



General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 196 WHITNEY AVENUE		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot .18± ACRES	Number of Stories 2.5
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 186 A B 21	Applicant: (must be owner, lessee or buyer) Name MARY BUTEYH/BARRY HOSMER Address 196 WHITNEY AVE. City, State & Zip PORTLAND ME 04102	Telephone: 207-874-0248
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>10,000</u> C of O Fee: \$ <u>120</u> Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>120</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: REPLACE A FLAT EPDM ROOF WITH A PEAK ROOF OF 195± SF. AND A SHED ROOF OF 44± SF.		
Contractor's name: <u>SNOW CONSTRUCTION INC</u> Email: _____ Address: <u>144 WATKINS SHORE RD</u> JSNOWCONSTRUCTION@MAINE.COM City, State & Zip <u>CASCO, ME 04015</u> Telephone: <u>207-671-0319</u> Who should we contact when the permit is ready: <u>BARRY HOSMER</u> Telephone: <u>207-874-0248</u> Mailing address: <u>196 WHITNEY AVENUE, PORTLAND ME. 04102</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: **10/12/12**

This is not a permit; you may not commence ANY work until the permit is issued



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams **N/A**
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing **N/A**
- Window and door schedules **N/A**
- Foundation plans w/required drainage and damp proofing (if applicable) **N/A**
- Detail egress requirements and fire separation/sound transmission ratings (if applicable) **N/A**
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009 **EXISTING INSULATION**
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions **N/A**
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

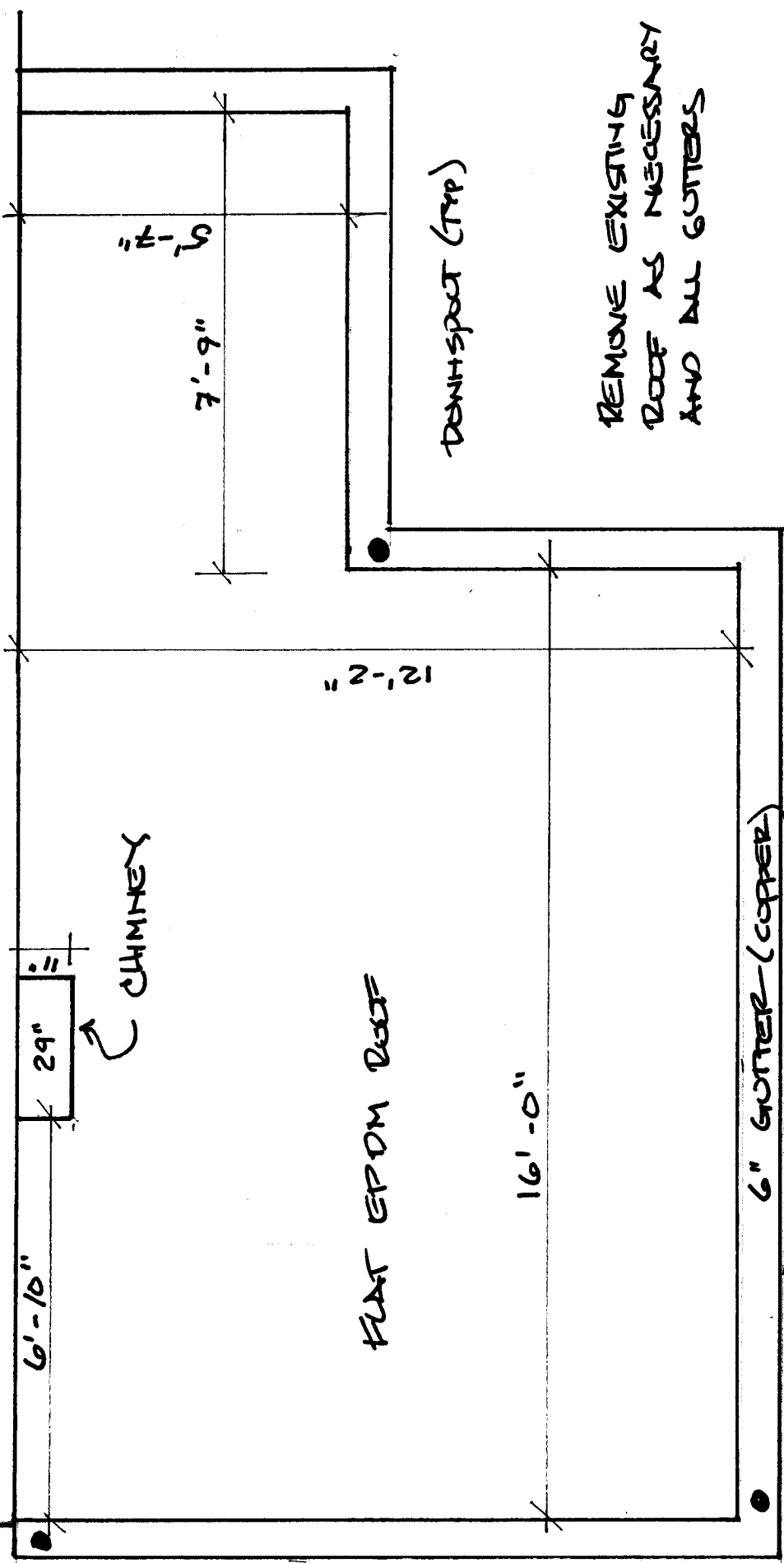
- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



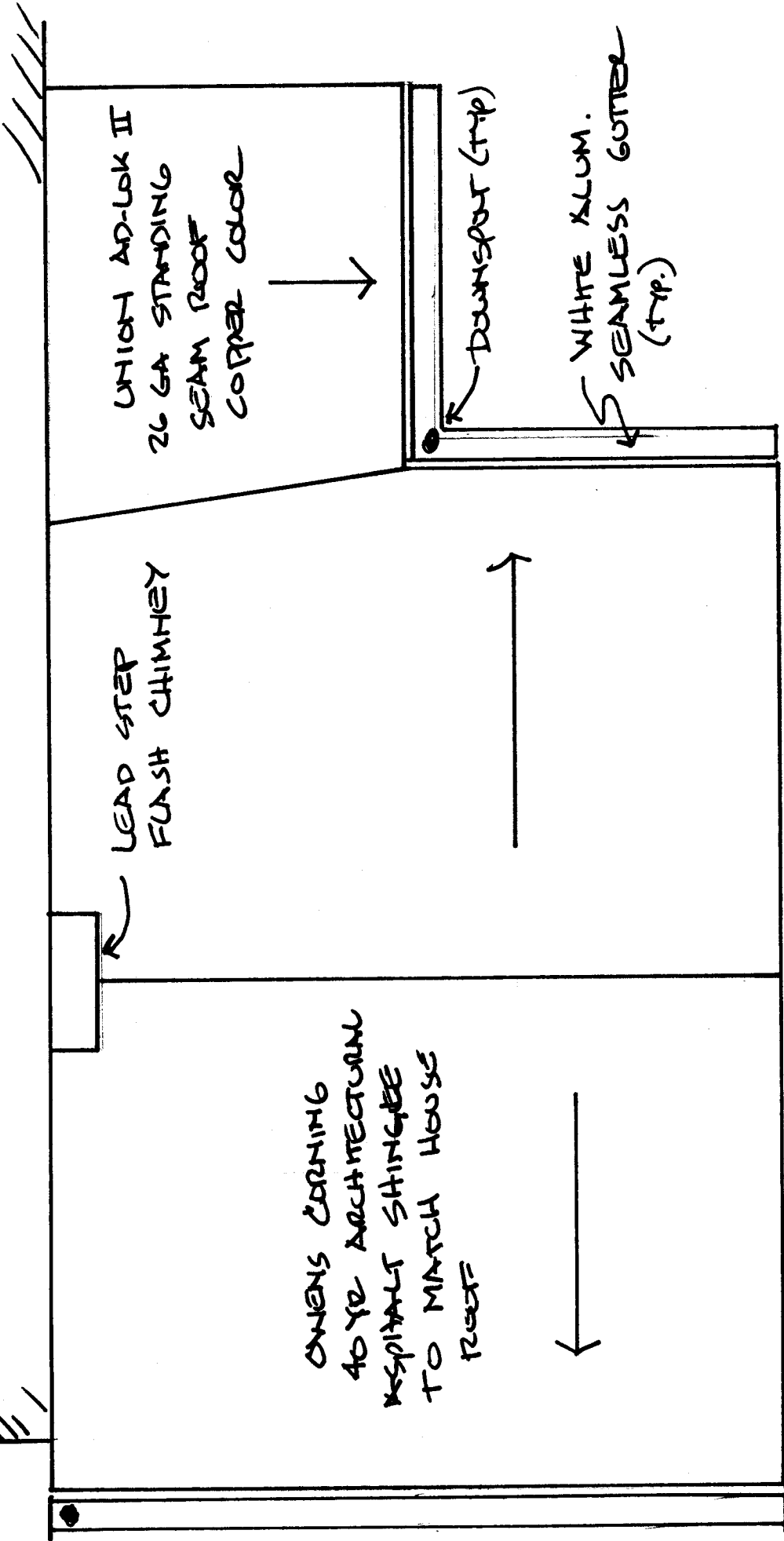
EXISTING ROOF PLAN

$3/8" = 1'-0"$

BOTEYN/HOSMER
196 WHITNEY AVE
PORTLAND

9/28/12

DWG / OF 5



PROPOSED ROOF PLAN

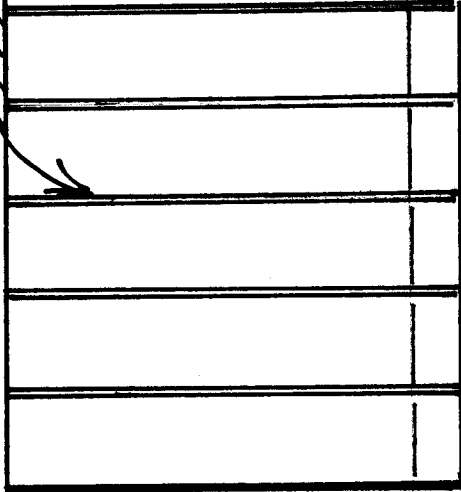
3/8" = 1'-0"

BUTRYN/HOSMER
196 WHITNEY AVE
PORTLAND

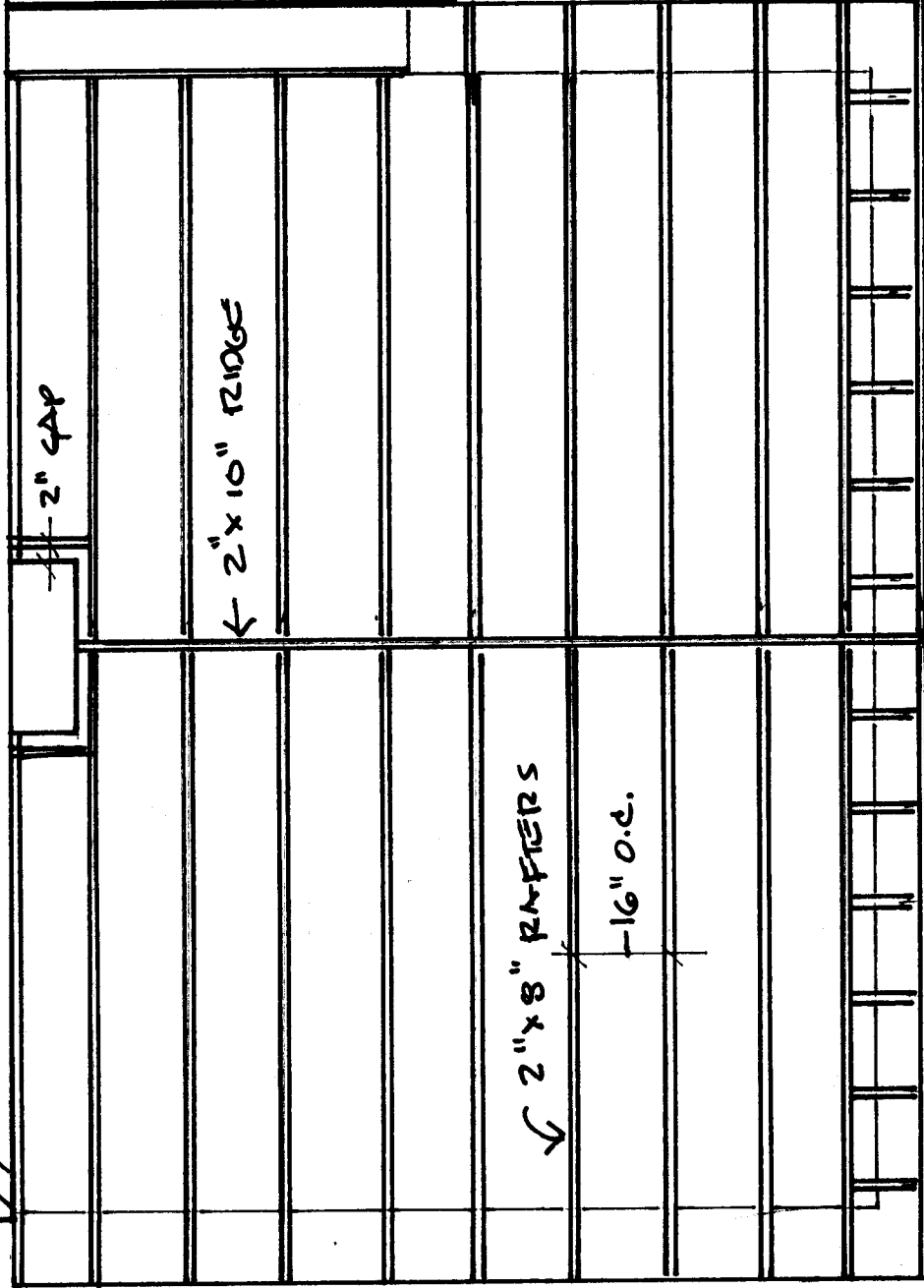
9/22/12

DWG 2 OF 5

SHIM EXISTING RAFTERS
TO MAXIMIZE PITCH



OVERHANG TO
MATCH HOUSE



RAKE OVERHANG TO MATCH
GABLE END OF HOUSE

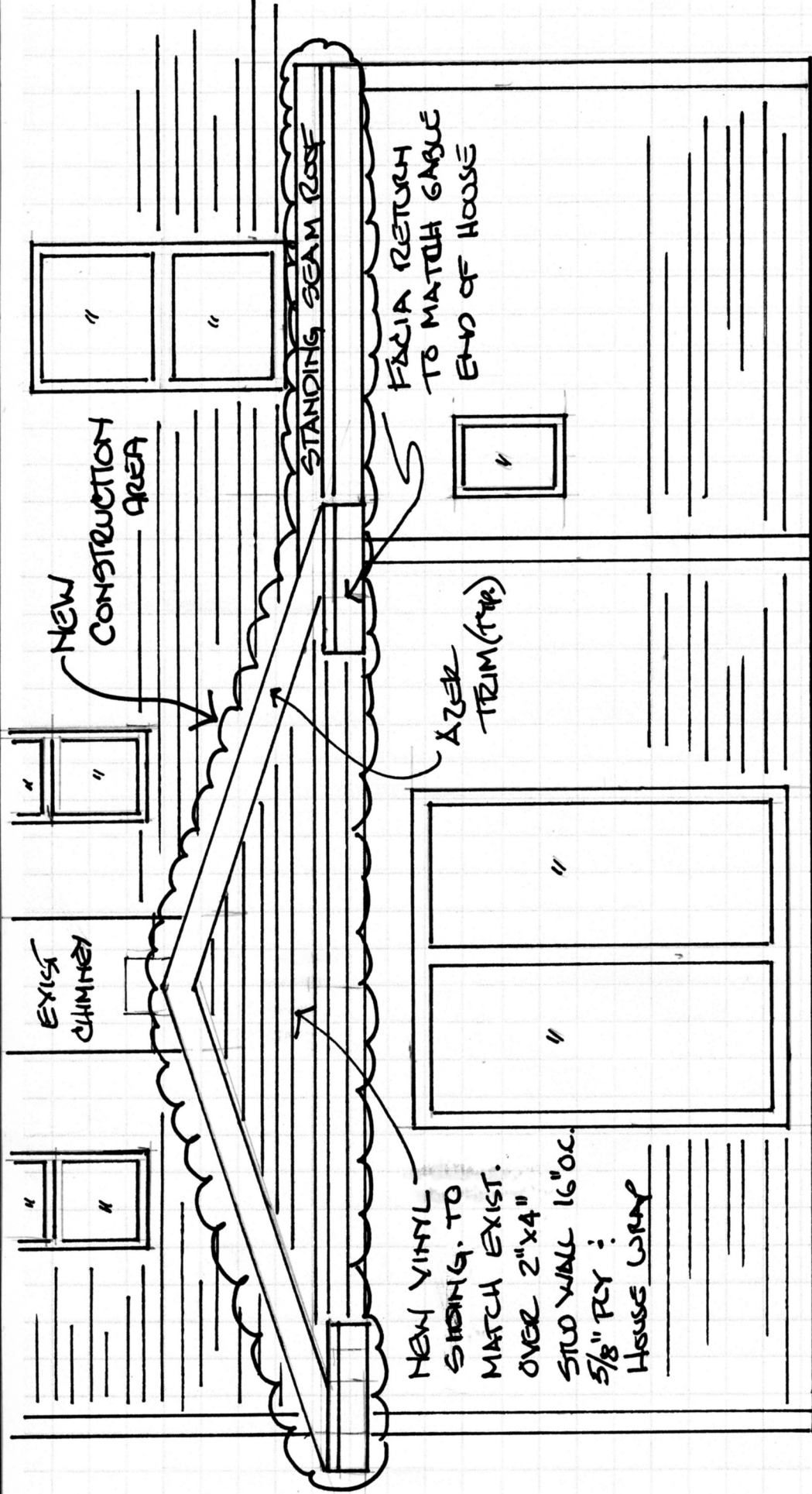
FRAMING PLAN

3/8" = 1'-0"

BUTERN/HOSMER
196 WHITNEY AVE
PORTLAND

9/28/12

DWG 3 OF 8



NEW ROOF/REAR ELEVATION

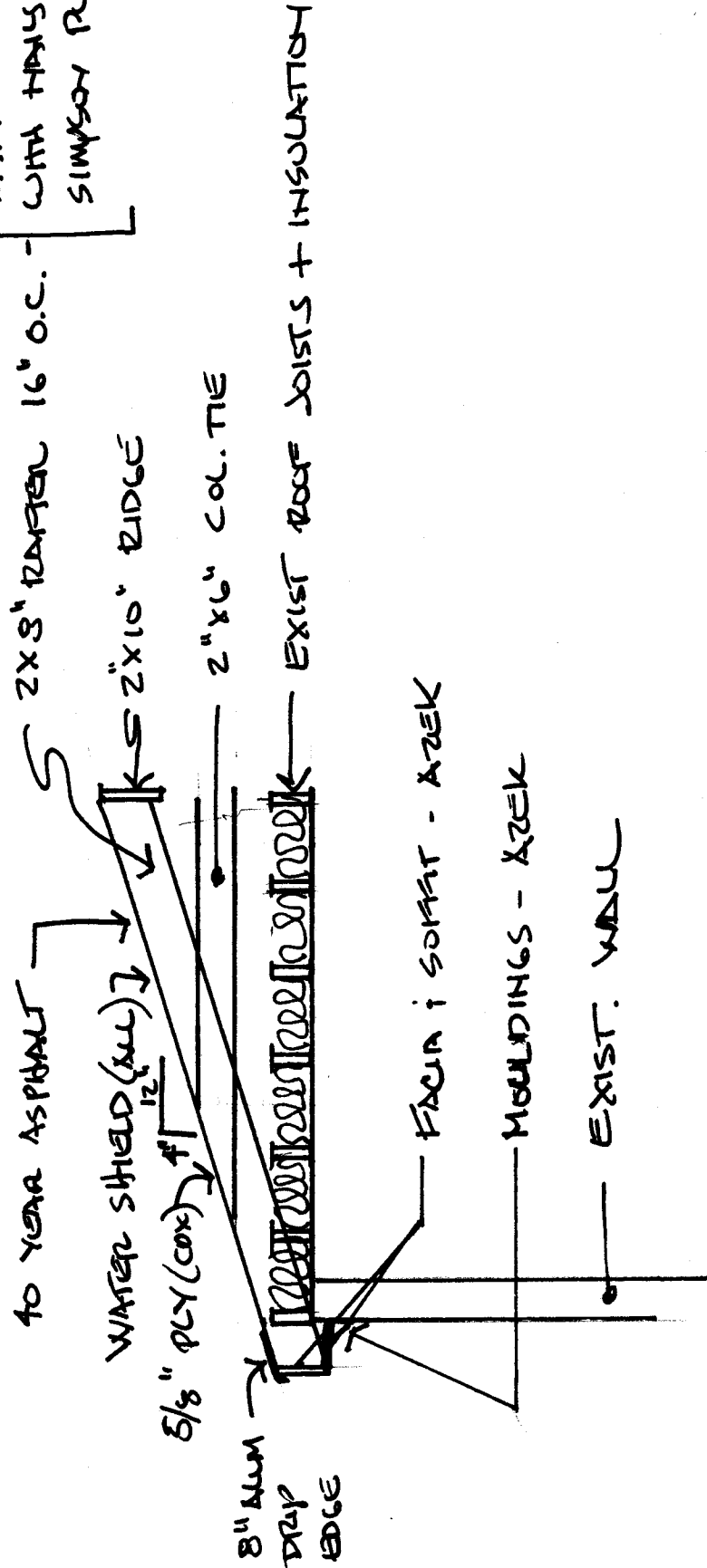
3/8" = 1'-0"

BUTERN/HOSMER
196 WHITNEY AVE
PORTLAND

9/28/12

DWG 4 OF 5

NOTCH PROPOSED
 RAFTER INTO EXIST.
 RAFTER - TIE TO EXIST.
 WITH NAILS OR
 SIMPSON PLATES



TYPICAL WALL SECTION

3/8" = 1'-0"

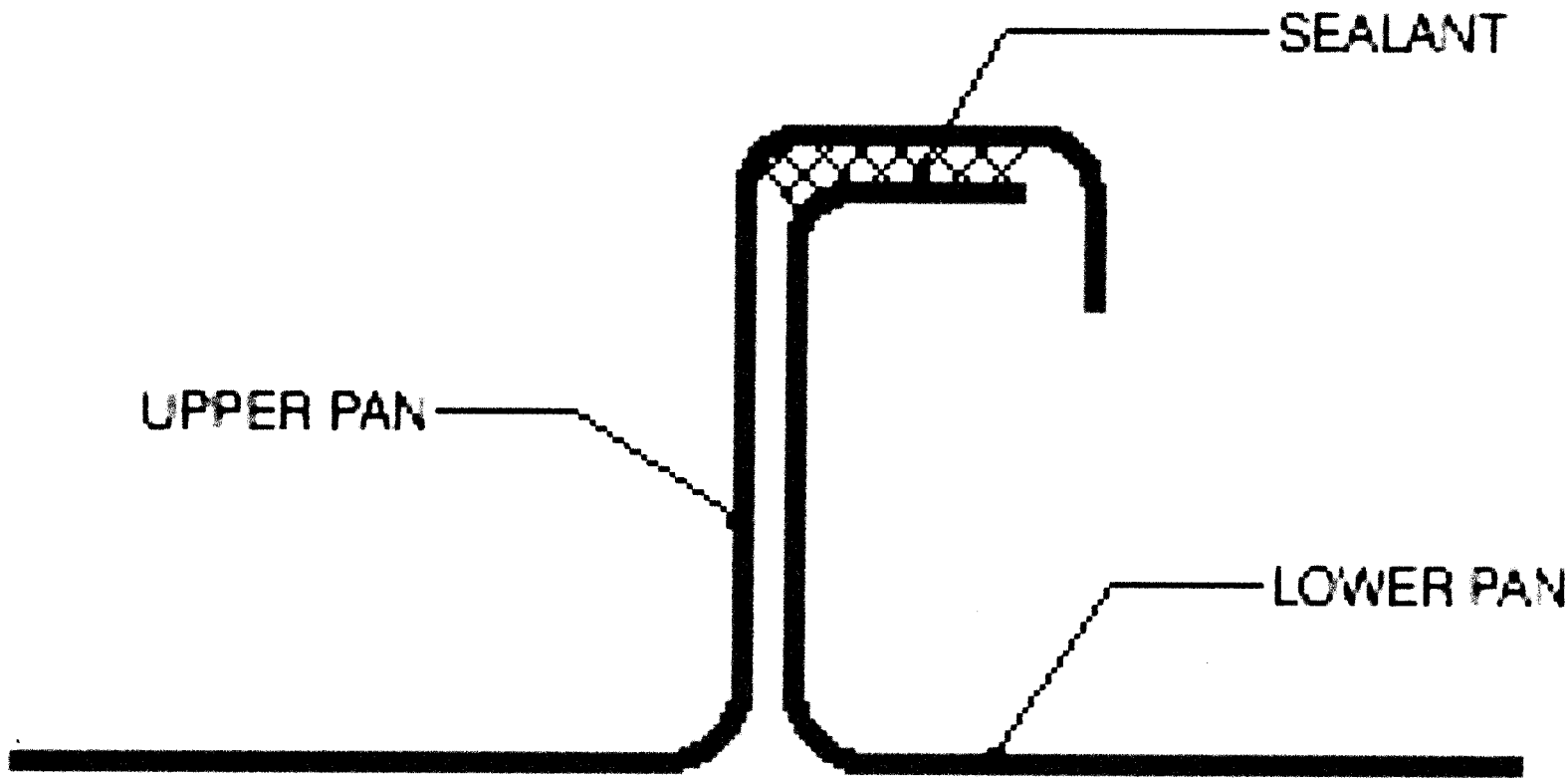
BUTRYN/HOSMER
 196 WHITNEY AVE
 PORTLAND

9/22/12
 DWG 5 OF 5

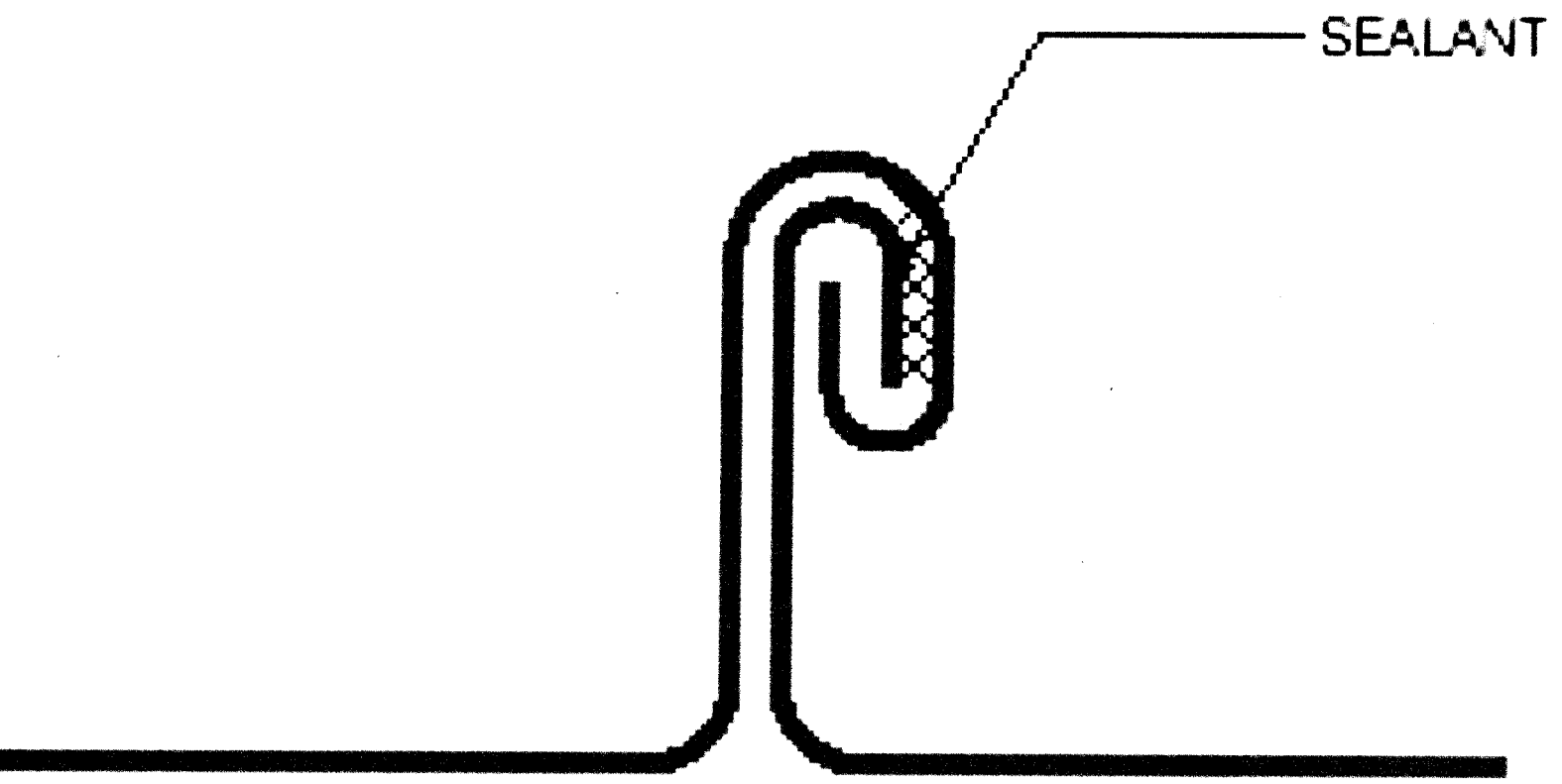








DURING CONSTRUCTION



COMPLETED SEAM

SHALLOW SLOPE
STANDING SEAM ROOF
DETAIL

4.2.E

SNOW CONSTRUCTION INC

ESTIMATE

144 WATKINS SHORES RD
CASCO, ME 04015

Date	Estimate #
8/17/2012	505

Phone # (207) 671 - 0319 JSNOW@SNOWCONSTRUCTIONOF...
Fax # (207) 858-7433 SNOWCONSTRUCTIONOFMAINE.C...

Name / Address
BARRY HOSMER 196 WHITNEY AVE PORTLAND, ME 04102

P.O. No.	Project
	REAR ROOF OP...

Description	Qty	Rate	Total
<p>INCLUDES:</p> <p>DEMO EXISTING COPPER GUTTERS</p> <p>DEMO EXISTING EPDM ROOF; PREP WALLS FOR RAFTERS</p> <p>INSTALL 2 X 8" RAFTERS; 16" O.C. WITH 2 X 10" RIDGE</p> <p>INSTALL SMALL SLOPED ROOF AT RIGHT SIDE WITH SMALL VALLEY INTO MAIN ROOF</p> <p>INSTALL NEW 5/8" ZIP ROOF SHEATHING; 7/16" ZIP WALL AT GABLE</p> <p>INSTALL GRACE ICE / WATERSHIELD AT COMPLETE ROOF & 18" UP HOUSE WALL</p> <p>INSTALL AZEK TRIM WORK AT NEW GABLE; FACIA & SOFFITS</p> <p>INSTALL NEW UNION AD-LOK II 26GA COPPER COLORED ROOFING AT MAIN ROOF & SMALL SLOPED ROOF WITH PROPER RAKE TRIM & DRIP EDGES (<i>Asphalt on Main Roof</i> http://www.unioncorrugating.com/AdvantageLokII.html)</p> <p>DISPOSAL</p>		10,150.00	10,150.00

THIS ESTIMATE IS GOOD FOR 30 DAYS.

Total	\$10,150.00
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