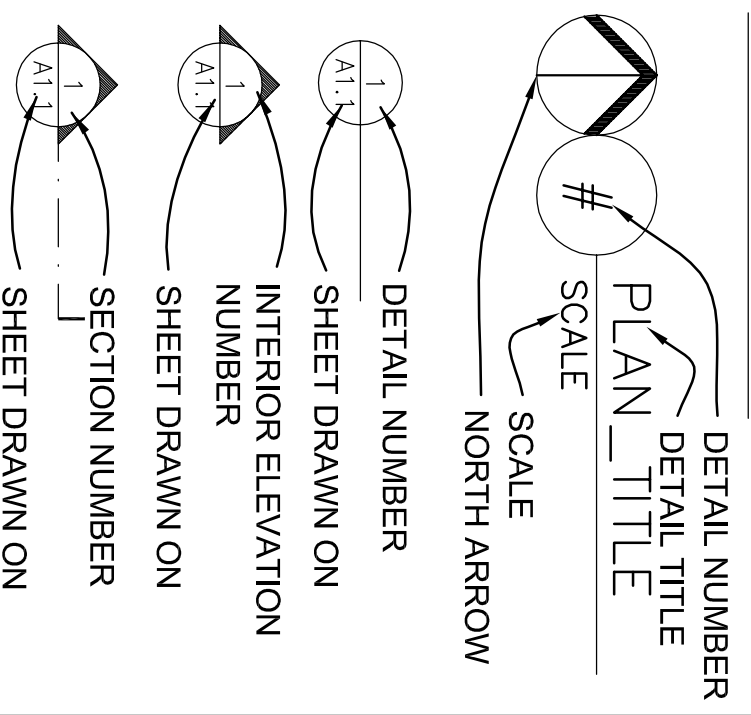


**GRAPHIC SYMBOLS**



**ABBREVIATIONS**

ABV	ABOVE	INT	INTERIOR
AFF	ABOVE FINISHED FLOOR	JT	JOINT
ALUM	ALUMINUM	LAM	LAMINATE (-D)
ALT	ALTERNATE	MAX	MAXIMUM
ARCH	ARCHITECT (-URAL)	MFR	MANUFACTURER (-ED)
BRD	BOARD	MO	MASONRY OPENING
BLK/BLK'G	BLOCKING	MECH	MECHANICAL
BYND	BEYOND	MIN	MINIMUM
BTW	BETWEEN	MTR	MOISTURE-RESISTANT
CABT	CABINET	MTD	MOUNTED
CEM	CEMENT (-TITIOUS)	MTL	METAL
CL	CENTER LINE	NIC	NOT IN CONTRACT
CLG	CENTER LINE	NOM	NOMINAL
CLR	CLEAR (-ANCE)	NTS	NOT TO SCALE
COL	COLUMN	OC	O/C ON CENTER
CONC	CONCRETE	OH	OPPOSITE HAND OR OVER
CONT	CONTINUOUS	HEAD	HEAD
CPT	CARPET	PART	PARTITION
CT	CERAMIC TILE	PLUMB	PLUMBING
DBL	DOUBLE	PLYWD	PLYWOOD
DEMO	DEMOLISH, DEMOLITION	PT	PRESSURE TREATED
DIA	DIAMETER	PTD	PAINT/PAINTED
DIMS	DIMENSIONS	RBR	RUBBER
DN	DOWN	RCP	REFLECTED CEILING PLAN
DR	DOOR	RES	RESILIENT
DTL	DETAIL	REQD	REQUIRED
DWG	DRAWING	REV	REVISION
EA	EACH	RM	ROOM
EL	ELEVATION	SIM	SIMILAR
ELEV	ELEVATOR/ELEVATION	SCHED	SCHEDULE (-D)
EPDM	ETHYLENE PROPYLENE DIENE	SPEC	SPECIFIED OR SPECIFICATION
M-CLASS	(ROOFING)	SPK	SPRINKLER
EQ	EQUAL	STD	STANDARD
EXIST	EXISTING	ST-STL	OR S/S STAINLESS STEEL
EXP	EXPANSION JOINT	STL	STEEL
EXT	EXPOSED	STRUCT/'S	STRUCTURAL
FIN	FINISH (-ED)	TBD	TO BE DETERMINED
FLR/FL	FLOOR (-ING)	TBS	TO BE SELECTED
FND	FOUNDATION	TEMP	TEMPORARY OR TEMPERED
FR	FIRE RATED	THK	THICK (-NESS)
GC	GENERAL CONTRACT (-OR)	T&G	TONGUE AND GROOVE
GL	GLASS, GLAZING	TOL	TO TOLERANCE
GWB	GYP SUM WALL BOARD	T/D	TELEPHONE/DATA
HC	HOLLOW CORE	TYP	TYPICAL
HDR	HEADER	U/C	UNDERCUT
HM	HOLLOW METAL	UNO	UNLESS NOTED OTHERWISE
HORIZ	HORIZONTAL	U/S	UNDERSIDE
HRW	HARDWARE	V/F	VERIFY IN FIELD
HT	HEIGHT	WD	WOOD
INSUL	INSULATION	WDW	WINDOW

**REMOVAL NOTES:**

1. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION TO ALL AREAS AFFECTED BY THE WORK. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO ANY BUILDING COMPONENTS WHICH OCCUR AS A RESULT OF ALL PHASES OF WORK. ALL EXISTING SURFACES AND EQUIPMENT SCHEDULED TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. SHOULD DAMAGE OCCUR THE CONTRACTOR SHALL MAKE REQUIRED REPAIRS WITHOUT ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY IN A SYSTEMATIC MANNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED FROM DAMAGE.
6. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVALS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. DO NOT REMOVE ANY SPRINKLER SYSTEM COMPONENTS. COORDINATE WITH SPRINKLER CONTRACTOR FOR WORK EFFECTING SPRINKLER SYSTEM.
7. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER, GUARDS, AND ALL TEMPORARY SHORING MEETING STRUCTURAL REQUIREMENTS OF THE IRC 2003.
8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

**GENERAL NOTES:**

1. SITE CONDITIONS: ALL CONTRACTORS BY COMMENCING THE WORK ACCEPT THE CONDITIONS OF THE SITE AND THE COMPLETENESS OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO BEGINNING THE WORK. NO EXTRAS SHALL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN.
2. DRAWINGS: CONTRACTORS ARE RESPONSIBLE FOR COMPLETE REVIEW OF THE DRAWINGS. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT THE SET OF DRAWINGS. NO TRADES' FORM MISSED ITEMS IN OTHER TRADES WILL BE RECORDED. CONTRACTORS SHALL NOTIFY THE DESIGNER IMMEDIATELY BY PHONE OR IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS PRIOR TO THE START OF THE WORK. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.
3. THE GENERAL CONTRACTOR SHALL DISTRIBUTE COMPLETE SETS OF DRAWINGS TO ALL SUBCONTRACTORS. DO NOT SEPARATE DRAWINGS BY DISCIPLINE. DO NOT SCALE DRAWINGS.
4. COMPLETENESS: ANY MATERIAL OR LABOR, NEITHER SHOWN ON THE DRAWINGS, NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OF A SIMILAR NATURE OR TO COMPLY WITH ALL APPLICABLE CODES SHALL BE FURNISHED WITHOUT ADDITIONAL COST TO THE OWNER OR THE DESIGNER. IN THE CASE OF CONSULTING QUANTITIES/VALUES, THE GREATER AMOUNT OR THE ONE OF GREATER VALUE SHALL PREVAIL AND BE PROVIDED BY THE CONTRACTORS AS A PART OF HIS BASE CONTRACT AND SHALL NOT BECOME A BASIS FOR CHANGE ORDERS OR CLAIMS FOR ADDITIONAL COMPENSATION. IN THE CASE OF CONSULTING CONTRACTOR FOR WORK EFFECTING SPRINKLER SYSTEM.
5. PERMITS: EACH CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK. CONTRACTORS SHALL FORWARD TO THE DESIGNER ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK. CONTRACTORS SHALL FORWARD TO THE DESIGNER ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK. CONTRACTORS SHALL FORWARD TO THE DESIGNER ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. AS MAY BE REQUIRED TO COMPLETE THEIR RESPECTIVE WORK.
6. INSURANCE: ALL CONTRACTORS SHALL OBTAIN "ALL RISK" INSURANCE, AS STIPULATED IN THE SPECIFICATION, AND ALL CUSTOMARY STATUTORY INSURANCES, COMPREHENSIVE GENERAL LIABILITY, ETC. AS INDICATED IN THE PROJECT MANUAL. THE DESIGNER AND THE OWNER SHALL BE NAMED AS INSURED PARTIES TO THE "ALL RISK" INSURANCE POLICY. PROVIDE CERTIFICATE OF INSURANCE TO DESIGNER PRIOR TO COMMENCING WORK.
7. DOCUMENTATION / RECORD DRAWINGS: THE CONTRACTORS SHALL KEEP A RECORD OF ALL DEVIATIONS FROM THE CONTRACT DOCUMENTS. THEY SHALL NEATLY AND CORRECTLY ENTER IN COLOR PENCIL, ANY DEVIATIONS ON THE DRAWINGS AND SPECIFICATIONS AFFECTED AND SHALL KEEP THE DRAWINGS AVAILABLE FOR INSPECTION. AN EXTRA SET OF CONSTRUCTION DOCUMENTS WILL BE FURNISHED FOR THE PURPOSE.
8. PROTECTION: ALL CONTRACTORS SHALL BE JOINTLY RESPONSIBLE FOR TAKING ALL STEPS NECESSARY TO PROTECT THE PUBLIC FROM INJURY AND ADJACENT PROPERTY FROM DAMAGES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES. ALL CONTRACTORS SHALL ALSO BE RESPONSIBLE FOR PROTECT SECURITY FROM THE START OF THE WORK UNTIL THE OWNER ACCEPTS THE PROJECT AS TOTALLY COMPLETE.
9. DRAWINGS INDICATE THE MINIMUM STANDARDS. SHOULD ANY WORK INDICATED BE SUBSTANDARD TO ANY ORDINANCES, LAWS, CODES, RULES OR REGULATIONS BEARING ON THE WORK, THE CONTRACTOR SHALL EXECUTE THE WORK IN ACCORDANCE WITH SUCH ORDINANCES, LAWS, CODES, RULES, OR REGULATIONS AS A PART OF HIS BASE CONTRACT WITHOUT INCREASE IN COST TO OWNER OR DESIGNER.
10. CONTRACTORS SHALL REMOVE ALL CONSTRUCTION DEBRIS RELATED TO THEIR WORK CATEGORY FROM JOB SITE. ALL CONSTRUCTION DEBRIS SHALL BE CONTAINED WITHIN LIMITS OF CONTRACT.
11. ALL CONTRACTORS ARE JOINTLY RESPONSIBLE TO HAVE ENTIRE AREA CLEAN AND SPOTLESS AT TIME OF TURN OVER.

**DRAWING LIST**

GENERAL		TITLE SHEET, ABBREVIATIONS, SYMBOLS, & DWG LIST
G100		
ARCHITECTURAL		
A101	FLOOR PLANS, INTERIOR ELEVATIONS	
A101	FIRST FLOOR PLAN	
A102	SECOND FLOOR PLAN	
A103	ROOF PLAN	

**GOLDBERG RESIDENCE**

146 WHITNEY AVE.  
 PORTLAND, ME  
 ISSUED FOR PRICING: 06/03/2012

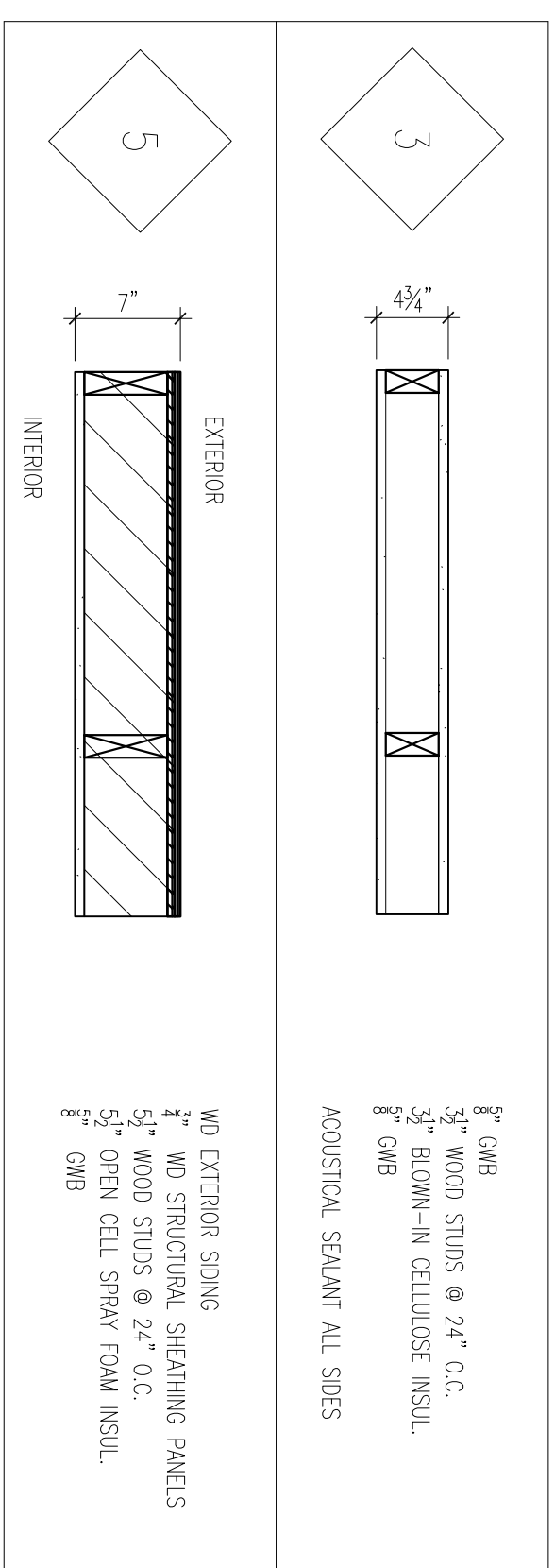
**OWNER**  
 ELEANOR GOLDBERG  
 146 WHITNEY AVE  
 PORTLAND, ME

**CONTRACTOR**  
 PAPI & ROMANO  
 PORTLAND, ME  
 207-797-3381

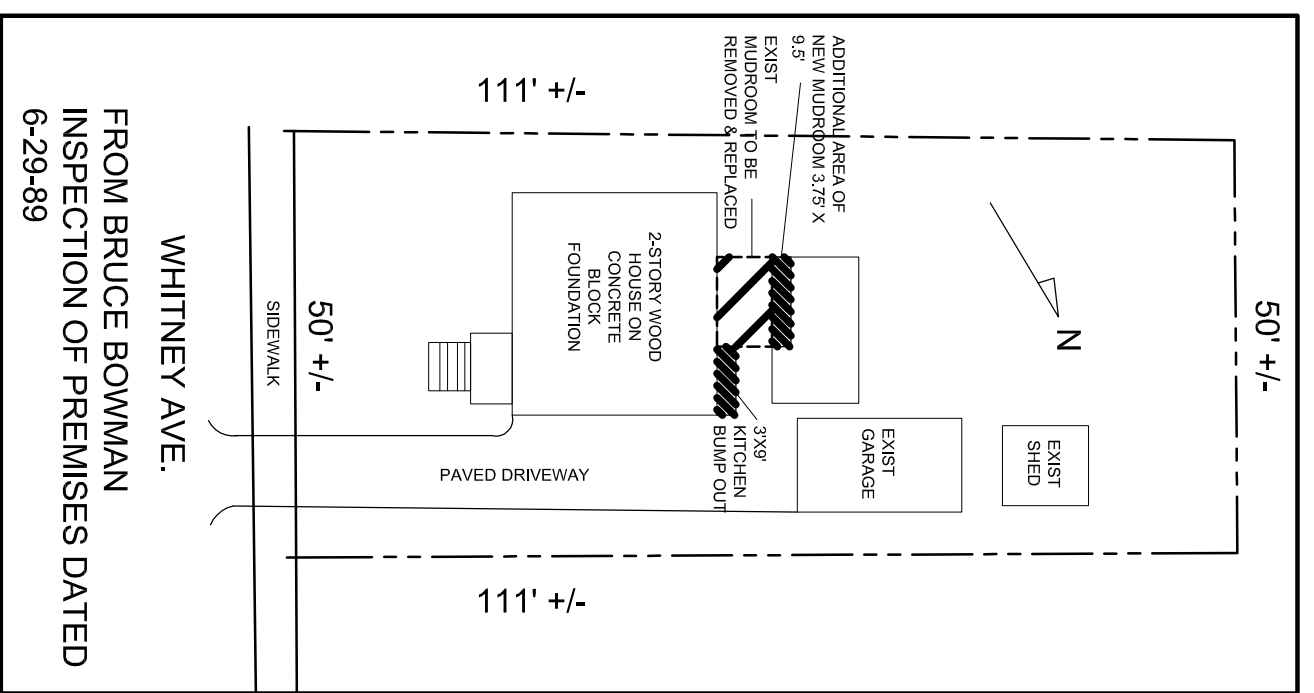
**SCOPE OF WORK:**

- THE SCOPE OF WORK INCLUDES AN EXISTING KITCHEN & KIDSBROOM THAT WILL BE RENOVATED WITH A SMALL EXTENSION TO THE KITCHEN AND A REMOVAL AND REBUILDING OF THE MUDROOM, KITCHEN CABINET, & EQUIPMENT HOUSE. NEW WORK WILL ALSO INCLUDE:
- NEW POWDER ROOM BELOW EXISTING STAIR
- NEW STAIR TO BASEMENT
- RELOCATION OF EXISTING WINDOW AT BACK OF HOUSE

**WALL TYPES**



**1 WALL & PARTITION TYPES**



PROJECT NO:	100
COPYRIGHT:	
SHEET TITLE	TITLE SHEET
	G100