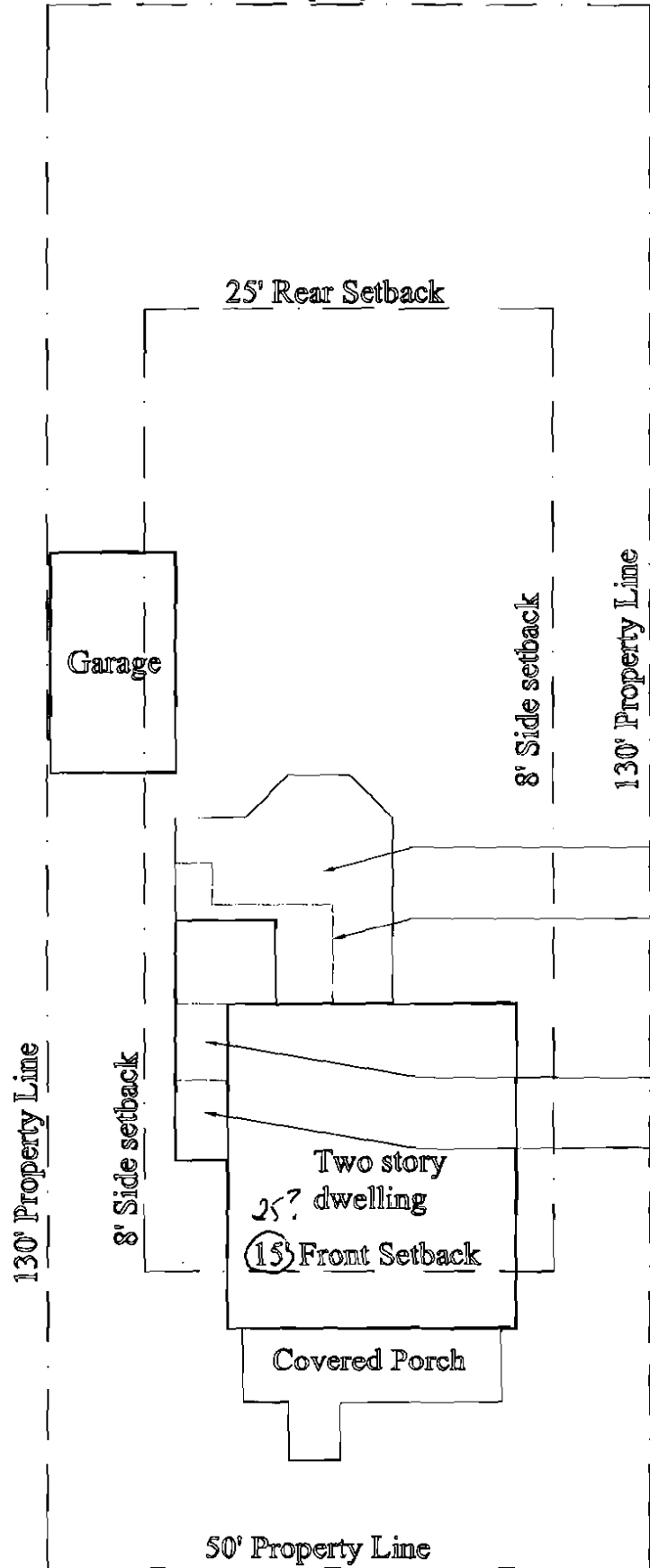
Shoreland Zoning/ Stream Protection - N/A

Flood Plains - parcel # 13 - zone C

\* Was existing small mudroom & deck - ~~this~~ this permit increases the mudroom rim but keeps the same distance beyond 8' setback.



50' Property Line



RECEIVED

JUN 30 2010

Dept. of Building Inspections  
City of Portland Maine

New deck

Existing deck

Existing single story mudroom

New single story addition

Note; This assumes a side setback of 8' required for a single story addition

Apparent R.O.W.

50' Property Line

Caleb Street

This sketch was provided from limited field dimensions and is not a boundary survey. Not to scale.

**WARRANTY DEED**  
**Joint Tenancy**  
**Maine Statutory Short Form**

**KNOW ALL PERSONS BY THESE PRESENTS, That**

**Amy M. Boyington**

of 84 Caleb Street, Portland, ME 04102

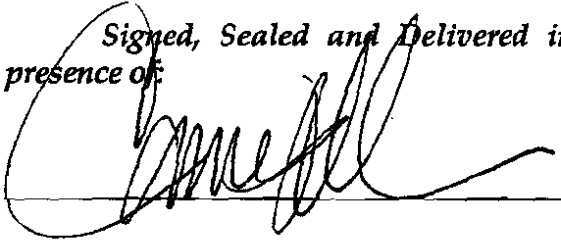
for consideration paid, grant to **George Royle and Anne Hardcastle**

of 254 Spring Street #1, Portland, ME 04102

with **warranty covenants**, as joint tenants the land in Portland , County of Cumberland, and State of Maine, described on the attached **EXHIBIT A**.

**WITNESS** our/my hand(s) and seal(s) this 10th day of June, 2010.

*Signed, Sealed and Delivered in  
presence of:*



  
\_\_\_\_\_  
Amy M. Boyington

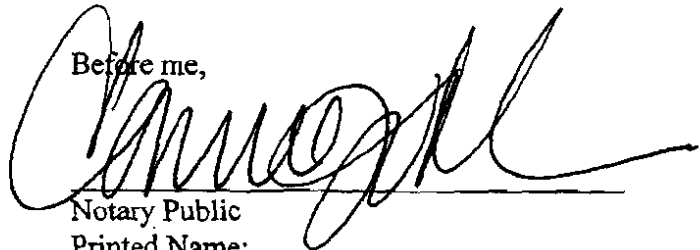
**STATE OF MAINE**

June 10, 2010

**COUNTY OF Cumberland**

Then personally appeared the above named Amy M. Boyington and acknowledged the foregoing instrument to be her free act and deed.

Before me,

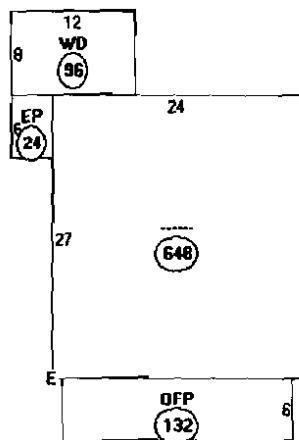


Notary Public

Printed Name: \_\_\_\_\_

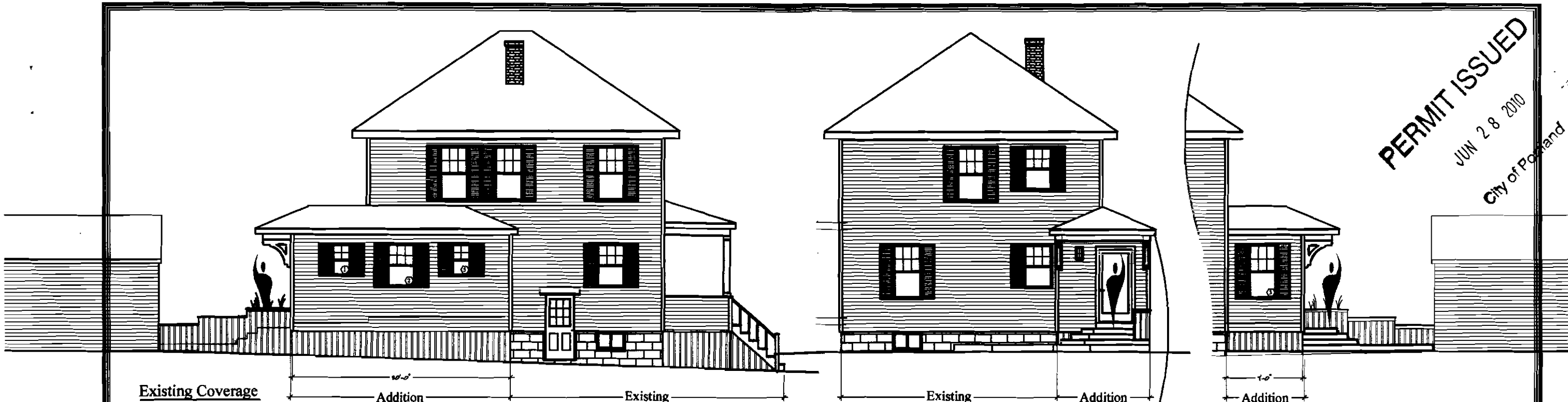
My Commission Expires: \_\_\_\_\_

**Connie Jo Minervino**  
**Notary Public, Maine**  
**My Commission Exp. 12/29/2014**



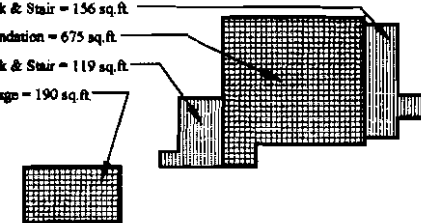
- Descriptor/Area
- A: ---  
648 sqft
  - B: EP  
24 sqft
  - C: WD  
96 sqft
  - D: OFF  
132 sqft
  - E: RG1  
180 sqft

**PERMIT ISSUED**  
 JUN 28 2010  
 City of Portland



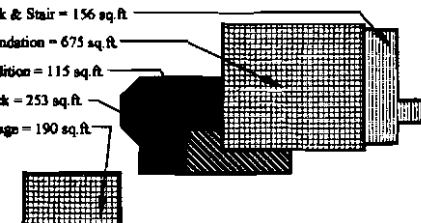
**Existing Coverage**

- Existing Deck & Stair = 156 sq. ft.
- Existing Foundation = 675 sq. ft.
- Existing Deck & Stair = 119 sq. ft.
- Existing Garage = 190 sq. ft.



**Proposed Coverage**

- Existing Deck & Stair = 156 sq. ft.
- Existing Foundation = 675 sq. ft.
- Proposed addition = 115 sq. ft.
- Proposed deck = 253 sq. ft.
- Existing Garage = 190 sq. ft.



**Lot Coverage**

- Total Lot = 6,500 sq. ft.
- Allowable coverage = 2,275 sq. ft. (6,500 x 35%)
- Existing coverage = 1,140 sq. ft. (foundation, decks & stairs)
- Proposed coverage = 1,389 sq. ft. (21.3 % coverage) (existing foundation, addition, decks & stairs)

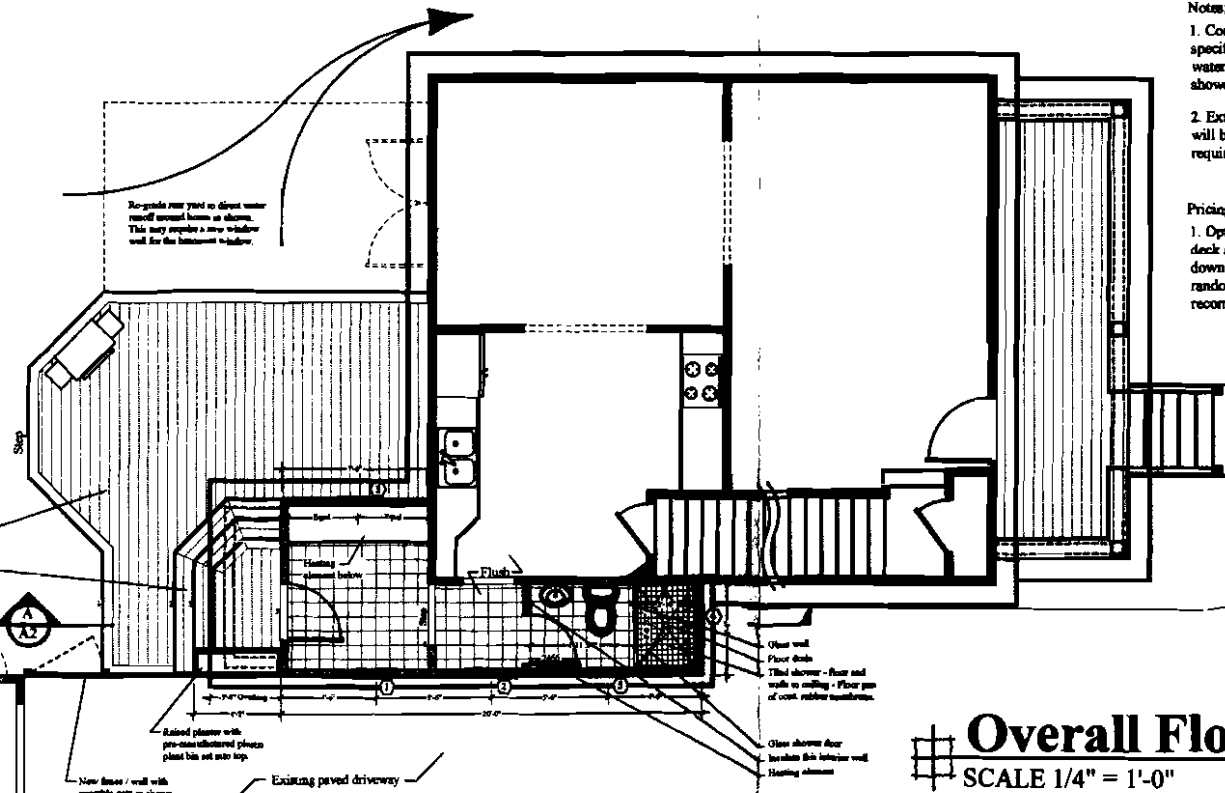
**South Elevation**  
 SCALE 1/4" = 1'-0"

**West Elevation**  
 SCALE 1/4" = 1'-0"

**North Elevation**  
 SCALE 1/4" = 1'-0"

- Notes:**
- Contractor is responsible for the details and specifications of the shower to ensure it is water-tight. Contractor must warranty this shower against leaks for a minimum of 5 years.
  - Exterior walls are constructed of 2x4's but will be properly insulated to meet energy requirements.

- Pricing Options:**
- Option for a patio at grade in place of the deck at grade. Maintain wooden steps leading down to patio. Provide optional price for random bluestone patio blocks on proper base as recommended by manufacturer.



**Overall Floorplan**  
 SCALE 1/4" = 1'-0"

**East Elevation**  
 SCALE 1/4" = 1'-0"

**STRUCTURAL POINT LOADS**

- ☒ - POST ABOVE
- - POST BELOW

NOTE: POINTS UNDER ALL CARRYING MEMBERS OF THIS UNLESS NOTED OTHERWISE

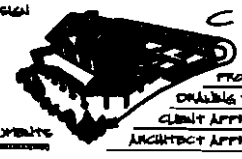
NOTE: WRITTEN SPECIFICATIONS SUPERSEDE ALL GRAPHIC SYMBOLS

**NOTE: SCALES SHOWN ON ALL DRAWINGS ARE APPLICABLE TO FULL-SIZE PRINTS (24"x36") ONLY. OTHER PRINT SIZES ARE TO BE CONSIDERED "NOT TO SCALE"**

- PLEASE DO NOT SCALE DRAWINGS - CONTACT ARCHITECT IF REQUIRED



- PRELIMINARY DESIGN (FOR CLIENT REVIEW)
- DEVELOPMENT (FOR CLIENT REVIEW AND CONTRACTING)
- CONTRACT DOCUMENTS (FOR PERMIT, BIDDING, AND CONSTRUCTION)



**CUSTOM CONCEPTS, INC.**  
 333 D.C. ROUTE 1, EDITHA - SCARBOROUGH, MAINE 04114  
 P: (603) 888-8888 F: (603) 888-8881 WWW.CUSTOMCONCEPTSINC.COM

PROJECT: ADDITION & RENOVATIONS TO THE ROYLE RESIDENCE

DRAWING TITLE: FLOORPLANS & ELEVATIONS

CLIENT APPROVAL: \_\_\_\_\_

ARCHITECT APPROVAL: \_\_\_\_\_

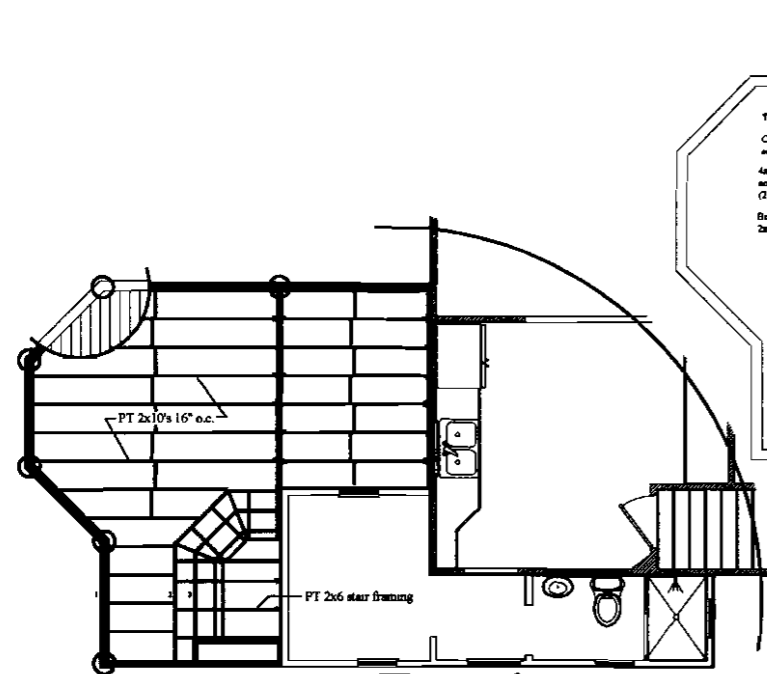
JOB #: 260-00

SCALE: 1/4" = 1'-0" CAD

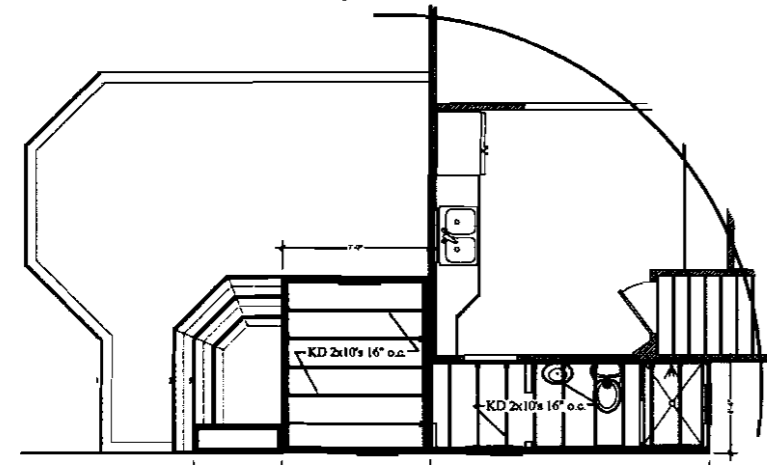
DATE: 1/16/10

DRAWN BY: VEK

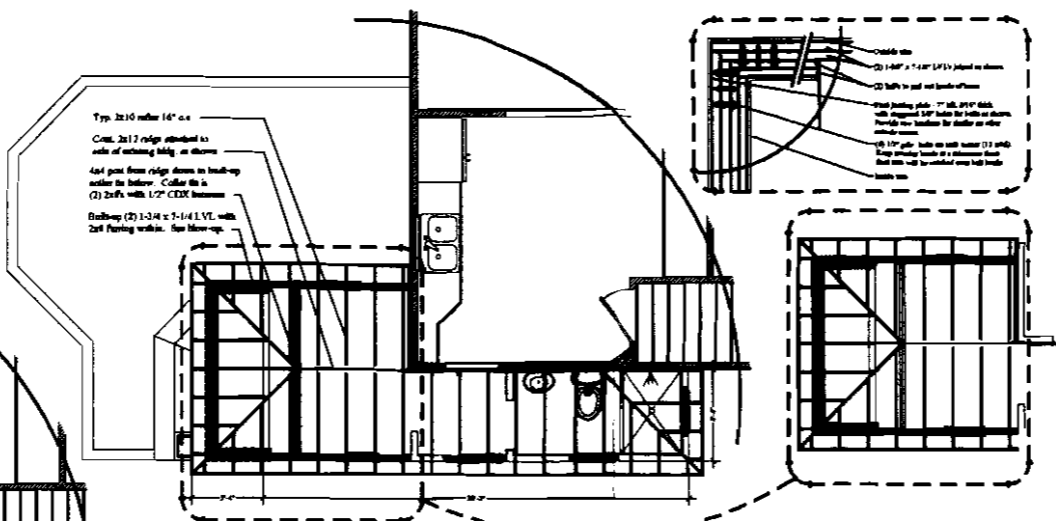




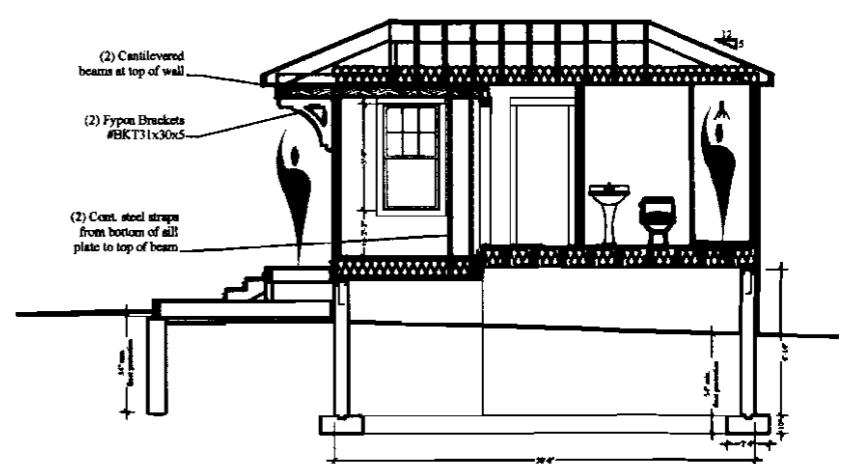
**Framing - Deck**  
SCALE 1/4" = 1'-0"



**Framing - Floor**  
SCALE 1/4" = 1'-0"



**Framing - Roof**  
SCALE 1/4" = 1'-0"



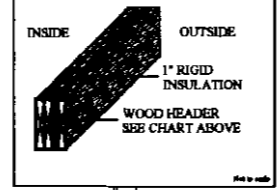
**Section A**  
SCALE 1/4" = 1'-0"

**HEADER SCHEDULE**

H-26	(3) 2x6s
H-28	(3) 2x8s
H-210	(3) 2x10s
H-212	(3) 2x12s
H-26L	(3) 1->2x5-< LVL's - SOLID
H-28L	(3) 1->2x7-< LVL's - SOLID
H-210L	(3) 1->2x9-< LVL's - SOLID
H-212L	(3) 1->2x11-< LVL's - SOLID

**POST SCHEDULE**

P-44L	3/4"x3'-0" LVL COLUMN
P-46L	3/4"x5'-0" LVL COLUMN
P-66L	5'-0"x5'-0" LVL COLUMN
P-88L	7'-0"x7'-0" LVL COLUMN
P2-26	(2) 2x6 COLUMN
P3-26	(3) 2x6 COLUMN



**ROOF CONSTRUCTION**

CONTINUOUS RIDGE VENT (on exposed ridge only)  
 RIDGE BEAM (PER STRUCTURALS)  
 MATCH EXIST. ROOF SHINGLES (25 YR. Min.)  
 CONTINUOUS ICE & WATER SHIELD ON WHOLE ROOF  
 5/8" SHEATHING WITH OVERLAPPING JOINTS  
 ROOF FRAMING (PER STRUCTURALS)  
 2x6 COLLAR TIE EACH BAY  
 BATT INSULATION (R-38 Min.)  
 PROPER VENT EACH BAY LEADING TO RIDGE VENT  
 1x3 STRAPPING 16' O.C.  
 1/2" DRYWALL CEILING - MATCH EXISTING FINISH

**EXTERIOR WALL CONSTRUCTION (TYP)**

1/2" DRYWALL  
 SEE DETAIL FOR EXTERIOR HEADER CONSTRUCTION  
 DOUBLE SILL PLATES ON ALL WINDOW OPENINGS  
 SPRAYED OPEN CELL INSULATION (R-21 Minimum)  
 KD 2x4-16' O.C. WITH DOUBLE TOP PLATE  
 1/2" ADVANTEC PLYWOOD WITH OVERLAPPING JOINTS  
 MATCH EXISTING SIDING AND EXTERIOR TRIM

**FLOOR CONSTRUCTION (TYP)**

CONT. 2x6 PT SILL PLATE ON SILL SEAL  
 JOISTS AS PER STRUCTURALS  
 3/4" TAG ADVANTEC SCREWED & GLUED  
 TILE UNDERLAYMENT PER MANUFACTURERS  
 RECOMMENDATIONS  
 SPRAYED CLOSED CELL INSULATION (R-38 min.)

**DECK CONSTRUCTION (TYP)**

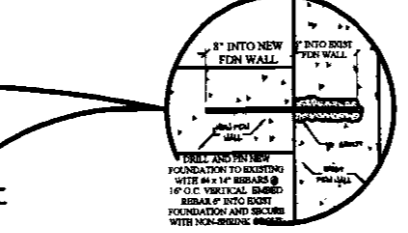
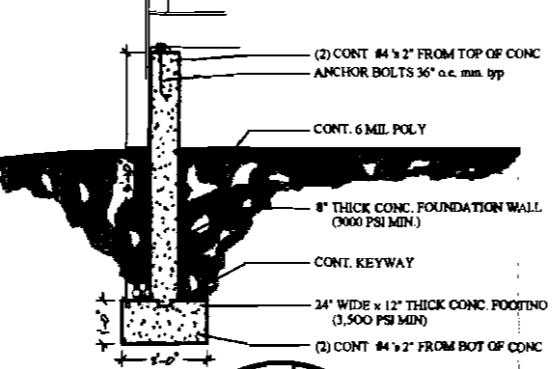
LEDGER BOLTED TO HOUSE FRAME WITH 5/8" LAG BOLTS STAGGERED IN EACH BAY  
 ALL FRAMING LUMBER IS PRESSURE TREATED  
 USE PROPER STEEL SPECS FOR PRESSURE TREATED  
 ALL JOIST / LEDGER CONNECTIONS WITH SIMPSON CONNECTIONS  
 TREX OR SIMILAR DECKING - VERIFY OPTIONS AND PRICING WITH OWNER  
 WRAP DECKING ALONG FACE OF STEPS AND DECK FRAME

REFER TO FOUNDATION PLAN FOR FOUNDATION SPECS

**WINDOW SCHEDULE**

Andersen 400 Series - Verify all specifications with owner

NO	ANDERSEN	TYPE	HEADER ELEV.	REMARKS
1	TW16210	DOUBLE HUNG	Align with existing	
2	TW26310	DOUBLE HUNG	Align with existing	
3	TW22210	DOUBLE HUNG	Align with existing	
4	AW21	AWNING	Align with existing	Wet location - Vinyl interior - Tempered glass - Pinned
5	TW16210	DOUBLE HUNG	Align with existing	Tempered glass



**Foundation**  
SCALE 1/4" = 1'-0"

- PRELIMINARY DESIGN (not for construction)
- DESIGN DEVELOPMENT (not for construction)
- CONTRACT DOCUMENTS (not for construction)



**CUSTOM CONCEPTS, INC.**  
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PROJECT: ADDITIONAL & RELATED WORK TO THE ROYAL RESIDENCE  
 DRAWING TITLE: FLOORPLANS & ELEVATIONS  
 CLIENT APPROVAL: \_\_\_\_\_  
 ARCHITECT APPROVAL: \_\_\_\_\_

DATE: 6/20/20  
 DRAWN BY: MBK

