

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070409

This is to certify that THOMPSON-BROWN SUSAN & MICHAEL THOMPSON RO

has permission to 20' x 12' single story 12' x 26' addition

AT 139 BOLTON ST 186A E007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is lashed or enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0409		Issue Date:	CBL: 186A E007001
Location of Construction: 139 BOLTON ST	Owner Name: THOMPSON-BROWN SUSAN &	Owner Address: 139 BOLTON ST	Phone:
Business Name:	Contractor Name: Weigel Construction	Contractor Address: 12 Madokawando Landing Falmouth	Phone: 2077764635
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: 55
Past Use: Single Family	Proposed Use: Single Family 20' x 12' single story 12' x 20' addition <i>on rear</i>	Permit Fee: \$620.00	Cost of Work: \$60,000.00
Proposed Project Description: 20' x 12' single story 12' x 20' addition <i>on rear</i> . 28.5' x 17'		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC - 2003</i>
		Signature:	Signature: <i>5/15/07 [Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
		Signature: Date:	
Permit Taken By: dmartin	Date Applied For: 04/17/2007	Zoning Approval	
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/conditions</i> Date: <i>4/27/07 [Signature]</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0409	Date Applied For: 04/17/2007	CBL: 186A E007001
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Location of Construction: 139 BOLTON ST	Owner Name: THOMPSON-BROWN SUSAN &	Owner Address: 139 BOLTON ST	Phone:
Business Name:	Contractor Name: Weigel Construction	Contractor Address: 12 Madokawando Landing Falmouth	Phone (207) 776-4635
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family - 12' x 28.5' addition on rear of house	Proposed Project Description: 12' x 28.5' addition on rear of house
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 04/27/2007
Note: **Ok to Issue:**

- 1) This permit is for the addition on the rear of the house only.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 05/15/2007
Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Fastener schedule per the IRC 2003
- 3) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 4) Glazing in stairwell area and with-in 60" of bottom stair to be tempered CSH
- 5) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.



Comments:

4/26/2007-amachado: Spoke to Ben Weigel, the contractor. Told him that the proposed addition to the front porch does not meet the front setback. He told me that the permit (and his job) is only to do the addition on the rear. I called the owner and left a message to confirm that the permit is only for the addition on the rear.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>139 Bolton ST,</u>		
Total Square Footage of Proposed Structure <u>220 sq'</u>	Square Footage of Lot <u>4710 sq'</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>186A E 7</u>	Owner: <u>Susan + Michael Thompson - Brown</u>	Telephone: <u>207-450-1666</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone:  WEIGEL CONSTRUCTION INC. 12 MADOKAWANDO LANDING FALMOUTH, MAINE 04105	Cost Of Work: \$ <u>60,000.</u> Fee: \$ <u>620.00</u> C of O Fee: \$ <u>N/A</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>add 200 (20' x 12') (1) storey addition to existing kitchen.</u> <u>28.5' x 12' addition including deck.</u>		
Contractor's name, address & telephone: <u>Ben Weigel, President</u> Please Mail To: Who should we contact when the permit is ready: _____ Mailing address: _____ Phone: <u>207-776-4635</u>  WEIGEL CONSTRUCTION INC. 12 MADOKAWANDO LANDING FALMOUTH, MAINE 04105		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 4/13/07

This is not a permit; you may not commence ANY work until the permit is issued.



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.**



Permitting By Appointment

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects. Under this new program, you may be eligible to receive a building permit on the day you have a scheduled appointment with Inspection staff.

This permitting program applies only to existing one and two family homes not located within a historic district or shore land zone.

Eligible Projects

Please submit a complete application with the required plans

- Interior renovations, gut rehabs including structural changes
- Attached and detached garages
- Additions, decks, sheds, pools, dormers
- Rebuild of any exterior structure listed above

Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

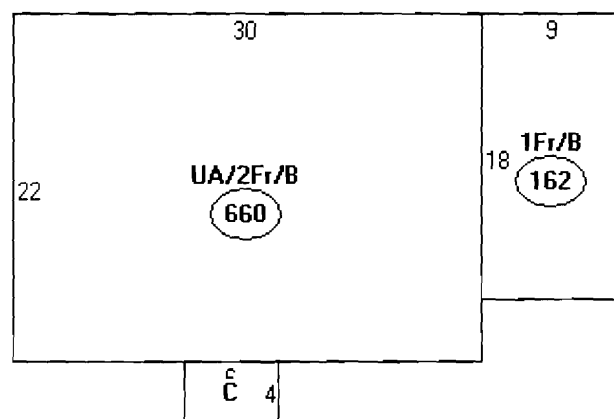
Signature of applicant:

Date:

4/13/07

This is not a permit; you may not commence ANY work until the permit is issued.





Descriptor/Area

A: UA/2Fr/B
660 sqft

B: 1Fr/B
162 sqft

C: OFP
24 sqft

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 186A E007001
Location 139 BOLTON ST
Land Use SINGLE FAMILY

Owner Address THOMPSON-BROWN SUSAN & MICHAEL THOMPSON-BROWN JTS
 139 BOLTON ST
 PORTLAND ME 04102

Book/Page 24652/164
Legal 186A-E-7
 BOLTON ST 137-139
 4710 SF

Current Assessed Valuation

Land	Building	Total
\$85,400	\$111,800	\$197,200

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1925	Colonial	2	1482	0.108	4	1		7	Unfin	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
12/12/2006	LAND + BLDING	\$197,200	24652-164
11/16/2001	LAND + BLDING		16967-314

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!



Thompson/Brown
Staff Review Checklist

CBL - 186AE007
139 Bolton St.

One & Two Family	Plan Review	Checklist
Soil type/Presumptive Load Value (Table R401.4.1)		
Component	Submitted Plan	Findings/Revisions/Dates
Structural		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	12x24 ✓	
Foundation Drainage, Fabric, Damp Proofing (Section R405 & R406)	✓ Pipe wrapped w/ fabric	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY		
Anchor Bolts/Straps, Spacing (Section R403.1.6)		
Lally Column Type (Section R407) Girder & Header Spans (Table R 502.5(2))	N/A	
Built-Up Wood Center Girder Dimension/Type	N/A	
Sill/Band Joist Type & Dimensions	2x12	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x12 @ 17" O.C ✓ cantilevered	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	N/A	
Attic or Additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) & R802.4(2))	N/A	

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	3/12 +/- 2x10 16. o.c ✓ on Ledger	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8" sheathing	
Fastener Schedule (Table R602.3(1) & (2))	✓	
Private Garage (Section R309)		
Living Space? (Above or beside)	N/A	
Fire Separation (Section R309.2)		
Opening Protection (Section R309.1)		
Emergency Escape and Rescue Openings. (Section R310)		
Roof Covering (Chapter 9)		
Safety Glazing (Section R308)	Door @ Landing sidelite tempered	✓ Need window + door sched.
Attic Access (Section R807)	✓	
Chimney Clearances/Fire Blocking (Chap. 10)	✓	
Header Schedule (Section 502.5(1) & (2))	✓	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R-30 R-30 cantilever R-19	
Type of Heating System		

<p>Means of Egress (Sec R311 & R312)</p> <p>Basement</p> <p>Number of Stairways</p> <p>Interior ✓</p> <p>Exterior</p> <p>Treads and Risers (Section R311.5.3) 73/4 10</p> <p>Width (Section R311.5.1)</p> <p>Headroom (Section R311.5.2) 6-8</p> <p>Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)</p>	<p>)</p>	
<p>Smoke Detectors (Section R313)</p> <p>Location and Type/Interconnected</p>		
<p>Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)</p>		
<p>Deck Construction (Section R502.2.1)</p>		

THOMPSON-BROWN RESIDENTIAL ADDITION

139 Bolton Street, Portland,

MARCH 2007 - BUILDERS SET OF DR.

List of Drawings

ARCHITECTURAL

Cover

A-10 Overall First Level Plan - Partial Site Plan

A-11 First Level Plan

A-12 Roof Plan

A-13 Basement/Fnd Level Plan

A-20 North & South Elevations

A-21 East & West Elevations

A-30 Building Section

A-31 Building Section

A-32 Building & Wall Section

A

BRADLEY
STRUCTURAL
ENGINEERING
BS E

Bradley Structural Eng
Four Sarah Liberty
Scarborough, Maine
tel. (207) 510-7
fax (207) 510-71



Location Map

Ownership of Instruments Disclaimer

THE CLIENT ACKNOWLEDGES THAT ARCADIA DESIGNWORKS CONSTRUCTION DOCUMENTS AS INSTRUMENTS OF PROFESSIONAL SERVICE. NEVERTHELESS, THE PLANS AND SPECIFICATIONS SHALL BECOME THE PROPERTY OF THE CLIENT UPON COMPLETION OF THE WORK AND PAYMENT IN FULL OF ALL MONIES DUE TO ARCADIA DESIGNWORKS. THE CLIENT SHALL NOT REUSE OR MAKE ANY MODIFICATIONS TO THE PLANS AND SPECIFICATIONS WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF ARCADIA DESIGNWORKS. THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD ARCADIA DESIGNWORKS HARMLESS FROM ANY CLAIM, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS) ARISING OR ALLEGEDLY ARISING OUT OF ANY UNAUTHORIZED REUSE OR MODIFICATION OF THE CONSTRUCTION DOCUMENTS BY THE CLIENT OR ANY PERSON OR ENTITY THAT ACQUIRES OR OBTAINS THE PLANS AND SPECIFICATIONS FROM OR THROUGH THE CLIENT WITHOUT THE WRITTEN AUTHORIZATION OF ARCADIA DESIGNWORKS.

AS-BUILT CONDITIONS & OWNER SUPPLIED INFORMATION

ARCADIA DESIGNWORKS SHALL INDICATE TO THE CLIENT THE INFORMATION NEEDED FOR RENDERING OF SERVICES HEREUNDER. THE CLIENT SHALL PROVIDE TO ARCADIA DESIGNWORKS SUCH INFORMATION AS IS AVAILABLE TO THE CLIENT AND THE CLIENT'S CONSULTANTS AND CONTRACTORS, AND ARCADIA DESIGNWORKS SHALL BE ENTITLED TO RELY UPON THE ACCURACY AND COMPLETENESS THEREOF. THE CLIENT RECOGNIZES THAT IT IS IMPOSSIBLE FOR ARCADIA DESIGNWORKS TO ASSURE THE ACCURACY, COMPLETENESS AND SUFFICIENCY OF SUCH INFORMATION, EITHER BECAUSE IT IS IMPOSSIBLE TO VERIFY AS-BUILT CONDITIONS, OR BECAUSE OF ERRORS OR OMISSIONS WHICH MAY HAVE OCCURRED IN ASSEMBLING THE INFORMATION GATHERED ON-SITE OR PROVIDED BY THE CLIENT. ACCORDINGLY, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD ARCADIA DESIGNWORKS AND ARCADIA DESIGNWORKS SUB-CONSULTANTS HARMLESS FROM ANY CLAIM, LIABILITY OR COST (INCLUDING REASONABLE ATTORNEYS' FEES AND COSTS OF DEFENSE) FOR INJURY OR LOSS ARISING OR ALLEGEDLY ARISING FROM ERRORS, OMISSIONS OR INACCURACIES IN DOCUMENTS OR OTHER INFORMATION PROVIDED BY THE CLIENT TO ARCADIA DESIGNWORKS.

DESIGN WITHOUT CONSTRUCTION OBSERVATION DISCLAIMER

IT IS UNDERSTOOD AND AGREED THAT ARCADIA DESIGNWORKS BASIC SERVICES UNDER THIS AGREEMENT DO NOT INCLUDE PROJECT OBSERVATION OR REVIEW OF THE CONTRACTORS PERFORMANCE OR ANY OTHER CONSTRUCTION PHASE SERVICES, AND THAT SUCH SERVICES WILL BE PROVIDED BY THE CLIENT. THE CLIENT ASSUMES ALL RESPONSIBILITY FOR INTERPRETATION OF THE CONTRACT DOCUMENTS AND FOR CONSTRUCTION OBSERVATION AND SUPERVISION AND WAIVES ANY CLAIMS AGAINST ARCADIA DESIGNWORKS THAT MAY BE IN ANY WAY CONNECTED THERETO.

IN ADDITION, THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD ARCADIA DESIGNWORKS HARMLESS FROM ANY LOSS, CLAIM OR COST, INCLUDING REASONABLE ATTORNEYS' FEES AND COSTS OF DEFENSE, ARISING OR RESULTING FROM THE PERFORMANCE OF SUCH SERVICES BY OTHER PERSONS OR ENTITIES AND FROM ANY AND ALL CLAIMS ARISING FROM MODIFICATIONS, CLARIFICATIONS, INTERPRETATIONS, ADJUSTMENTS OR CHANGES MADE TO THE CONTRACT DOCUMENTS TO REFLECT FIELD CHANGES OR OTHER CONDITIONS, EXCEPT FOR CLAIMS ARISING FROM THE SOLE NEGLIGENCE OR WILLFUL MISCONDUCT OF ARCADIA DESIGNWORKS.

IF THE CLIENT REQUEST IN WRITING THAT ARCADIA DESIGNWORKS PROVIDE ANY SPECIFIC CONSTRUCTION PHASE SERVICES AND IF ARCADIA DESIGNWORKS AGREES IN WRITING TO PROVIDE SUCH SERVICES, THEN THEY SHALL BE COMPENSATED FOR AS ADDITIONAL SERVICES ON AN HOURLY BASIS OR THROUGH A NEGOTIATED FEE.

RS
near 20' req - 31' scaled
Side
1 1/2 x 8 req 8.75 on right
2 12 req 16 on left

lot coverage 45%
1884 sq ft
front 20' 14.75

existing 18.9 x 18 = 162
50 x 22 = 660
4 x 6 = 24
3.5 x 6 = 21

567

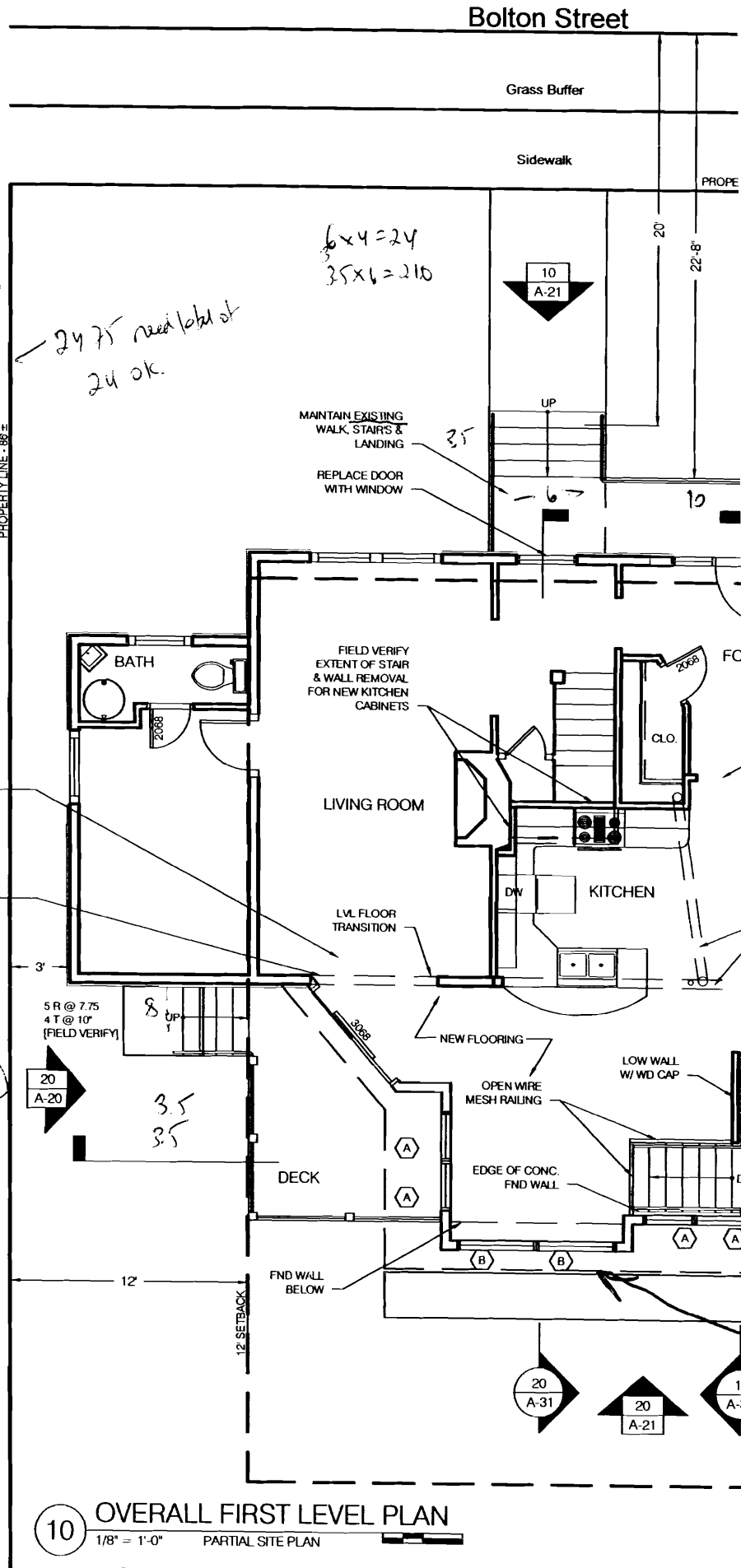
additional w/ deck

28.5 x 12 = 342
roof on 23 x 2.25 = 51.75

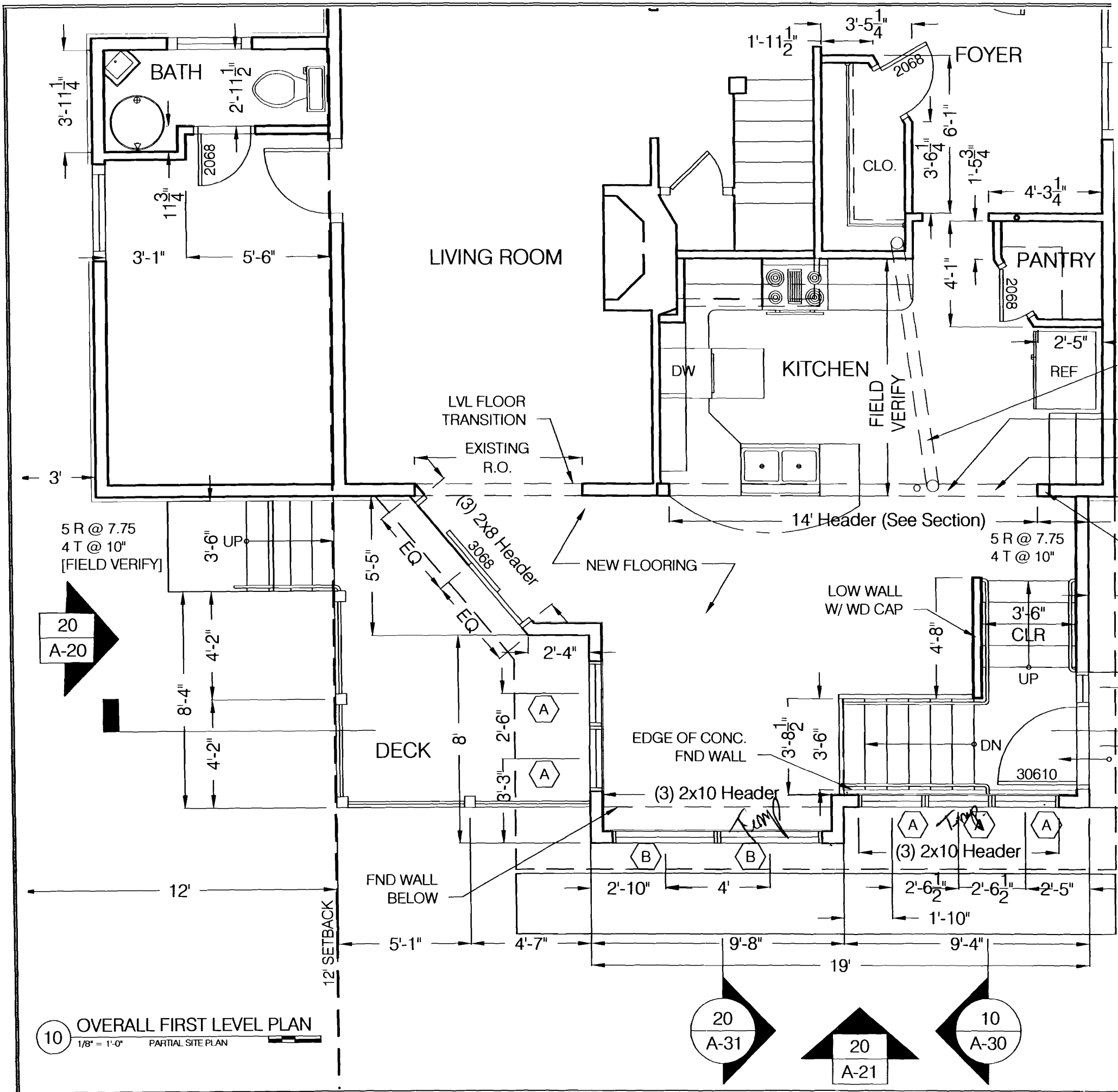
393.75
Steps 3.5 x 3.5 = 12.25

406

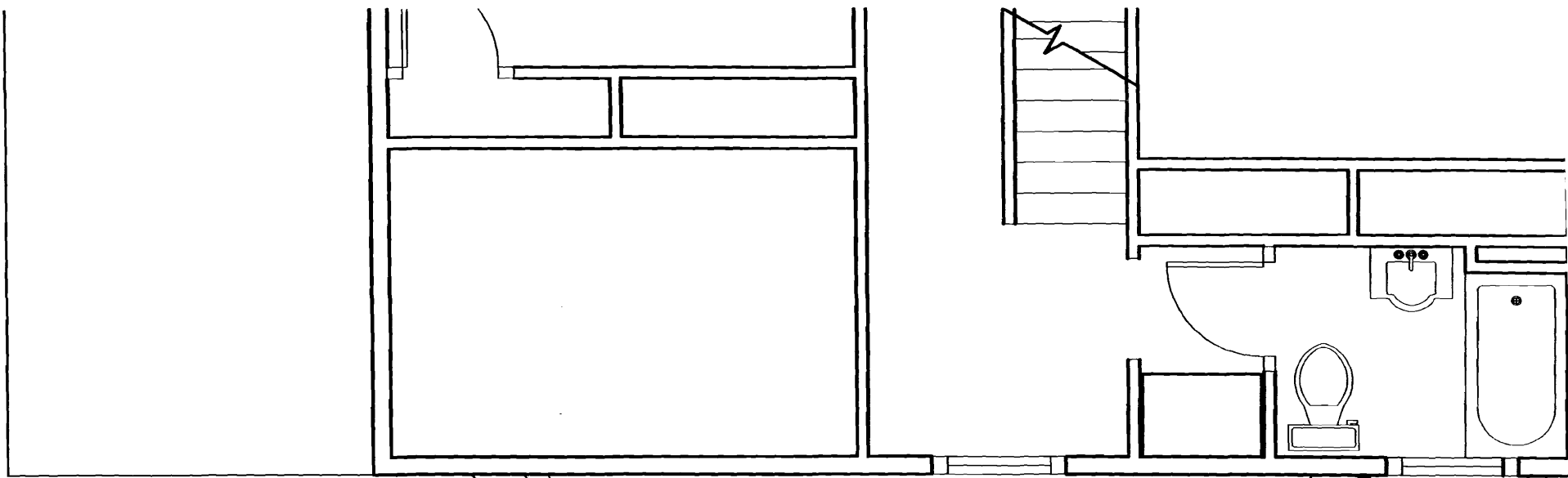
1273 total



10 OVERALL FIRST LEVEL PLAN
1/8" = 1'-0" PARTIAL SITE PLAN



10 OVERALL FIRST LEVEL PLAN
 1/8" = 1'-0" PARTIAL SITE PLAN



SLOPE 3:12 ±

1' OVERHANG

20
A-20

2'-10"

(3) 2x10 Header

1' OVERHANG

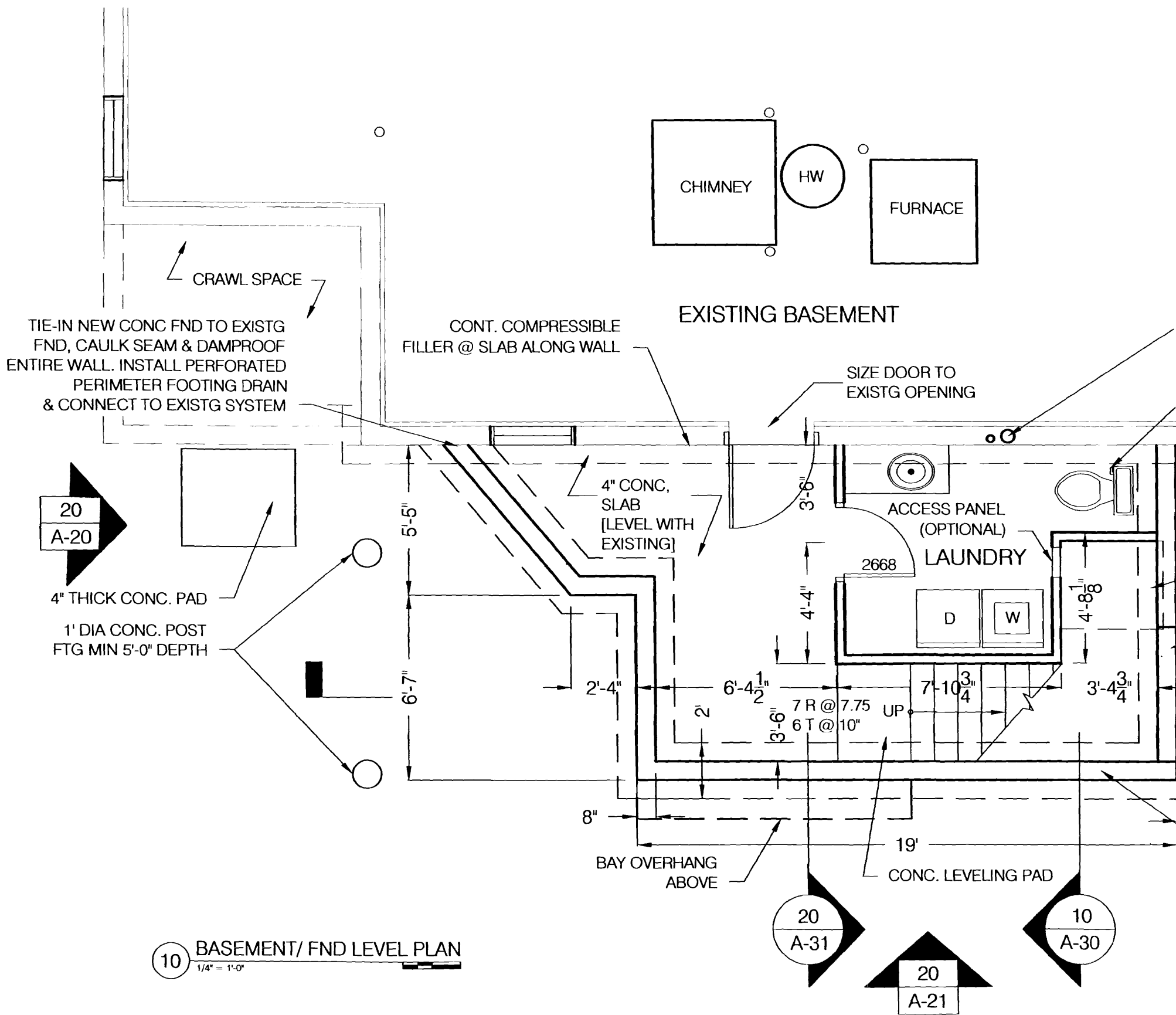
20
A-31

20
A-21

10
A-30

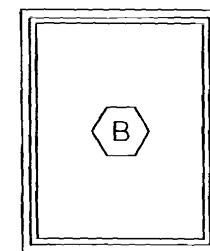
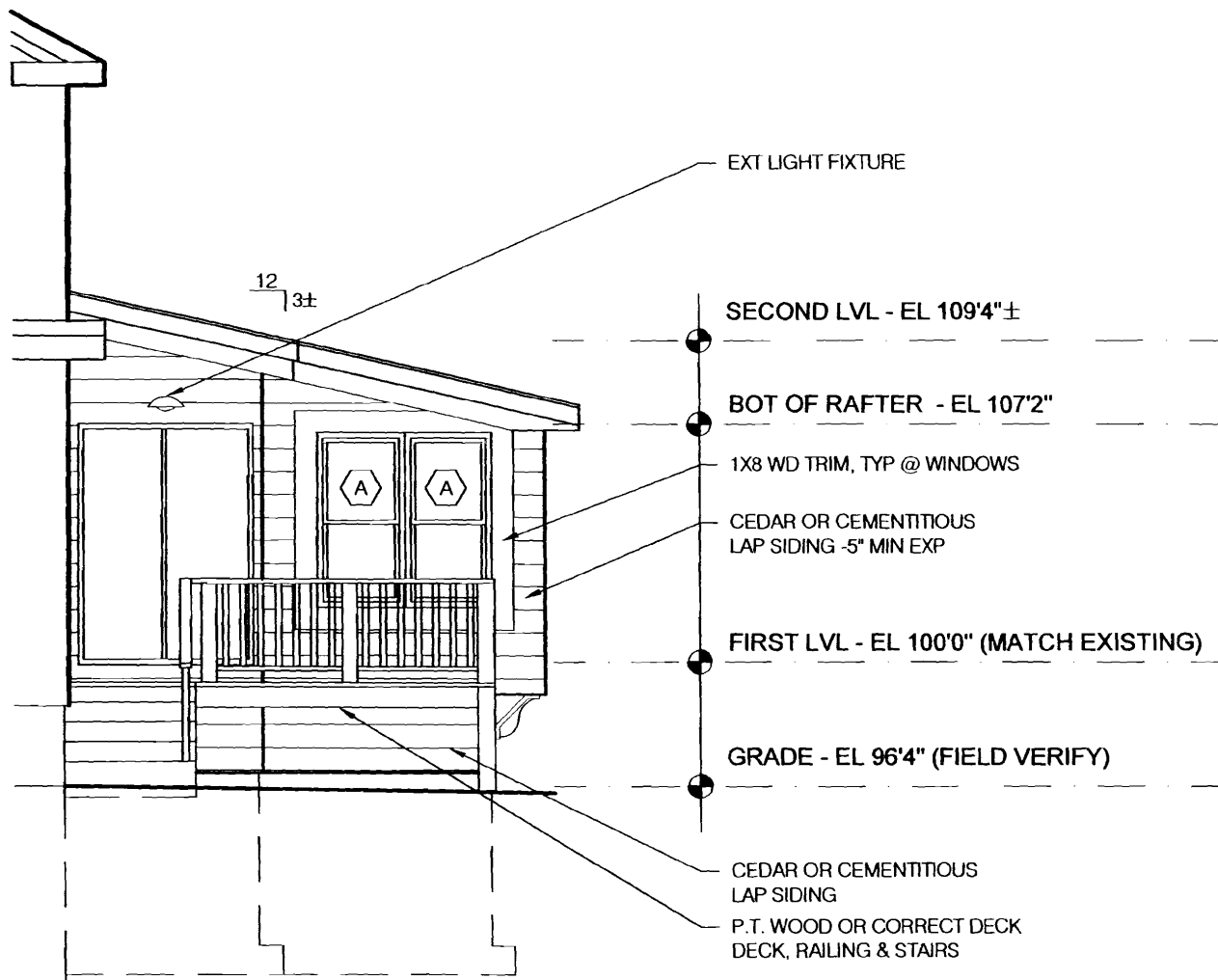
10 ROOF PLAN
1/4" = 1'-0"





10 BASEMENT/ FND LEVEL PLAN
 1/4" = 1'-0"

WINDOW PRO



48X61
FIXED

LOW-E, DOUBLE G

20 SOUTH ELEVATION

3/16" = 1'-0"

DESIGN NOTES [STRUCTURAL]

1. THIS BUILDING IS DESIGNED TO COMPLY WITH THE 2003 IBC INTERNATIONAL BUILDING CODE.
2. FLOOR LIVE LOADS ARE AS FOLLOWS:
 - A. RESIDENTIAL FLOORS = 40 PSF PLUS 10 PSF PARTITION ALLOWANCE
3. DEAD LOADS = ACTUAL WEIGHTS OF COMPONENTS PLUS 5 psf ALLOWANCE FOR MISCELLANEOUS ITEMS.
4. DESIGN FOR SNOW LOAD IS IN ACCORDANCE WITH ASCE7-2002, MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
 - A. GROUND SNOW LOAD $P_g = 50$ psf
 - B. FLAT ROOF SNOW LOAD $P_f = 37$ psf
 - C. SNOW EXPOSURE FACTOR $C_e = 1.0$
 - D. SNOW LOAD IMPORTANCE FACTOR: $I = 1.0$
 - E. THERMAL FACTOR $C_t = 1.1$
 - F. SNOW DRIFTING AND PARTIAL LOADING IN ACCORDANCE WITH ASCE7-2002.
5. DESIGN FOR WIND LOAD IS IN ACCORDANCE W/ASCE7-2002, MIN. DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES:
 - A. BASIC WIND SPEED: $V = 105$ mph
 - B. WIND LOAD IMPORTANCE FACTOR $I = 1.0$
 - C. WIND EXPOSURE = EXPOSURE C
 - D. WIND DESIGN PRESSURE:
 1. FOR THE MAIN WIND FORCE RESISTING SYSTEM:
 - $P = +21.5$ psf AT WINDWARD WALL
 - $P = -14.5$ psf AT LEEWARD WALL
 - $P = +22.7$ psf AT WINDWARD ROOF
 - $P = -18.6$ psf AT LEEWARD ROOF.
 2. FOR COMPONENTS AND CLADDING IN WALL CONSTRUCTION:
 - $P = +22$ psf; -29 psf AT 3'-0" FROM CORNERS
 - $P = +22$ psf; -24 psf BALANCE OF WALL

WOOD FASCIA & DRIP EDGE
TO MATCH EXISTING

CEDAR OR CEMENTITIOUS
LAP SIDING - 5" MIN EXPOSURE

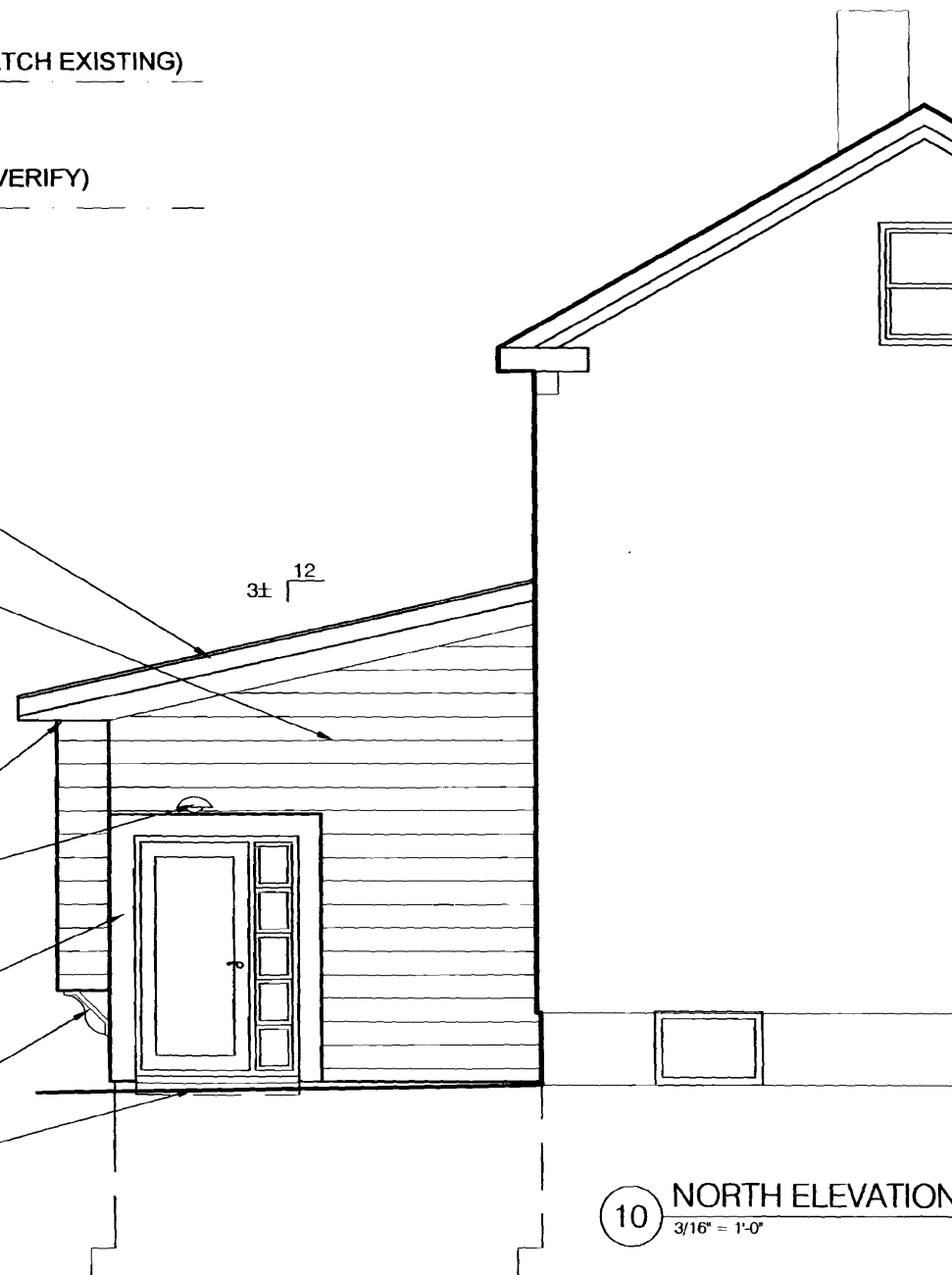
SOFFIT

EXT LIGHT FIXT.

1X WD TRIM

WOOD OR METAL BRACKET

CONC PAD



10 NORTH ELEVATION

3/16" = 1'-0"

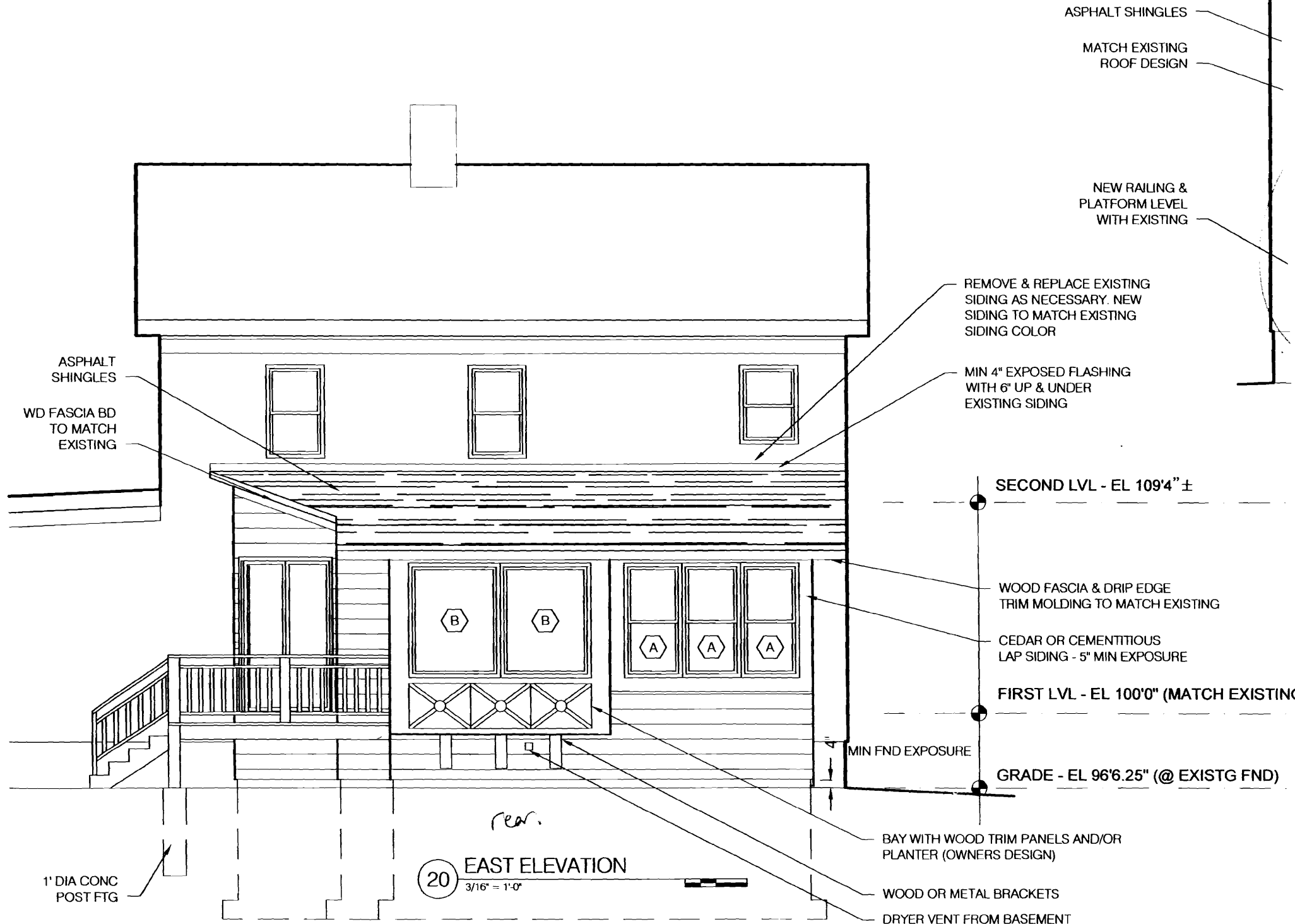
WOOD FRAMING NOTES: [STRUCTURAL]

1. ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH CHAPTER 23 "WOOD" OF THE 2003 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC).
2. INDIVIDUAL TIMBER FRAMING MEMBERS SHALL BE VISUALLY GRADED, GRADE#2 SPRUCE-PINE-FIR OR BETTER, DRIED TO A 19% MAX MOISTURE CONTENT, U.O.N.
3. PRESSURE TREATED FRAMING MEMBERS SHALL BE USED FOR SILL PLATES AND BOTTOM PLATES OF STUD WALLS PLACED ON CONCRETE AND WHERE SHOWN IN CONTRACT DRAWINGS.

4. THE QUANTITY AND SIZE OF FASTENERS CONNECTING WOOD FRAME MEMBERS SHALL NOT BE LESS THAN SPECIFIED IN THE 2003 IBC, TABLE 2304.9.1 "FASTENING SCHEDULE". ALL NAILS SHALL BE COMMON TYPE NAILS.

PROPRIETARY METAL FRAMING ANCHORS ARE INDICATED IN PLANS, DETAILS AND ELEVATIONS. PROVIDE PRODUCTS FROM SIMPSON STRONG-TIE OR APPROVED EQUIVALENT. REFER TO SPECIFICATION SECTION 06100 FOR A LIST OF ACCEPTABLE ALTERNATIVE SUPPLIERS.

ALL ENGINEERED LUMBER SPECIFIED ARE BOISE-CASCADE PRODUCTS. EQUIVALENT MATERIALS MAY BE SUBMITTED FOR APPROVAL, BUT NO SUBSTITUTIONS MAY BE MADE WITHOUT WRITTEN APPROVAL BY THE ENGINEER OF RECORD. COST FOR ANY ADDITIONAL DESIGN REQUIRED FOR PRODUCT SUBSTITUTIONS ARE TO BE BORNE BY THE SUBMITTING CONTRACTOR.



20 EAST ELEVATION
3/16" = 1'-0"

1' DIA CONC
POST FTG

rear.

MIN FND EXPOSURE

BAY WITH WOOD TRIM PANELS AND/OR
PLANTER (OWNERS DESIGN)

WOOD OR METAL BRACKETS

DRYER VENT FROM BASEMENT

ASPHALT SHINGLES

MATCH EXISTING
ROOF DESIGN

NEW RAILING &
PLATFORM LEVEL
WITH EXISTING

REMOVE & REPLACE EXISTING
SIDING AS NECESSARY. NEW
SIDING TO MATCH EXISTING
SIDING COLOR

MIN 4" EXPOSED FLASHING
WITH 6" UP & UNDER
EXISTING SIDING

SECOND LVL - EL 109'4" ±

WOOD FASCIA & DRIP EDGE
TRIM MOLDING TO MATCH EXISTING

CEDAR OR CEMENTITIOUS
LAP SIDING - 5" MIN EXPOSURE

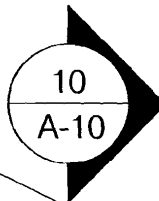
FIRST LVL - EL 100'0" (MATCH EXISTING)

GRADE - EL 96'6.25" (@ EXISTG FND)

(3) 1-3/4 x 11-7/8 VERSALAM
WRAPPED WITH 1X PINE BD
OR 1/2 GYP. BD.
CONTRACTOR TO SHORE
EXISTING FLOOR & WALL
PRIOR TO INSTALLATION

2x12 LEDGER W/(5) 16d
INTO EACH EXIST STUD
W/ SIMPSON LSU26
RAFTER HANGER

2X10 RAFTERS @ 16" O.C.



BOT OF RAFTER - EL 109'10"±

SECOND LVL - EL 109'4"±

BOT OF RAFTER - EL 107'2"

WOOD CAP GYP BOARD
KNEE WALL ON 2X4
STUDS @ 16" O.C.

2" SQ 14 GAGE
WELDED WIRE MESH

FIRST LVL - EL 100'-0"
(MATCH EXISTING)

WD OR MTL BRACKET BEYOND

GRADE - EL 96'4"±

2X6 WOOD
STUDS @ 16" O.C.

8" CONC. FND WALL

BTM OF FTG - EL 5'-0" MIN
BELOW GRADE

OPTIONAL ACCESS DOOR

3± | 12

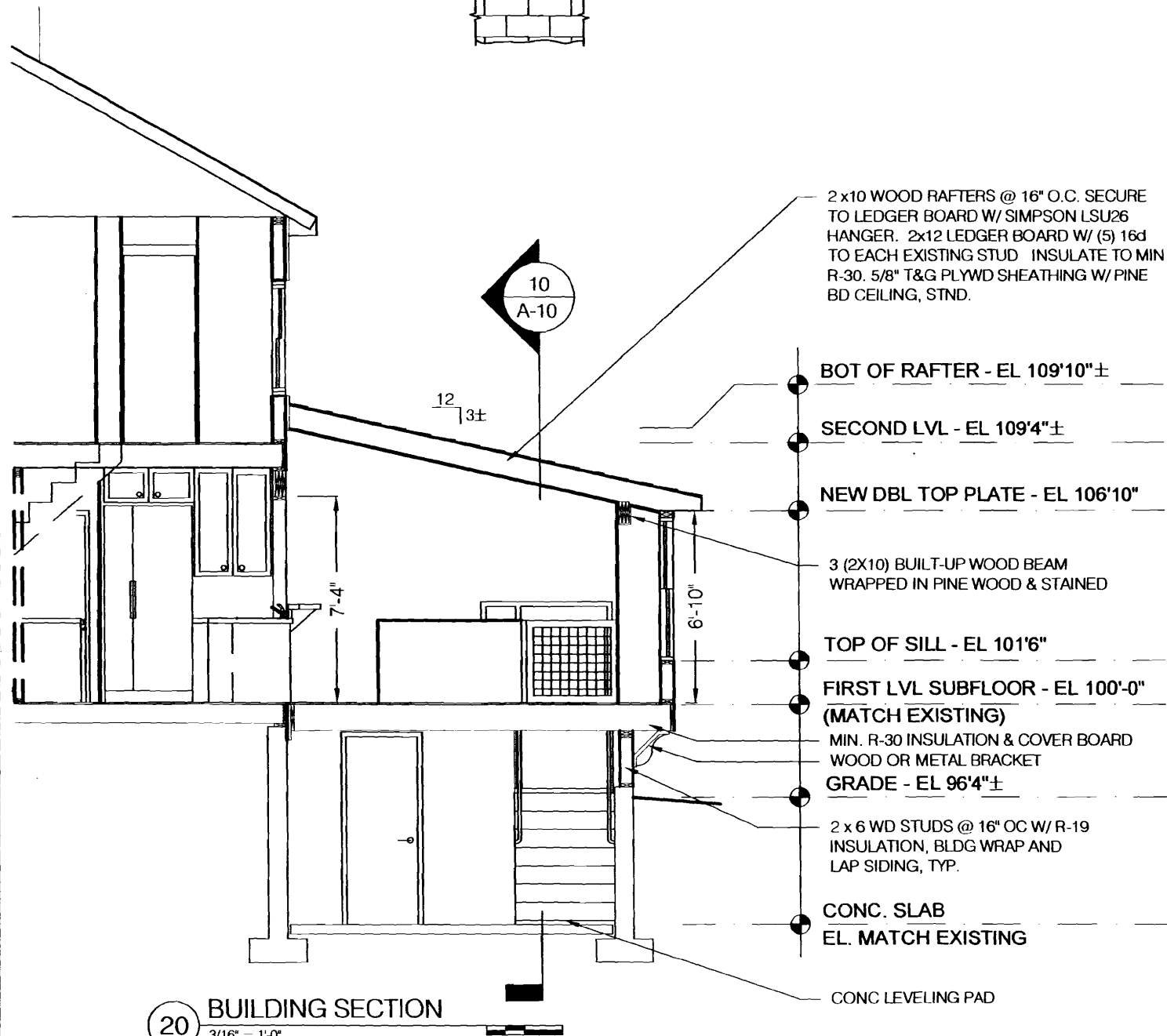
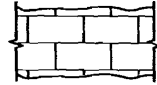
7'-4"

LAG BOLT NEW FLOOR
FRAMING LEDGER WITH
1/2" ° S.S. BOLTS
AT MIN 16" O.C.

10 BUILDING SECTION
3/16" = 1'-0"

WOOD ROOF DECK NOTES: [STRUCTURAL]

1. ROOF SHEATHING SHALL BE 5/8" (MIN) APA STRUCTURAL I RATED SHEATHING, PANEL SPAN RATING 32/16, EXPOSURE 1.
A 1/8" GAP IS REQUIRED BETWEEN ROOF PANELS AT ALL END AND EDGE JOINTS.
2. FASTEN ROOF SHEATHING TO SUPPORTS W/ 8d NAILS. EXCEPT AT LOCATION WHERE SPECIAL NAILING IS INDICATED, SPACE NAILS @ 6" O.C. @ SUPPORTED PANEL EDGES & @ 12" O.C. @ INTERMEDIATE SUPPORTS. WHERE INDICATED, PROVIDE 2" (NOMINAL) THICKNESS BLOCKING AT PANEL EDGES & FASTEN ALL PANEL EDGES @ 6" O.C. SEE PLAN FOR ADDITIONAL REQUIREMENTS.
3. THE QUANTITY AND SIZE OF FASTENERS CONNECTING WOOD FRAME MEMBERS SHALL BE NOT LESS THAN SPECIFIED IN THE INTERNATIONAL BUILDING CODE, 2003 - TABLE 2.304.9.1 FASTENING SCHEDULE. ALL NAILS SHALL BE COMMON TYPE NAILS.
4. LAY ROOF SHEATHING PANELS W/ LONG DIMENSION ACROSS SUPPORTS & SHORT DIMENSIONS STAGGERED AS SHOWN:



20 BUILDING SECTION
3/16" = 1'-0"

