

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that ALBERT C JR THAYER

Located At 186 MASSACHUSETTS AVE

Job ID: 2012-08-4790-ALTR

CBL: 186A- F-014-001

has permission to Build 5' rear dormer

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Required Inspections:

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-08-4790-ALTR

Located At: 186
MASSACHUSETTS AVE

CBL: 186A- F-014-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. It is unclear from the numbers given (they don't add up) if the setbacks are being met or not. The dormer can be added under section 14-436(a). The first floor footprint is 1350 sf. The dormer is adding 10 sf which is a 1% increase in floor area well under the 50% increase allowed.

Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-08-4790-ALTR	Date Applied: 8/23/2012	CBL: 186A- F-014-001	
Location of Construction: 186 MASSACHUSETTS AVE	Owner Name: ALBERT C THAYER JR	Owner Address: 186 MASSACHUSETTS AVE PORTLAND, ME 04102	Phone: 207-874-0344
Business Name:	Contractor Name: Bear Builders - Jason Simmons	Contractor Address: 169 State Park Rd., Casco, ME 04015	Phone: 207-449-5421
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-5
Past Use: Single family	Proposed Use: Same - Single family - build 5' dormer on rear of house to match the dormer in the front	Cost of Work: 5000.00	CEO District:
		Fire Dept: Approved Denied N/A	Inspection: Use Group: R-3 Type: SB IRCOG
Proposed Project Description: 5' x 7' dormer in rear		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <i>- using section 14-436(a)</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>dormer is adding 10% off for area</i> <input type="checkbox"/> Site Plan ___ Maj ___ Min ___ MM Date: <i>OK w/ conditions 8/30/12 ABM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

R-5.

2012 08 4790 66



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>106 Cumberland Mass Ave</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot <u>5460</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>186</u> Block# <u>AF</u> Lot# <u>014</u>	Applicant: (must be owner, lessee or buyer) Name <u>ALTHAYER, R. (Albert)</u> Address <u>106 Cumberland Ave</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>874-0314</u>
Lessee/DBA RECEIVED AUG 23 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$4500</u> C of O Fee: <u>\$</u> Historic Review: <u>\$</u> Planning Amin.: <u>\$</u> Total Fee: <u>\$</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>5x7 DORMER INSIDE ALL EXTERIOR SIDES</u> <u>Ladders added.</u>		
Contractor's name: <u>BEAN BUILDERS</u>		Email: _____
Address: <u>169 STATE ROAD RD</u>		<u>Cell phone</u>
City, State & Zip: <u>CAROL ME 04015</u>		Telephone: <u>449-5421</u>
Who should we contact when the permit is ready: <u>Jason Simmons</u>		Telephone: <u>449-5421</u>
Mailing address: <u>169 STATE ROAD RD</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: Aug 23, 2012

This is not a permit; you may not commence ANY work until the permit is issued

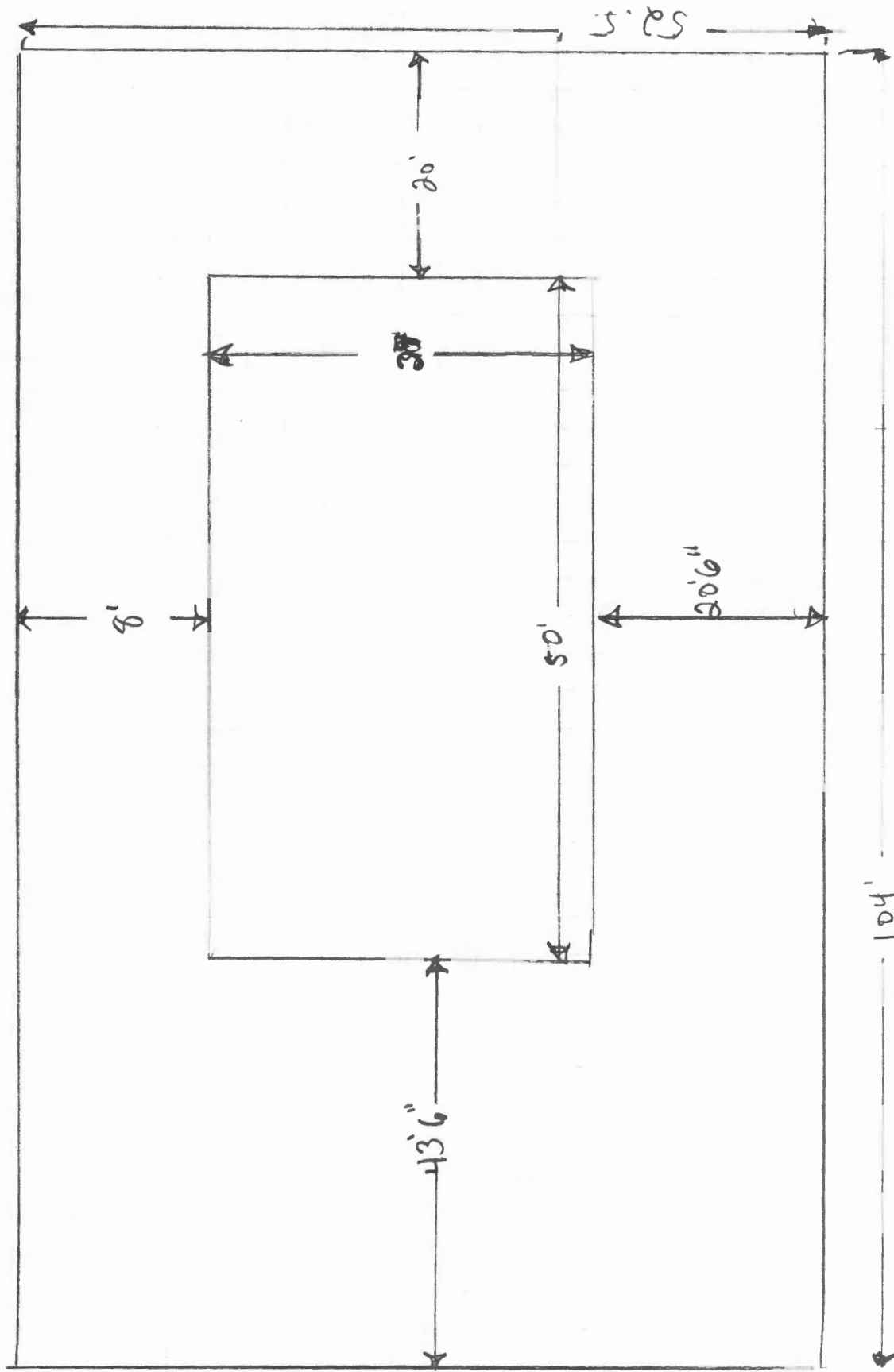
R-5 zone

lot size - 5460 ϕ

- the lot is 52.5' wide - if add up about 5' more - the lot would be 57.5' wide.
* the setbacks don't add up. - the lot is 104' deep - has to be 100 - if add up setbacks - the lot would be 113.5' deep

Chart # 186 Block # AF Lot # 014

SITE PLAN



104' -
* if we section 14-4366 - 1st floor is 1350 ϕ

- decker is adding - 2' x 5' - 10' which is 10% increase

So ok.

Existing Roof

2x10 Nail in

2x6 Ceiling Joist

2x8 RAFTER
16' oc

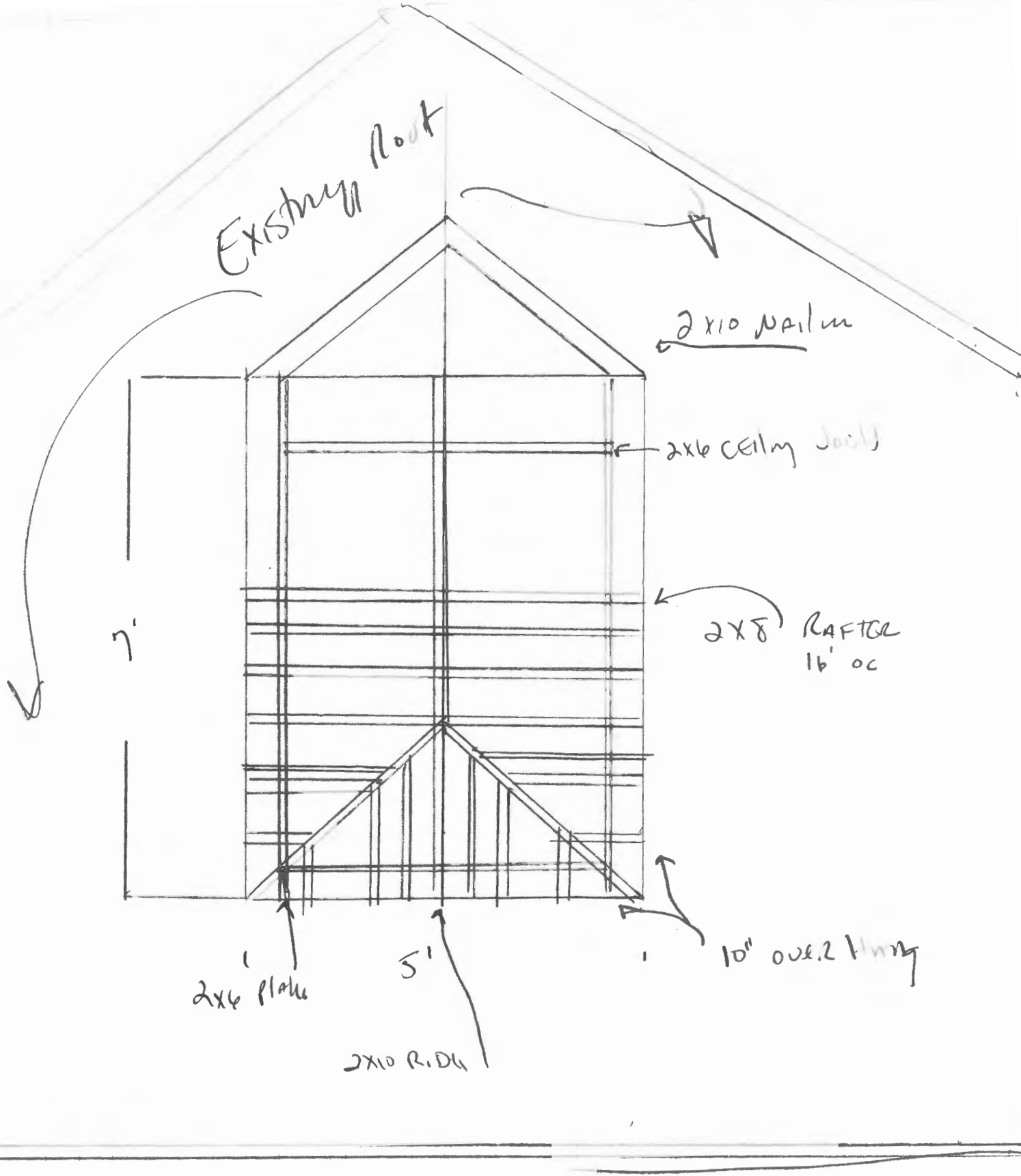
10" OVER HUNG

2x6 Plate

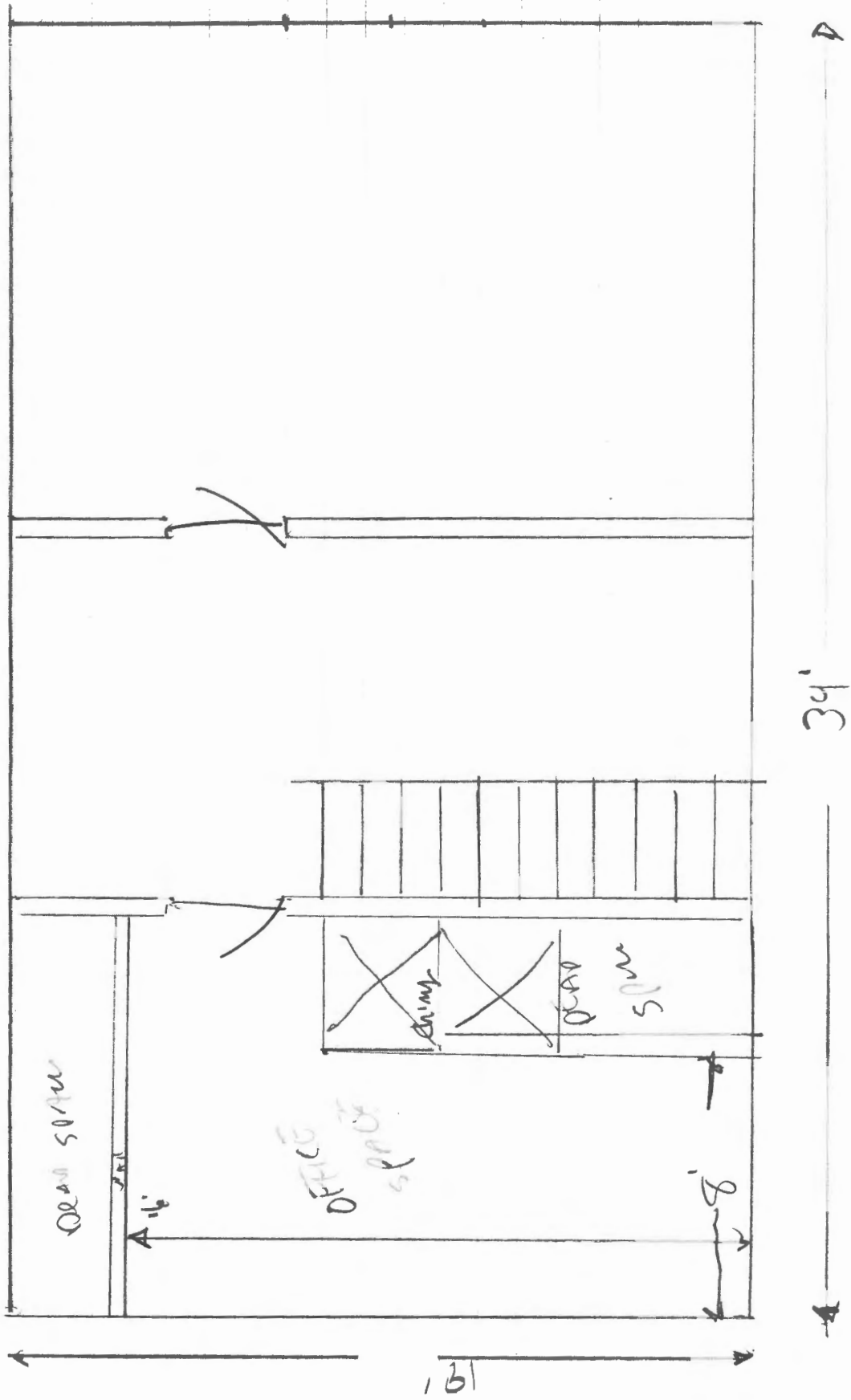
5'

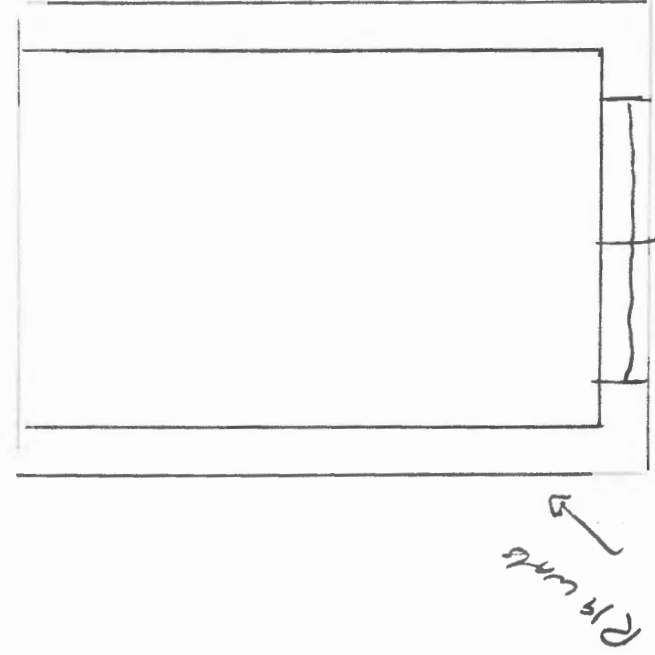
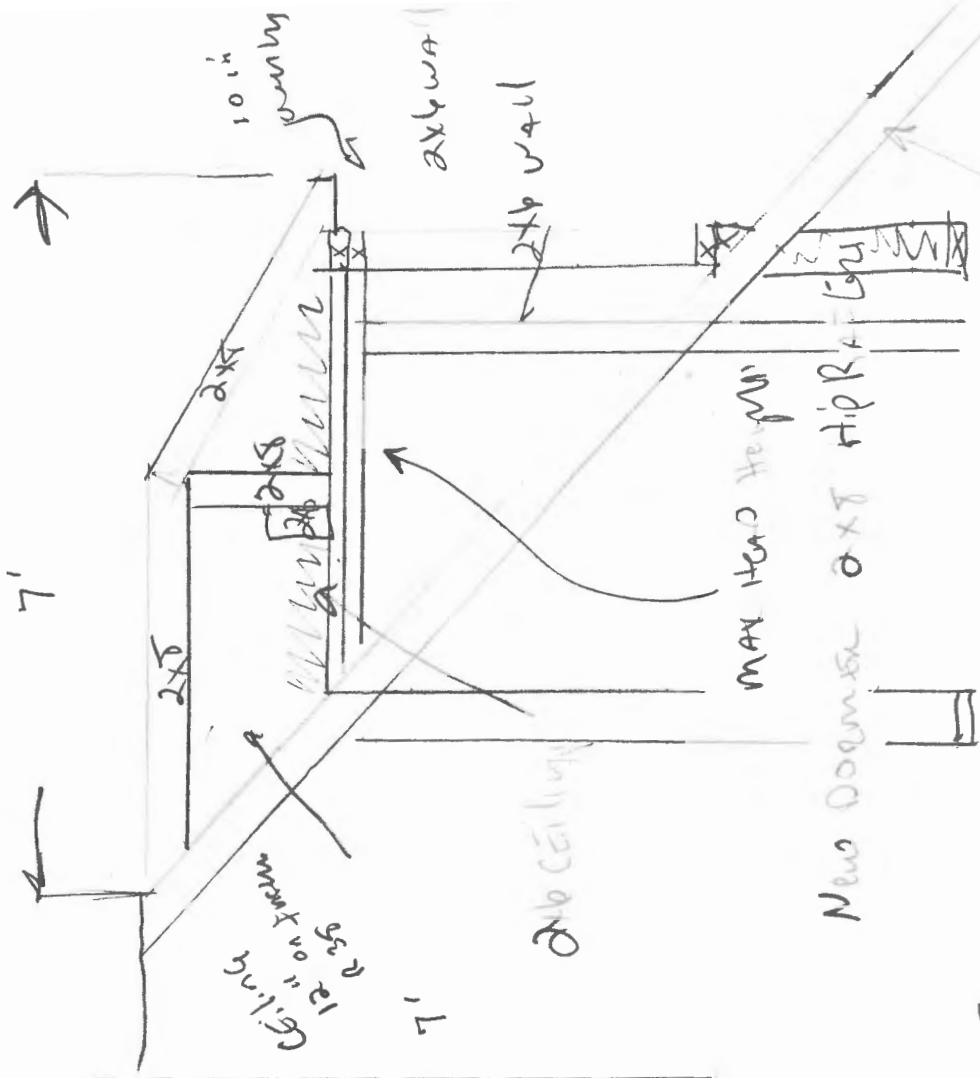
2x10 R.D.G.

7'



2nd Floor layout





5'

176 MASSACHUSETTS AVE

EX-SH FLOORING



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Receipts Details:

Tender Information: Check , BusinessName: Jason W. Simmons, Check Number: 1500
Tender Amount: 70.00

Receipt Header:

Cashier Id: gguertin
Receipt Date: 8/23/2012
Receipt Number: 47455

Receipt Details:

Referance ID:	7771	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	70.00	Charge Amount:	70.00
Job ID: Job ID: 2012-08-4790-ALTR - 5' x 7' dormer			
Additional Comments: 186 Mass. Ave, Jason W. Simmons			

Thank You for your Payment!