



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user c within the City, payment arrangements must be made before permits of any

Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 02/04/15

Address/Location of Construction: 66 Caleb Street, Portland, ME, 04102		Date: 02/04/15
Total Square Footage of Proposed Structure: One room 250SF		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant Name: Holly Fent Address 66 Caleb Street Portland, Me. City, State & Zip 04102	Telephone: 207.653.6645 Email: holly.fent@gmail.com
Lessee/Owner Name : (if different than applicant) Address: City, State & Zip: Telephone & E-mail:	Contractor Name: Chuck Fent (if different from Applicant) Address: City, State & Zip: . Telephone & E-mail:	Cost Of Work: \$ 2,600.00 EST C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
<p>RECEIVED DEC 04 2014 Dept. of Building Inspections City of Portland Maine</p>		
Current use (i.e. single family) <u>family home</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>In home Hair Salon</u> Is property part of a subdivision? <input type="checkbox"/> If yes, please name _____ Project description: <u>Constructing a 9 foot partition wall, and adding a half bath. Adding a shampoo sink, and cabinets for storage.</u> <u>Home occupation</u>		
Who should we contact when the permit is ready: <u>Holly Fent</u>		
Address: <u>66 Caleb Street</u>		
City, State & Zip: <u>Portland, Maine 04102</u>		
E-mail Address: <u>holly.fent@gmail.com</u>		
Telephone: <u>207.653.6645</u>		

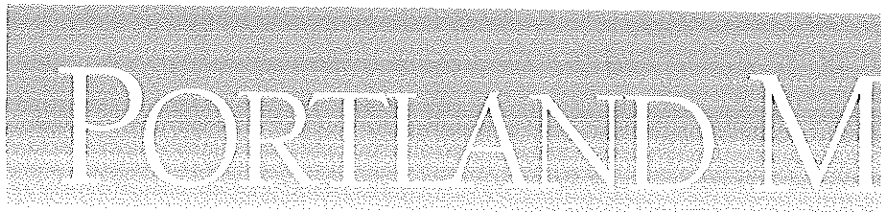
Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Holly Fent Date: 12/4/12

This is not a permit; you may not commence ANY work until the permit is issued.



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Strengthening a Remarkable City, Building a Community for Life

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. *After all approvals have been met and completed, I will then be issued my permit via e-mail.* No work shall be started until I have received my permit.

Applicant Signature: Halley H. Dent Date: 12/4/12

I have provided digital copies and sent them on: _____ Date: _____

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



1377'5E MAIN FL
943'5E LOWER LEVEL
2130'5E TOTAL



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Inspections Division

389 Congress Street, Room 315

Portland, Maine 0101

Date: 02/04/15

I am requesting a permit to allow me the use of my residence at 66 Caleb Street for a home occupation. I intend to serve as independent Hair Stylist. In effect my work is an acceptable home occupation listed under item (2) of section 14-410 of the Portland Zoning Ordinance. The following is an explanation of how my home occupation meets the criteria listed under Item (1) of the same.

- a. My home occupation will occupy approximately 234 square feet or 11% of the total floor space, including the lower level of the home, or 17% of the main floor alone.
- b. No goods will be stored, displayed or visible from outside the residence.
- c. Storage of the material necessary to perform my occupation are minimal and is included in the 234 square feet of floor space mentioned above.
- d. There will be no external signage related to my home occupation.
- e. There will be no exterior alterations to the residence.
- f. Off street parking will be provided for my clients, and can accommodate four cars. Maximum number of cars at one time will be two.
- g. My home occupation will not produce odors, noise of any kind, vibrations, exhaust, smoke, dust or any particle matter, heat, humidity, glare or any offensive effects of any kind.
- h. There will be no employee's other than myself.
- i. There will be no impact on the current traffic flow.
- j. My home occupation will not have any vehicles connected to the business.
- k. There will be one hand held hair dryer and one hood style dryer in the business.

The walls for the half bathroom will go from floor to ceiling and will be built of ½ inch sheet rock and 2X4's. The 2x4's will be 16" on center. There will be no weight attached to these walls and the entrance to the bath will be a 30" door.

I've enclosed a copy of the floor plans of my home, including the area for my business. Thank you for your assistance in this matter.

Sincerely,

Holly H. Fent

Revised 1/18/2015



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STATE OF MAINE
DEPARTMENT OF PROFESSIONAL & FINANCIAL REGULATION
BARBERING & COSMETOLOGY PROGRAM

LICENSE # CO10080

HOLLY H. FENT

COSMETOLOGIST

ISSUED Nov 01, 2014 EXPIRES Oct 31, 2015