

REMOVAL NOTES:

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK. ALL EXISTING SURFACES AND EQUIPMENT SCHEDULED TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. SHOULD DAMAGE OCCUR THE CONTRACTOR SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED FROM DAMAGE.
6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVALS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. DO NOT REMOVE ANY SPRINKLER SYSTEM COMPONENTS. COORDINATE WITH SPRINKLER CONTRACTOR FOR WORK EFFECTING SPRINKLER SYSTEM.
7. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER, GUARDS, AND ALL TEMPORARY SHORING MEETING STRUCTURAL REQUIREMENTS OF THE IBC 2003.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

GENERAL NOTES:

1. SITE CONDITIONS: ALL CONTRACTORS BY COMMENCING THE WORK ACCEPT THE CONDITIONS OF THE SITE AND THE COMPLETENESS OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO BEGINNING THE WORK. NO EXTRAS SHALL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN.
2. DRAWINGS: CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW OF THE DRAWINGS. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTORS SHALL PROMPTLY NOTIFY THE DESIGNER OF ANY AMBIGUITY, INCONSISTENCY OR ERROR WHICH THEY DISCOVER UPON EXAMINATION OF THE CONTRACT DOCUMENTS, THE SITE, OR LOCAL CONDITIONS. IN CASE OF A CONFLICT WITHIN THE ARCHITECTURAL DRAWINGS PROMPTLY NOTIFY DESIGNER FOR COORDINATION.
3. THE GENERAL CONTRACTOR SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. DO NOT SCALE DRAWINGS.
4. COMPLETENESS: ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE DESIGNER. IN THE CASE OF CONFLICTING QUANTITIES/VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONFLICTING OR INCONSISTENT INFORMATION, THE MOST STRINGENT REQUIREMENTS SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF THEIR BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION.
5. PERMITS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK CATEGORY. CONTRACTORS SHALL FORWARD TO THE DESIGNER A COPY OF ALL APPROVED PERMITS, DRAWINGS AND CODE COMPLIANCE ADDENDA WITH PLAN EXAMINERS COMMENTS WITHIN 48 HOURS OF RECEIPT OF THE SAME AT NO COST TO THE DESIGNER. ANY ADDITIONAL WORK REQUIRED AS A RESULT OF THE ABOVE SHALL BE PROVIDED BY THE CONTRACTOR AS A PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION IF THE CONTRACTOR FAILS TO COMPLY WITH PROVIDING THE APPROVED PLANS OR ADDENDA TO THE DESIGNER.
6. INSURANCES: ALL CONTRACTORS SHALL OBTAIN "ALL RISK" INSURANCE, AS STIPULATED IN THE SPECIFICATION, AND ALL CUSTOMARY STATUTORY INSURANCES, COMPREHENSIVE GENERAL LIABILITY, ETC. AS INDICATED IN THE PROJECT MANUAL. THE DESIGNER AND THE OWNER SHALL BE NAMED AS INSURED PARTIES TO THE "ALL RISK" INSURANCE POLICY. PROVIDE CERTIFICATE OF INSURANCE TO DESIGNER PRIOR TO COMMENCING WORK.
7. DOCUMENTATION / RECORD DRAWINGS: THE CONTRACTORS SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL, ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
8. PROTECTION: ALL CONTRACTORS SHALL BE JOINTLY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES. ALL CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR PROJECT SECURITY FROM THE START OF THE WORK UNTIL THE OWNER ACCEPTS THE PROJECT AS TOTALLY COMPLETE.
9. DRAWINGS INDICATE THE MINIMUM STANDARDS, SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR DESIGNER.
10. CONTRACTORS SHALL REMOVE ALL CONSTRUCTION DEBRIS RELATED TO THEIR WORK CATEGORY FROM JOB SITE. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN LIMITS OF CONTRACT.
11. ALL CONTRACTORS ARE JOINTLY RESPONSIBLE TO HAVE ENTIRE AREA CLEAN AND SPOTLESS AT TIME OF TURN OVER.

ABBREVIATIONS

ABV	ABOVE	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	JT	JOINT
ALUM	ALUMINUM	LAM	LAMINATE (-D)
ALT	ALTERNATE	MAX	MAXIMUM
ARCH	ARCHITECT (-URAL)	MFR	MANUFACTURER (-ED)
BRD	BOARD	MO	MASONRY OPENING
BLK/BLK'G	BLOCKING	MECH	MECHANICAL
BYND	BEYOND	MIN	MINIMUM
BTW	BETWEEN	MR	MOISTURE-RESISTANT
CABT	CABINET	MTD	MOUNTED
CEM	CEMENT (-TITIOUS)	MTL	METAL
CL	CENTER LINE	NIC	NOT IN CONTRACT
CLG	CEILING	NOM	NOMINAL
CLR	CLEAR (-ANCE)	NTS	NOT TO SCALE
COL	COLUMN	OC	O/C ON CENTER
CONC	CONCRETE	OH	OPPOSITE HAND OR OVER HEAD
CONT	CONTINUOUS	PART	PARTITION
CPT	CARPET	PLUMB	PLUMBING
CT	CERAMIC TILE	PLYWD	PLYWOOD
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH, DEMOLITION	PTD	PAINT/PAINTED
DIA	DIAMETER	RBR	RUBBER
DIMS	DIMENSIONS	RCP	REFLECTED CEILING PLAN
DN	DOWN	RES	RESILIENT
DR	DOOR	REQ'D	REQUIRED
DTL	DETAIL	REV	REVISION
DWG	DRAWING	RM	ROOM
EA	EACH	SIM	SIMILAR
ELL	ELEVATION	SCHED	SCHEDULE (-D)
ELEV	ELEVATOR/ELEVATION	SPEC	SPECIFIED OR SPECIFICATION
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)	T&G	TONGUE AND GROOVE
EQ	EQUAL	STD	STANDARD
EXIST	EXISTING	ST.STL OR S/S	STAINLESS STEEL
EXP JT	EXPANSION JOINT	STL	STEEL
EXP	EXPOSED	STRUCT/'S'	STRUCTURAL
EXT	EXTERIOR	TBD	TO BE DETERMINED
FIN	FINISH (-ED)	TBS	TO BE SELECTED
FLR/FL	FLOOR (-ING)	TEMP	TEMPORARY OR TEMPERED
FND	FOUNDATION	THK	THICK (-NESS)
FR	FIRE RATED	TO	TOP OF
GC	GENERAL CONTRACT (-OR)	TOL	TOLERANCE
GL	GLASS, GLAZING	T/D	TELEPHONE/DATA
GWB	GYPSON WALL BOARD	TYP	TYPICAL
HC	HOLLOW CORE	U/C	UNDERCUT
HDR	HEADER	UNO	UNLESS NOTED OTHERWISE
HM	HOLLOW METAL	U/S	UNDERSIDE
HORIZ	HORIZONTAL	VIF	VERIFY IN FIELD
HRW	HARDWARE	WD	WOOD
HT	HEIGHT	WDW	WINDOW
INSUL	INSULATION		

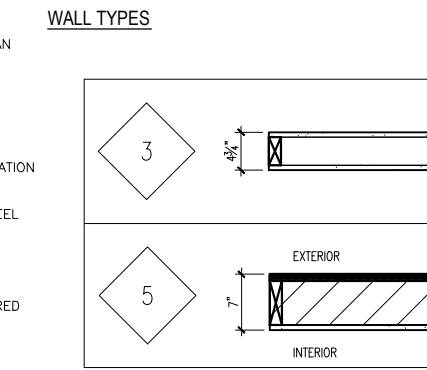
DRAWING LIST

GENERAL	
G100	TITLE SHEET, ABBREVIATIONS, SYMBOLS, & DWG LIST
ARCHITECTURAL	
A101	FLOOR PLANS, INTERIOR ELEVATIONS
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	ROOF PLAN

SCOPE OF WORK:

THE SCOPE OF WORK INCLUDES AN EXISTING KITCHEN & MUDROOM THAT WILL BE RENOVATED WITH A SMALL EXTENSION TO THE KITCHEN AND A REMOVAL AND REBUILDING OF THE MUDROOM OFF OF THE BACK OF THE HOUSE. NEW WORK WILL ALSO INCLUDE:

- NEW KITCHEN CABINETS & EQUIPMENT
- NEW POWDER ROOM BELOW EXISTING STAIR
- NEW STAIR TO BASEMENT
- RELOCATION OF EXISTING WINDOW AT BACK OF HOUSE

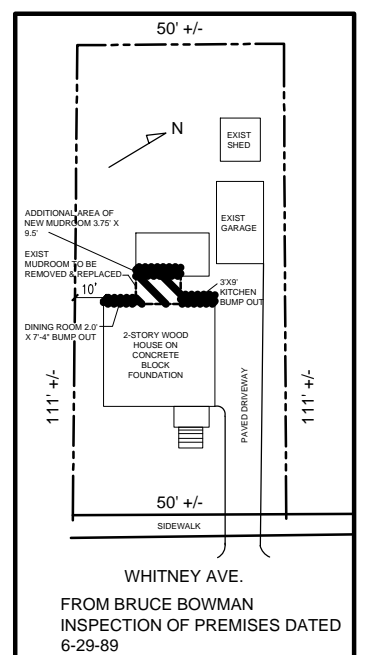


1 WALL & PARTITION TYPES
T=1'-0"

GOLDBERG RESIDENCE

146 WHITNEY AVE.
PORTLAND, ME
ISSUED FOR PRICING: 06/03/2012

OWNER ELEANOR GOLDBERG 146 WHITNEY AVE PORTLAND, ME	CONTRACTOR PAPI & ROMANO PORTLAND, ME 207-797-3381
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GOLDBERG-BURSON RESIDENCE
146 WHITNEY AVE, PORTLAND, ME

DATE: AUGUST 08, 2013
PROJECT NO: 100
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G100