

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 100917

SEP 7 2010

This is to certify that LEKOUSI CHRIS J & JOANN FLAHERTY owner/property owner

has permission to replace the entire deck on the 2nd & 3rd floors replace stairs & gutters as necessary

AT 170 BOLTON ST City of Portland
CE 186A D012001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is put in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT R. Matthews

Health Dept. _____

Appeal Board _____

Other _____

Department Name

James Burke 9/7/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0917	Issue Date:	CBL: 186A D012001
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Location of Construction: 170 BOLTON ST	Owner Name: LEKOUSI CHRIS J & JOANNE E	Owner Address: 311 LUDLOW ST	Phone:
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Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
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Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-3
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Past Use: 3 unit residential	Proposed Use: 3 unit residential - replace the entire deck on the 2nd & 3rd floor, replace joists & girders as necessary	Permit Fee: \$40.00	Cost of Work: \$2,000.00	CEO District: 3
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Proposed Project Description: replace the entire deck on the 2nd & 3rd floor, replace joists & girders as necessary <i>Front porch</i>	FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: R-2 Type SB IBC-2003
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Signature: <i>(Signature)</i>	Signature: <i>JMB 9/7/10</i>
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 07/29/2010	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>8/16/10</i>	Date: <i>(Signature)</i>	Date: <i>(Signature)</i>

PERMIT ISSUED

SEP 7 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0917	Date Applied For: 07/29/2010	CBL: 186A D012001
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Location of Construction: 170 BOLTON ST	Owner Name: LEKOUSI CHRIS J & JOANNE E	Owner Address: 311 LUDLOW ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	

Proposed Use: 3 unit residential - replace the entire deck on the 2nd & 3rd floor, replace joists & girders as necessary	Proposed Project Description: replace the entire deck on the 2nd & 3rd floor, replace joists & girders as necessary
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 08/16/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) The repair and replacement of the front decks shall be accomplished within the existing footprint without any enlargement of any dimensions. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a three family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 09/07/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) Fastener schedule per the IRC 2003 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. If railings are replaced details must be submitted for code compliance. 			

Dept: Fire	Status: Approved with Conditions	Reviewer: Capt Keith Gautreau	Approval Date: 08/26/2010
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> 1) All new construction must meet current code. (i.e. Rails, guards, Stairs, etc) 2) The entire structure shall comply with NFPA 101 "Existing Apartments" Compliance shall be insured prior to the issuance of a Certificate of Occupancy. 3) All construction shall comply with NFPA 1 and 101. 			

PERMIT ISSUED

SEP 7 2010

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT 100 111

SEP 7 2010

City of Portland



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

7.25.20 10

Received from Left on Site

Location of Work 126 ADA Drive

Cost of Construction \$ _____ Building Fee _____

Permit Fee \$ _____ Site Fee _____

Certificate of Occupancy Fee: _____

Total: 40

Building (12) _____ Plumbing (15) _____ Electrical (12) _____ Site Plan (102) _____

Other _____

CEL: 126 ADA 19

Check #: _____ Total Collected \$ 40

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>170-172 Botton St.</u>		
Total Square Footage of Proposed Structure/Area <u>2 @ 208 ft² DECKS</u>	Square Footage of Lot <u>5062 SF</u>	Number of Stories <u>3</u>
Tax Assessor's Chart, Block & Lot Chart# <u>186</u> Block# <u>AD</u> Lot# <u>12</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Chris Lokousi</u> Address <u>311 Ludlow St.</u> City, State & Zip <u>Portland, Me 04102</u>	Telephone: <u>772-7429</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>2,000</u> C of O Fee: \$ Total Fee: \$ <u>40</u>
Current legal use (i.e. single family) <u>3-family</u>	Number of Residential Units <u>3</u>	
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>Replace the entire deck on the 2nd and 3rd floor front porch. And replace joists and Girders as necessary. Deck is 1x4 TAG Douglas Fir.</u>		
Contractor's name: <u>SAME AS ABOVE (owner)</u>		
Address: _____		
City, State & Zip _____		Telephone: <u>MAD</u>
Who should we contact when the permit is ready: <u>Chris Lokousi</u>		Telephone: <u>772-7429</u>
Mailing address: <u>311 Ludlow St. Portland, Me 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

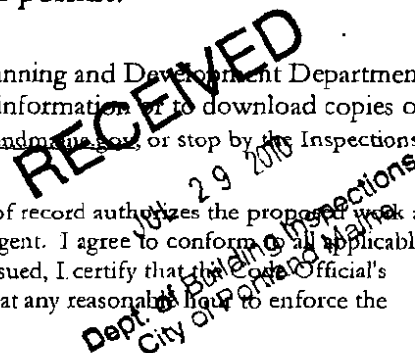
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandme.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the City Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

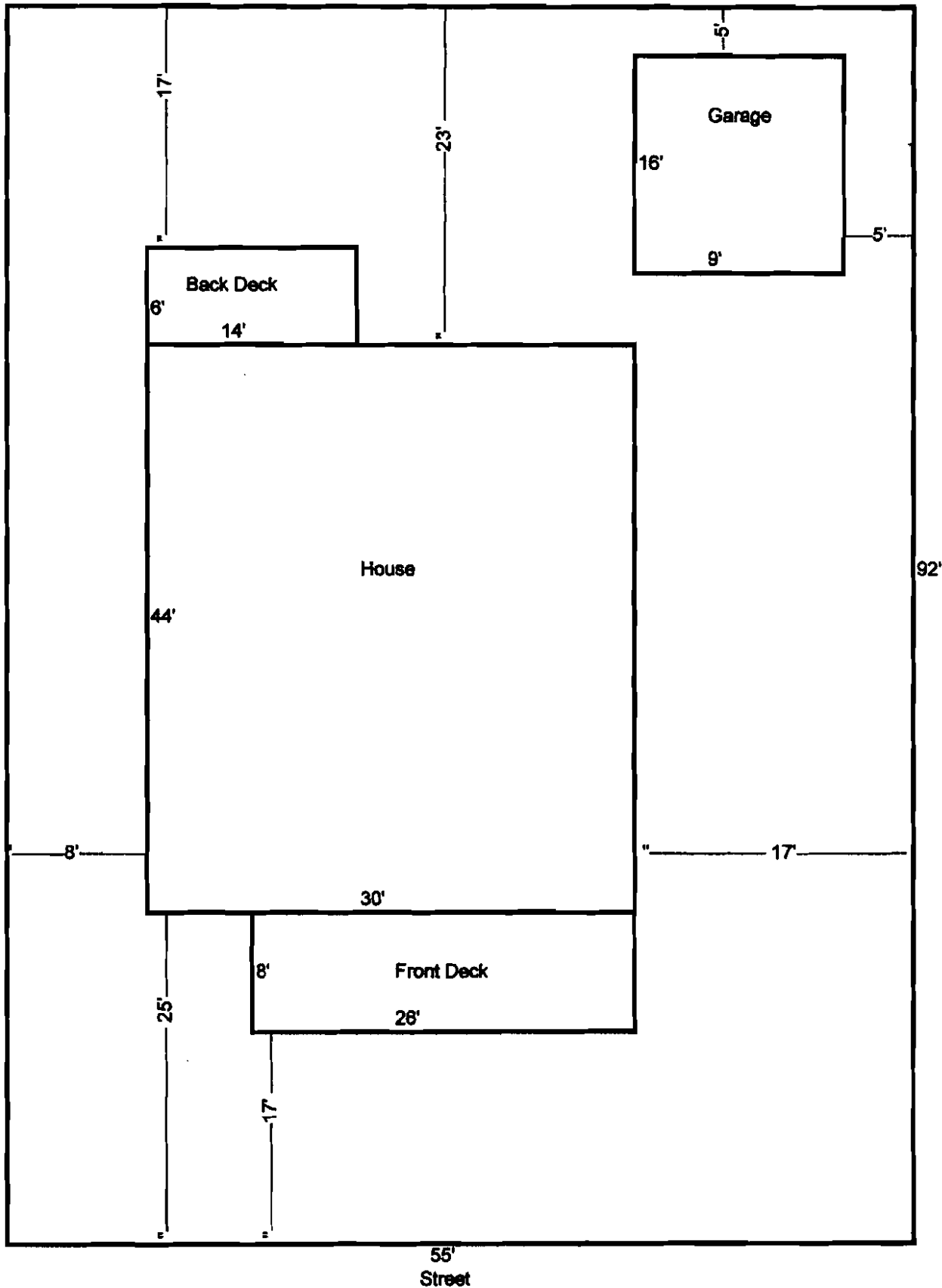
Date: 7/26/10

This is not a permit; you may not commence ANY work until the permit is issued

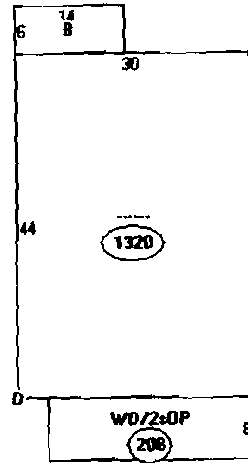


Information required with deck application for 170 Bolton Street

- 1 Plot plan-See attached**
- 2 Foundation system-On Existing**
- 3 a Columns-Using existing**
 - b Ledger-Using existing**
 - c N/A**
 - d Girders-(2) 6"x6"x8' on each deck will be replaced See attached**
 - e Approximately 8 joists on each deck will be replaced- See attached**
 - f Joists are 2"x6"x68" or 110" or 104" and are approximately 13" on center**
- 4 Guardrails & Handrails- Using existing**
- 5 Stairs- Using existing**



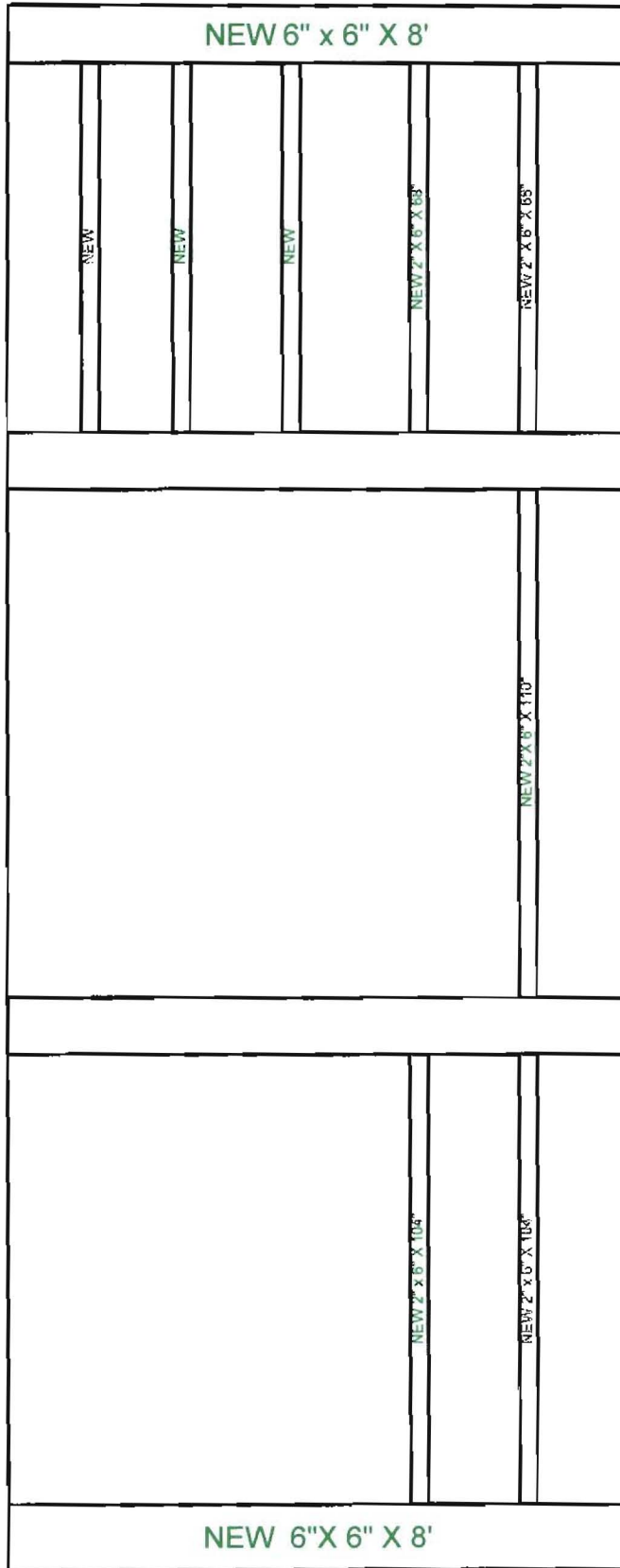
Plot Plan 170 Bolton Street



Description/Area

- A: 1320 sqft
- B: WD/2sOP
84 sqft
- C: WD/2sOP
208 sqft
- D: RG1
180 sqft

House
(3rd Floor Deck)



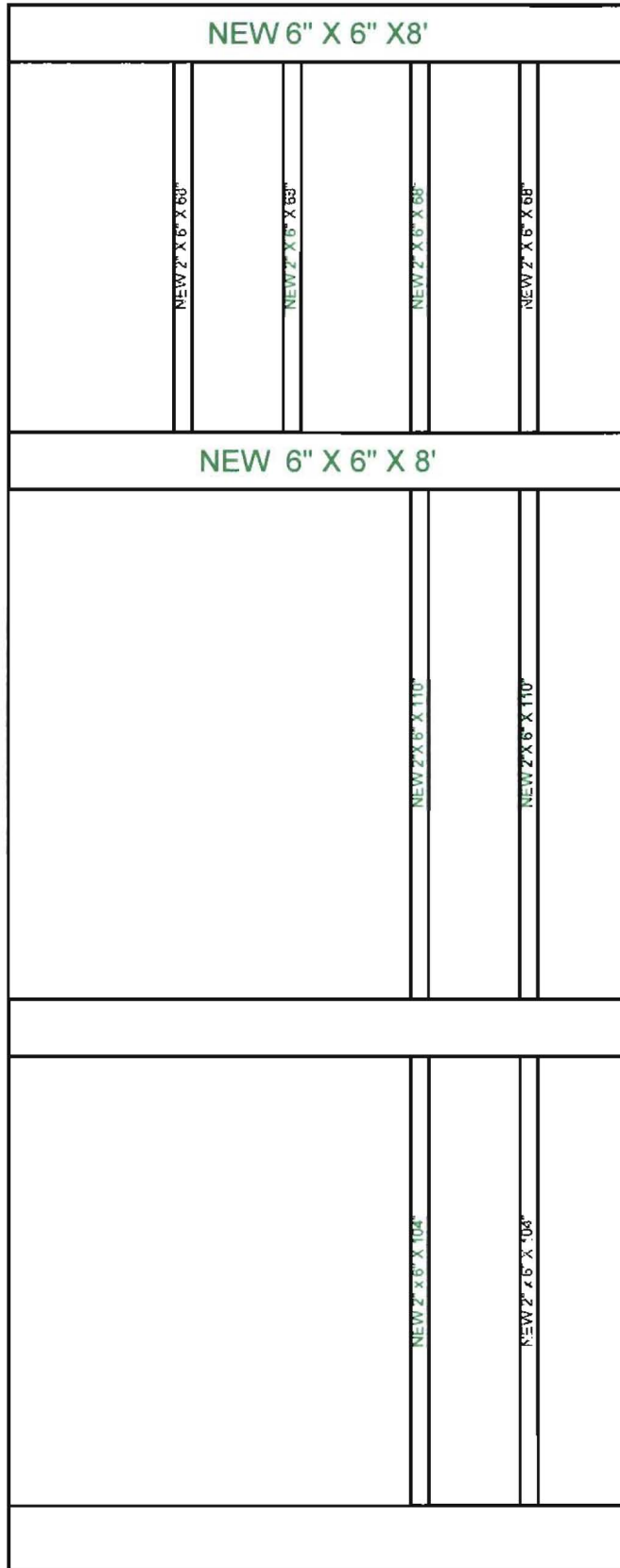
8

Street 8

26'

8

House
(2nd Floor Deck)





Replacing 2nd and 3rd floor Decks
in Kind. Actual Decks will be 1x4
Tongue & Groove Douglas fir and Joists
and Girders will be replaced as
necessary