

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0153	Issue Date: MAR - 8 2002	CBI: 186A A018001
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Location of Construction: 110 Whitney Ave	Owner Name: Jones James Robert &	Owner Address: 110 Whitney Ave CITY OF PORTLAND	Phone: 775-5051
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Business Name: n/a	Contractor Name: Maine Wide	Contractor Address: PO Box 2106 Augusta	Phone: 8004521940
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Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R-3
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Past Use: Single Family	Proposed Use: Single Family / 40' x 22' addition for kennel and 38' x 20'8" addition for shop.	Permit Fee: \$338.00	Cost of Work: \$44,960.00	CEO District: 3	5,500⁹ 5,500 11,000
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B 3/7/02
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Proposed Project Description: Build 40' x 22' kennel and 38' x 20'8" shop
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for companion dogs - not business or breeding

hobby equipment not a business

Signature:	Signature:
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied

Signature:	Date:
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Permit Taken By: gg	Date Applied For: 02/20/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>2/27/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<i>OK with conditions</i>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Application ID Number: 2-0153

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 02/25/2002 See letter - Questions about the two uses. There is a kennels involved that looks like a professional kennel & use would not be allowed. Also there is a proposed addition for a "shop". I need more information as to what that use is.

Revised Date: 02/27/2002

Given By Date: 02/22/2002

OK to Issue Permit Name: Marge Schmuckal Date: 02/27/2002 Page 2

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

It is noted that your subsequent letter to this office outlines that the kennels are for your personal, companion dogs. These kennels shall not be allowed for a business use of any kind, including boarding or breeding of the dogs.

It is also noted that you outlined in your letter that the proposed "shop" is not a business use nor a home occupation. It is designed for personal, hobby use and to use on the upkeep of your home.

This permit approval is based upon the demolition/removal of the existing garage. If the garage is not removed, it may be necessary to recalculate the allowable lot coverage requirements. With the demolition of the garage, any nonconforming (commonly called "grandfathered") rights will be immediately extinguished.

Created Date: 02/21/2002 By: gg Updated Date: 02/27/2002 By: mes

389 Congress St.
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

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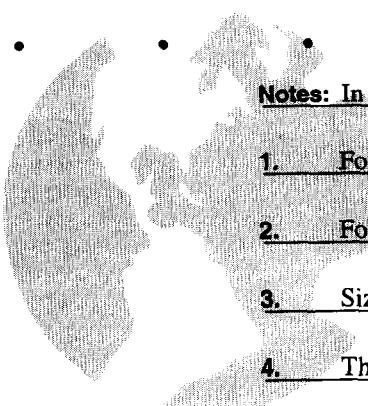
facsimile transmittal

To: Tim or Judy -- Mainewide **From:** Mike Nugent
Fax: 207-622-7528 **Date:** March 5, 2002
Phone: 800-452-1940 **Pages:** 1
Re: 110 Whitney Ave. 186A A018 **CC:** Mr. & Mrs Jones

Urgent For Review Please Comment Please Reply Please Recycle

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Notes: In reviewing the permit for the above property, please forward the following details:

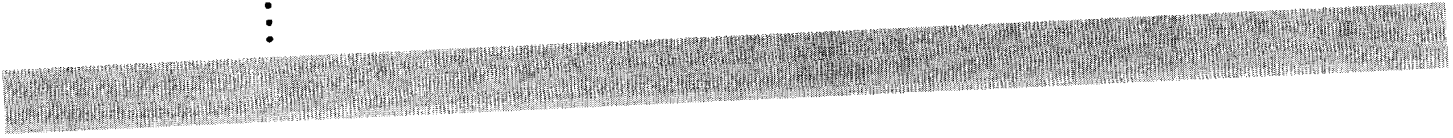
- 
1. Footing Dimensions
 2. Foundation wall thickness Foundation cross section
 3. Size of anchor bolts
 4. The 6" x 10" headers in the "open roof system" are under designed (See Table 502.5(1) in the 2000 I.R.C.
 5. Step details from existing house
 6. Header details where omitted
 7. Egress window replacement schedule in existing house (Hardware included)
 8. Electrical detail
 9. Plumbing plan for "both rooms"
 10. Foundation Drilling and Pinning detail
 11. Steps stairs and landing details for the exterior doors.
 12. Demo Permit Must be obtained prior to issuance of this permit due to lot coverage

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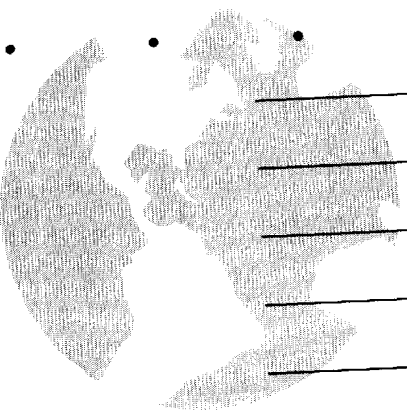
limitation

.....

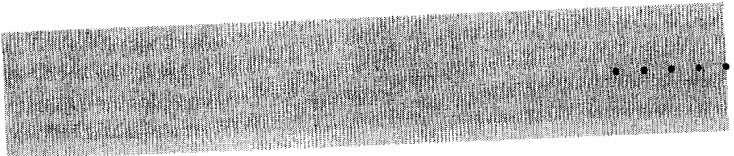
13. Structural Steel loading specs from the manufacturer and installation /framing detail.



Four horizontal lines for writing.



Eight horizontal lines for writing, with a row of dots above them.



Zoning Division
Marge Schmuckal
Zoning Administrator

Department of Urban Development



CITY OF PORTLAND

February 25, 2002

James and Constance Jones
110 Whitney Ave
Portland, ME 04102

Maine Wide Construction
P.O. Box 2106
Augusta, ME 04338-2106

RE: 110 Whitney Avenue – 186A-A-017 & 018 - R-3 Zone

*See FAX from
owner dated 2/26/02*

Dear Mr. & Mrs. Jones,

I am in receipt of your permit application to construct a 22' x 40' kennels and a 20'8" x 38' addition for a shop. Before I can issue this permit, I need more information regarding these uses.

Please note that the R-3 residential zone does not allow any type of commercial kennels, either interior or exterior. I will need something from you in writing explaining the specific kind of use for these proposed kennels.

I would also need something from you in writing that explains what kind of "shop" you are proposing to construct. Is this a home occupation, or a commercial activity? We would require a floor plan showing the floor layout of this shop.

The more detail that you can provide concerning these two activities, the better I can determine whether the proposed uses meet the current R-3 residential zone requirements. Your permit will be on hold until I can receive this information. No construction work shall commence until a permit has been completely reviewed and approved. Please feel free to call if you have any questions regarding these matters.

Very truly yours,

Marge Schmuckal
Zoning Administrator

Cc: Mark Adelson, Housing and Neighborhood Services
Mike Nugent, Inspection Services



CATHOLIC CHARITIES MAINE

CENTRAL SERVICES

CONFIDENTIAL FAX COVER SHEET

BISHOP JOSEPH J.
GERRY, O.S.B.
President

PATRICIA M. COLLINS
Chair

JOHN M. KERRY
Executive Director

Date: 02/26/02

Company/Program: _____

Attn: Marge Schmuckal

FAX # 874-8716

Pages being sent including cover: 3

From: Cornie Jones
Central Services (Falmouth)
FAX # (207) 781-8560

Comments: _____

Site Address:
358 U.S. Route 1
Falmouth, ME 04105

Mail Address:
P.O. Box 10660
Portland, ME
04104-6060

Tel:
(207) 781-8550
Fax:
(207) 781-8560

This message is intended only for the use of the individual or entity to which it is addressed and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If the reader of this message is not the intended recipient or the employee or agent responsible for delivering the message to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you receive this message in error, please notify us immediately by telephone and return the original message to us at the address below via the U.S. Postal Service. Thank you.

February 26, 2002

Marge Schmuckal
389 Congress Street
Room 315
Portland, Maine 04101

Dear Ms. Schmuckal,

I apologize our plans did not convey the correct intent of the space we hope to add on to our home.

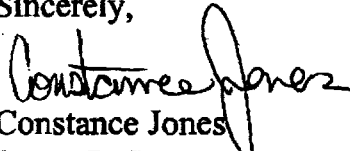
My husband and I have dogs for our own personal companionship. We currently have an outside chain link enclosure for them to stay safely in while we are at work. As the dogs age they seem to like the warmer environment of being in the house, and as I age, I complain more about shoveling out the outside kennel. This room is really a family room/bedroom to encompass a downstairs bath and a place for the dogs to stay in while we are at work.

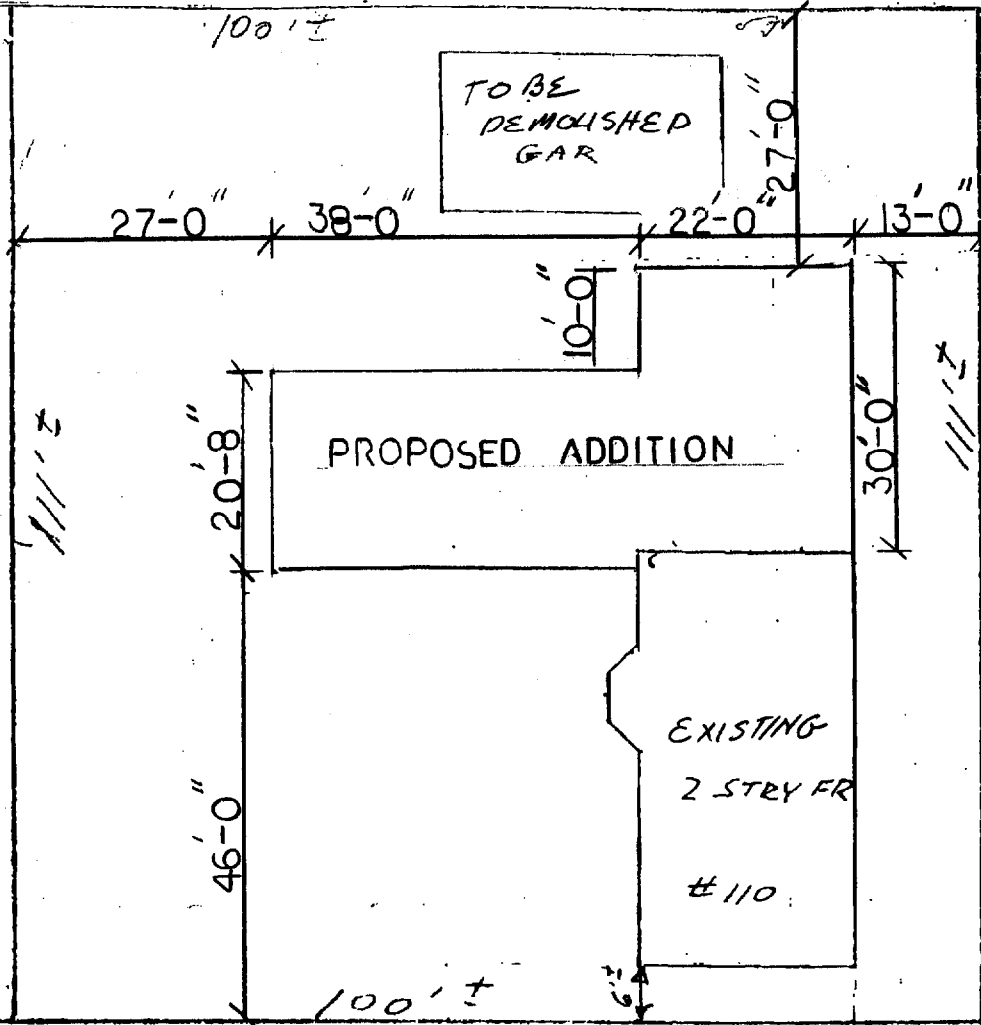
We do not care for, board, or exchange any services for anyone else's dogs. This is strictly for our own personal pets.

We are removing our current garage and adding on the space labeled "shop." The shop area will be used as we did our old garage, for storage and a space to use our personal tools to work on our home. — Not a home occupation even —
just hobby life

If you have any more questions concerning our use of this space, please contact me at 775-5051 or work 781-8550.

Sincerely,


Constance Jones
James R. Jones



WHITNEY ST.

TR-3 Zone

MORTGAGE SURVEY PLOT PLAN

This is a mortgage loan inspection survey for mortgage purposes only. Not to be used for construction of improvements or recording purposes.

front: 25' req - 46' shown
 rear: 25' req - 27' shown
 side - 13' & 15' req
 25' req
 13' & 27' shown
 OK

Certification is hereby made to: COMMONWEALTH MORTGAGE CO that the existing structures shown on this plan are situated on the lot designated and complied with all applicable zoning laws at the time of their construction. Certification is also made that the structures shown do not lie within a special flood hazard area as defined by H.U.D.

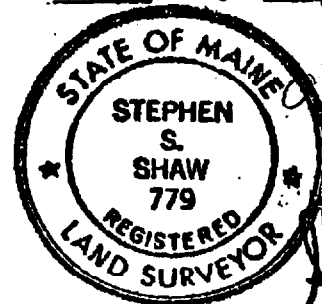
LOCATION: PORTLAND, MAINE

DEED REFERENCE: CUMBERLAND County Registry of Deeds Book 2600, Page 429.

OWEN HASKELL, INC.
 8 BROADWAY
 SOUTH PORTLAND, MAINE
 FB MS 271
 M 83120 P

NOTE: IN VIOLATION OF MIN. 15' STREET SETBACK DEED RESTRICTION.

JULY 15, 1983



Step S. Shaw

389 Congress St.
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

facsimile transmittal

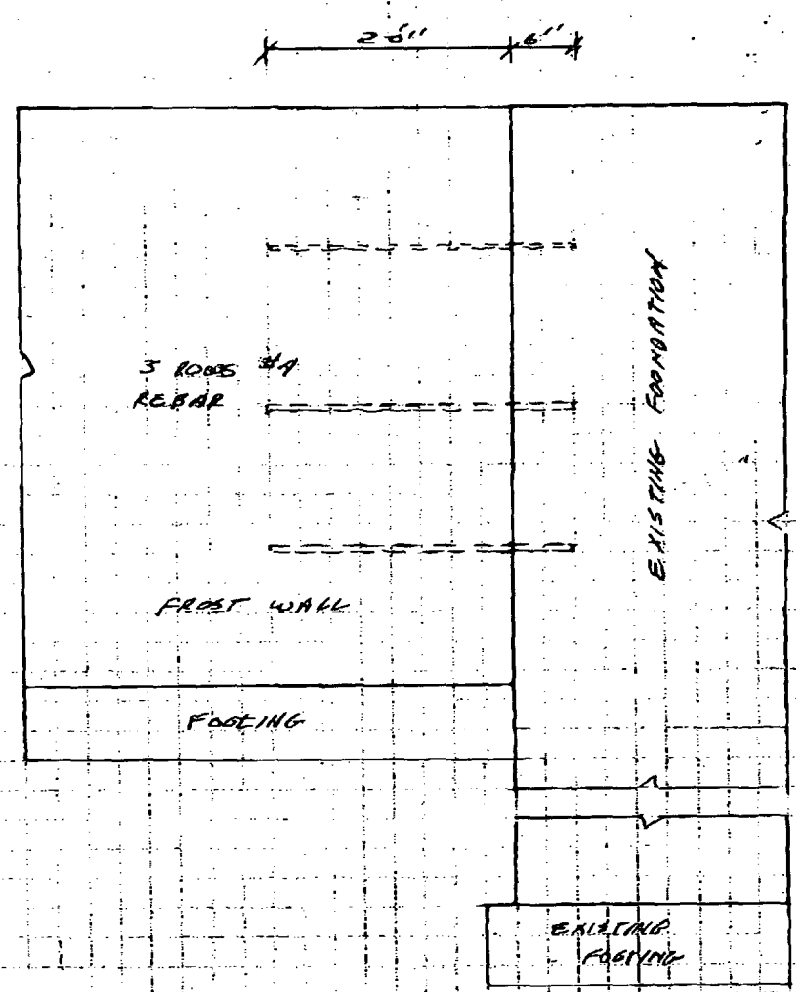
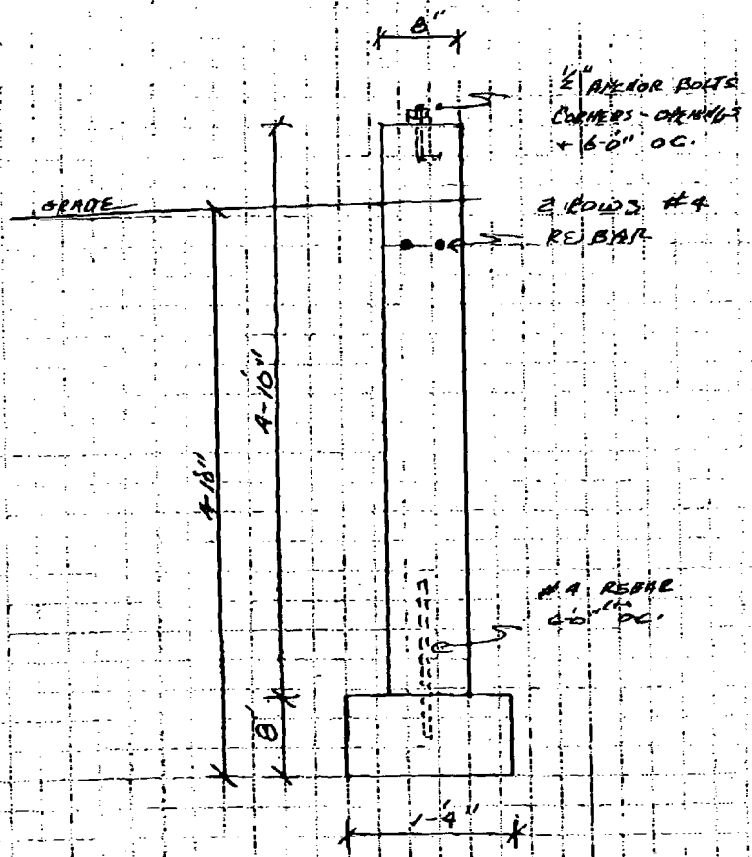
To: Tim or Judy -- Mainewide From: Mike Nugent
Fax: 207-622-7528 Date: March 5, 2002
Phone: 800-452-1940 Pages: 1
Re: 110 Whitney Ave. 186A A018 CC: Mr. & Mrs Jones

Urgent For Review Please Comment Please Reply Please Recycle

Notes: In reviewing the permit for the above property, please forward the following details:

1. Footing Dimensions
2. Foundation wall thickness Foundation cross section
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12. Demo Permit Must be obtained prior to issuance of this permit due to lot coverage

limitation.



ME WIDE CONSTRUCTION, INC.

DATE: 3/6/02	PROJECT: FOUNDATION	SCALE: 1/4" = 1'-0"
DRAWN BY: J. TAYLOR	CHECKED BY: J. TAYLOR	DATE: 3/6/02
PROJECT NO. 027002		

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

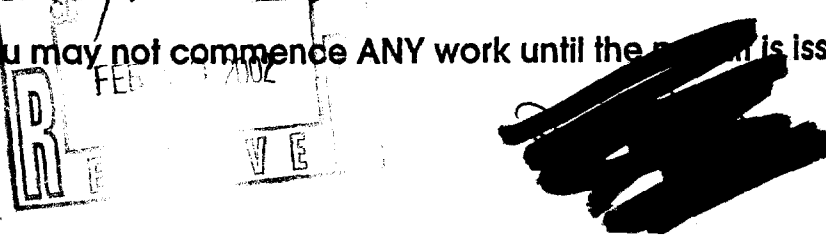
Location/Address of Construction: <u>110 W. Whitney Ave</u>		
Total Square Footage of Proposed Structure <u>1,678 sf</u>	Square Footage of Lot <u>5,500 sf</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>186A</u> Block# <u>A</u> Lot# <u>18</u>	Owner: <u>James + Constance Jones</u>	Telephone: <u>775-5051</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>110 Whitney Avenue Portland ME 04102</u>	Cost Of Work: \$ <u>44,960</u> Fee: \$ <u>338⁰²</u>
Current use: <u>House</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>Addition for Shop + Kennel</u> <u>Change of Use</u>		
Project description: <u>40X22 + 38X20'-8" Addition for Shop + Kennel AS PER PLANS, SPECS and Plot Plan</u>		
Contractor's name, address & telephone: <u>Maine-wide construction 1-800-452-1940 P.O. Box 2106, Augusta ME 04338-2106</u>		
Who should we contact when the permit is ready: <u>Maine-wide</u>		
Mailing address: <u>P.O. Box 2106 Augusta ME 04338-2106</u>		
		Phone: <u>1-800-452-1940</u>

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: J. Jones/Maine-wide SECTION ME Date: 2-14-02

This is not a permit, you may not commence ANY work until the permit is issued



**Viynt Replacement
Window
Order Form**

Maine-Wide Construction
P.O. Box 2106 Augusta, ME 04338-2106
1-800-452-1940

Customer: James & Coris Jones
Address: 110 Whitney Avenue
City: Portland
Phone: 775-6051
Date: _____
JOB NUMBER: 02-269
Cash: _____
Finance: _____

NUMBER OF PAGES: 1 of 1 EXISTING SIDING: _____ Home: Mobile Home:

List Number:	Location	Width	Height	Type	Style: Devon, Newcastle, or Sammartin	Screen	Glass	Grids	Color	Comments
1	Addition	30	36	d/h	Paradigm	full	low E	no	wht	
2	Addition	30	36	"	"	"	"	"	"	
3	Addition	30	36	"	"	"	"	"	"	
4	Addition	30	36	"	"	"	"	"	"	
5	Addition	30	36	"	"	"	"	"	"	
6	Addition	30	36	"	"	"	"	"	"	
7	Addition	30	36	"	"	"	"	"	"	
8	Addition	30	36	"	"	"	"	"	"	
9	Addition	30	36	"	"	"	"	"	"	
10	Addition	30	36	"	"	"	"	"	"	
11	House	36	36	single casement	new constr	full	low E	no	wht	
12	House	36	36	"	"	"	"	"	"	
13										
14										
15										

Remarks:

1 Windows 11 & 12: Order with egress hinges - one right & one left swing

2

3

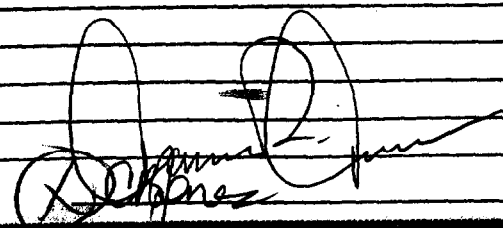
4

5

6

THIS IS PAGE NUMBER ONE.

Approved by:



Job Ticket ID Number: 532

February 14, 2002

Special Instructions: Building

Customer Information:

Job Number: 2002269
 James & Constance Jones
 110 Whitney Avenue
 Portland, ME 04102
 (207) 775-5051

SPECIAL INSTRUCTIONS:

ADDITION:

FOUNDATION:

1. 5'-0" frost wall
2. Slabs to be power troweled
3. Slab to have radiant heat by others
4. Slab in open Kennel area to be pitched 2"
5. Plumbing to be roughed in prior to pouring slabs
6. 2" foam to be installed by others after backfill
7. Pour 4' x 22' side walk outside Kennel area

FRAMING:

1. Sill seal insulation
2. Walls framing 2"x6" @ 16" OC
3. PT bottom plate
4. Rafters 2"x8" @ 16" OC
5. Joists 2"x6" @ 16" OC
6. Collar ties 2"x4" @ 16" OC
7. 1/2" CDX sheathing walls & roofs
8. Wall height 9'-0" (+/-)
9. Straight ridge line to extend from house 40' with roof covering 10' open Kennel area
10. Open Kennel area to have gable framed & sided
11. Open roof in Kennel area supported by (3) 6"x6" PT post
12. Install vinyl soffit ceiling in open Kennel area
13. Frame gable at separation between open & closed Kennel areas
14. Frame (4) R/Os 16"x30" between Kennel areas (see drawing)
15. 20'-8" x 38'-0" Shop area to be framed per previous specifications
16. Ice & water shield in valleys of Shop & Kennel roofs
17. Install steel beam to support Kennel roof (see drawing)
18. Beam to be supported by 6"x6" post at front wall & set on rear wall (see drawing)
19. Frame interior partitions as shown 2"x6"
20. Ridge vent & vented soffit
21. 8" overhang eaves & gables
22. Order steel beam at Stiman Steel when foundation is poured
23. Shingle color: Dual Black
24. Vinyl siding: Match sample color as close as possible
25. Full coverage - fascia & soffit white (perforated soffit)
26. Vinyl soffit ceiling under open Kennel roof (white)

ROOF OVER EXISTING HOUSE: 22' x 10'

1. 5/12 roof pitch
2. Cut existing overhang
3. Existing roof is a hip roof
4. Close in (2) existing windows
5. Install (2) 36"x36" single casement windows (egress hinges)
6. No interior finish on windows
7. 8" overhang eaves
8. Ridge vent & vented soffit (white)
9. Cut vent holes in top of existing hip roof before closing in
10. Side wall of house above new roof
11. Ice & water shield & flashing where new roof meets existing house wall

DOORS & WINDOWS:

1. Install (10) 30"x36" Paradigm D/H windows
2. Install (2) 36"x36" Paradigm Single Casement Windows with egress hinges. One window hinged left and (1) window hinged right
3. Install (2) 6'-0" x 6'-8" double steel entry door setups 1/2 glass - inswing 2"x6" walls
4. Install (2) 3'-0" x 6'-8" steel insulated entry doors 1/2 glass 2"x6" wall (1) right hand (1) left hand inswing
5. Install (1) 3'-0" x 6'-8" full glass door inswing left hand - CONFIRM wall thickness 1st day on job
6. Order windows when foundation is poured

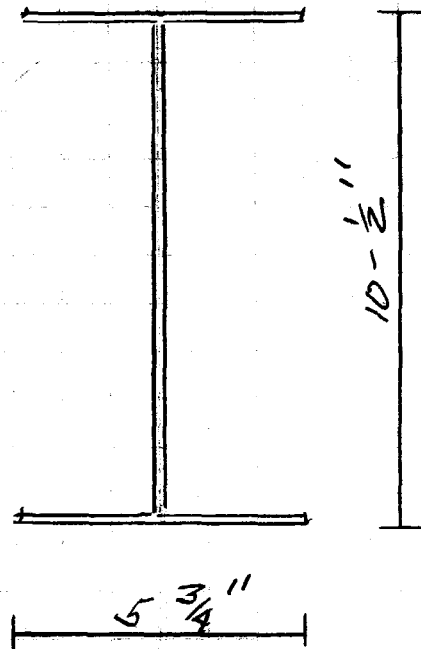
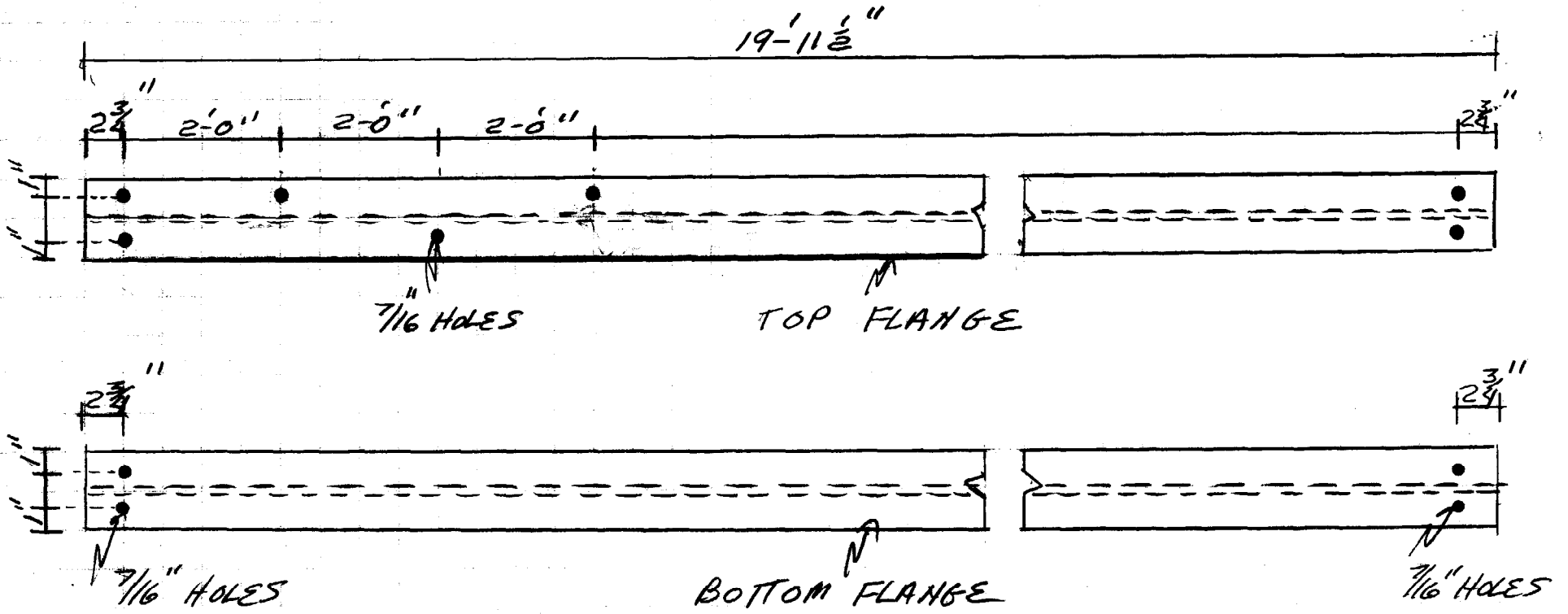
MISCELLANEOUS:

1. Contact David Pinkham for radiant heat & plumbing
2. Customer wants 4' x 4' shower stall
3. Install 3'-0" x 2'-0" step at full glass door - install step at house door
4. Existing garage to be demolished
5. Existing decks to be moved by others
6. Project to begin last of February - first of March 2002


NOT IN CONTRACT:

1. Site preparation
2. Demolition
3. Radiant Heat & Foam
4. Plumbing
5. Electrical
6. Interior Finish

COLLECT ON COMPLETION: \$44,290



10 WF 30lb

		MAINE-WIDE CONSTRUCTOR, INC.	
Scale	N/A	Approved By	Drawn By TC
Date	1-29-02	BEAM DETAIL	Revised
Drawn For	JONES		
Location	PORTLAND		Drawing # 11

*Call memo -
3/5/02 3:05 P.M.
Response via FAX
360209:530M
@ 10:52 AM*

389 Congress St.
Portland, ME 04101
Phone: (207)874-8700
Fax: (207)874-8716

FROM: Tim or Judy -- Mainwide **TO:** Mike Nugent
Fax: 207-622-7528 **Date:** March 5, 2002 **Response:** 03/06/02 (5pgs)
Phone: 800-452-1940 **Pages:** 1
Re: 110 Whitney Ave. 186A A018 **CC:** Mr. & Mrs Jones

Urgent For Review Please Comment Please Reply Please Recycle

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1. Footing Dimensions - See drawing attached
2. Foundation wall thickness Foundation cross section - See drawing attached
3. Size of anchor bolts - See drawing attached
4. The 6" x 10" headers in the "open roof system" are under designed (See Table 502.5(1) in the 2000 I.R.C. - Headers to be 6"x12" southern yellow pine P.T.
5. Step details from existing house - See drawing attached
6. Header details where omitted - See drawing attached
7. Egress window replacement schedule in existing house (Hardware included) -See Manufacturers Info Attached
8. Electrical detail - By others
9. Plumbing plan for "both rooms" - By others
10. Foundation Drilling and Pinning detail - See drawing attached
11. Steps stairs and landing details for the exterior doors. - Doors at grade - no steps
12. Demo Permit Must be obtained prior to issuance of this permit due to lot coverage - By others



03/06/2002 12:04
Mar 05 02 02:55p

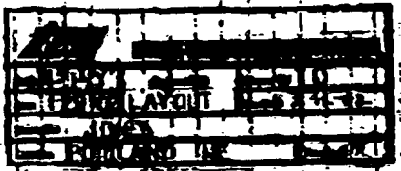
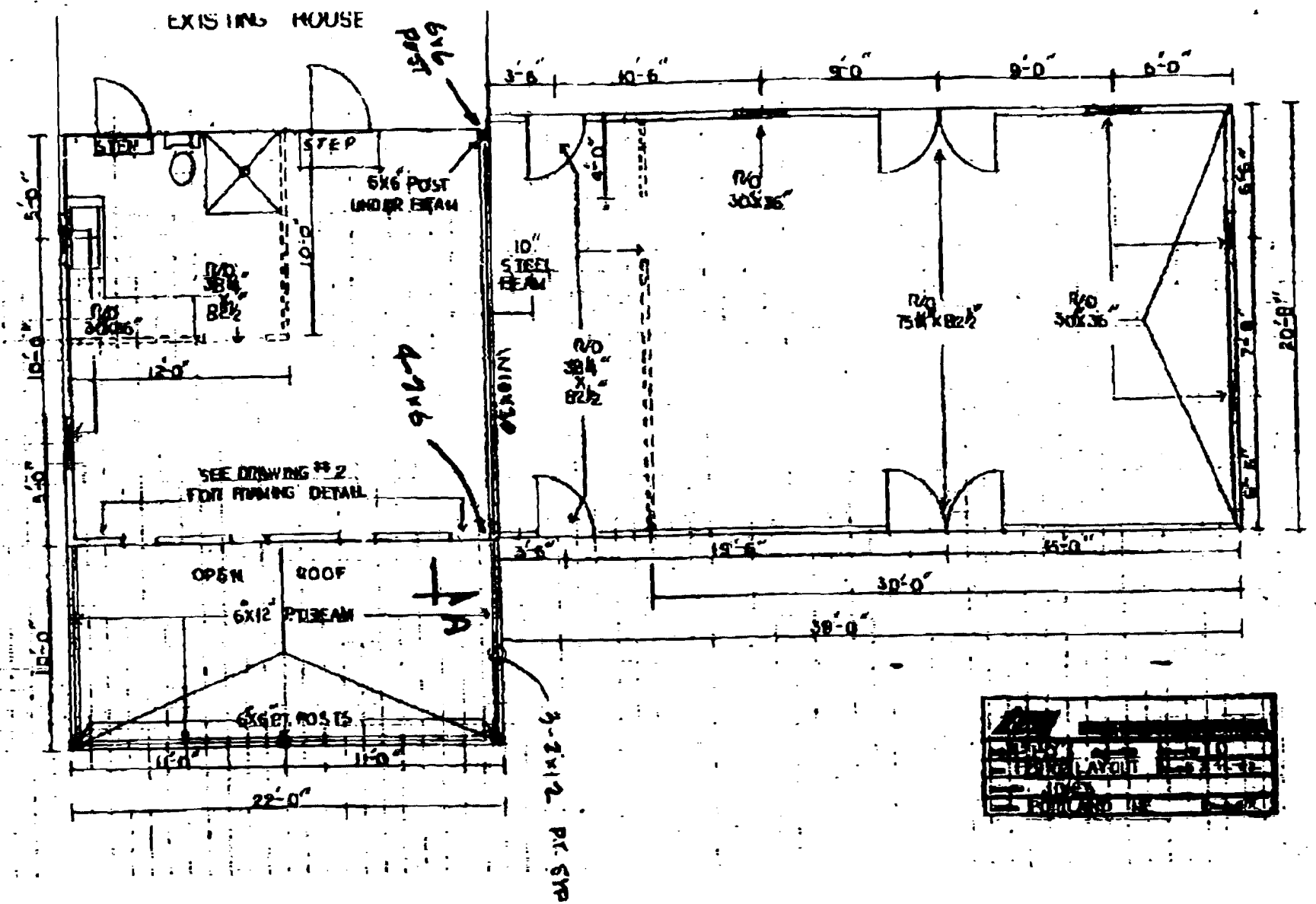
ME WIDE CONST INC → 8748949
City of Portland

(207)874-8716

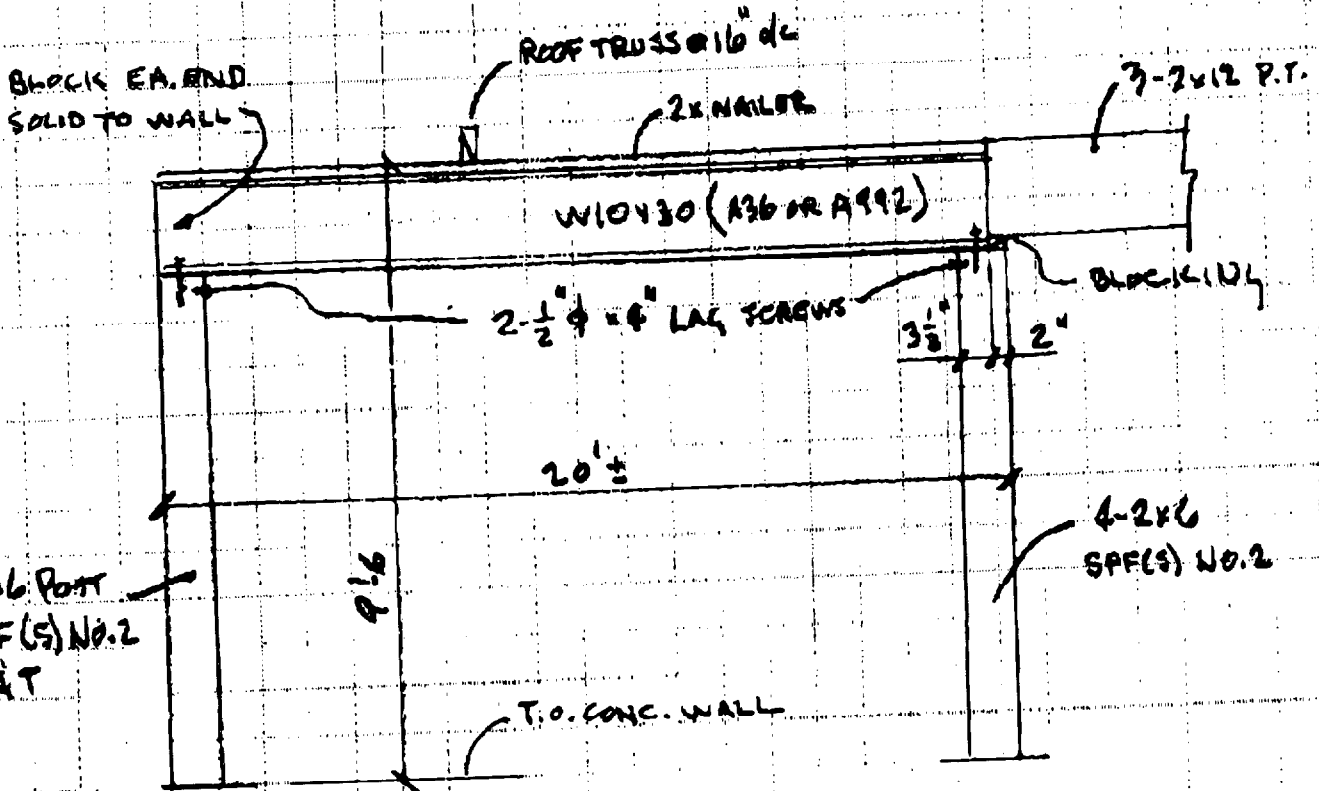
NO. 819 002
P. 2

3. Structural Steel loading specs from the manufacturer and installation /framing detail. - To follow.

03/06/2002 14:57 ME WIDE CONST INC → 8748949 J.F. NEVILLE, P.E.
03/06/2002 14:15 207-998-4088



JOSEPH F. NEVILLE, P.E.
CONSULTING STRUCTURAL ENGINEER
404 Megquier Hill Road
POLAND, MAINE 04274
Phone/FAX (207) 998-4086



SECT A

GEN. NOTES

- 1. DESIGN LOADS
LL = 50 PSF
DL = 15 PSF



- 2. FOR LOCATION OF SECT-A SEE ENCL. LAYOUT DWG BY ME WIDE CONST AS ANNOTATED BY JFN
- 3. P.E. PROVIDES ONLY FOR W10X30 AND SUPPORTS.

MAINE-WIDE CONSTRUCTION

1-800-452-1940

P.O. Box 2106, Augusta, ME 04338-2106

Fax: 207-622-7528

FAX COVER SHEET

Date:	03/06/02 @ 2:55 pm
--------------	--------------------

To:	Mike Nugent Fax: 874-8949	
Company:	City of Portland	
From:	Tim Cormier	
Re:	JONES: LOAD DESIGN	
No. of Pages	3 (which includes this cover sheet)	

NOTES:	
If you have any questions or need further information please feel free to call me.	
Thank you. <i>Tim</i>	
cc: File	



Casement

New Construction and Replacement Series



Whether you're searching for a modern contemporary look for your new home, or maximizing a beautiful view with unobstructed expanses of glass, the Paradigm Casement Series delivers outstanding performance in an attractive, well designed window that will add to your home's enjoyment for years to come. The revolutionary design of the Paradigm Casement window will give your home optimum ventilation in the summer, and maximum protection from the wind and cold in the winter.

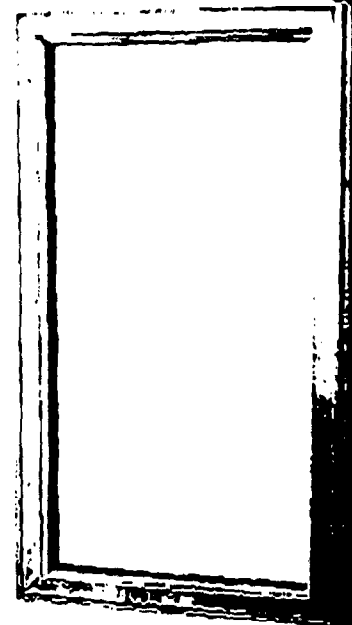
Triple weatherstrips located where the sash contacts the frame seal out the elements. When you want fresh air, the hardware is designed to reliably operate the window for years to come. The fold down crank handle fits underneath most window treatments. The Casement window conveniently locks using one lock handle and multiple lock points on the sash. With the standard washability hardware, you're able to clean the outside of the glass from inside the house.

The entire Paradigm family of windows feature multi-chambered frames and sash with fusion-welded corners for strength and a lifetime of worry-free operation. The StarBrite™ glazing with Energy Star® qualified Low E² glass is standard on new construction windows, and with optional Argon gas yields the highest insulating value. Both can be added to the Replacement Series.

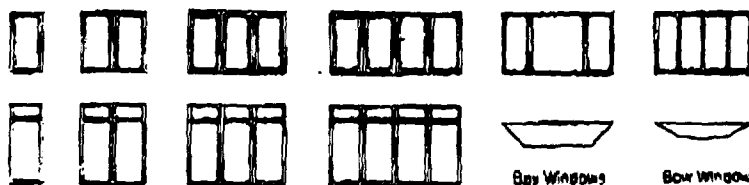
Paradigm Casement windows for new construction come with a molded-in J channel that is both attractive and functional when trimming out both vinyl and wood siding. You can customize the exterior look of Casement windows with factory applied flat and brickmould casings, different grill patterns and profiles, color choices and factory applied primed or clear pine jamb extensions.
Note: Casings and jamb extensions do not apply to the Replacement Series.

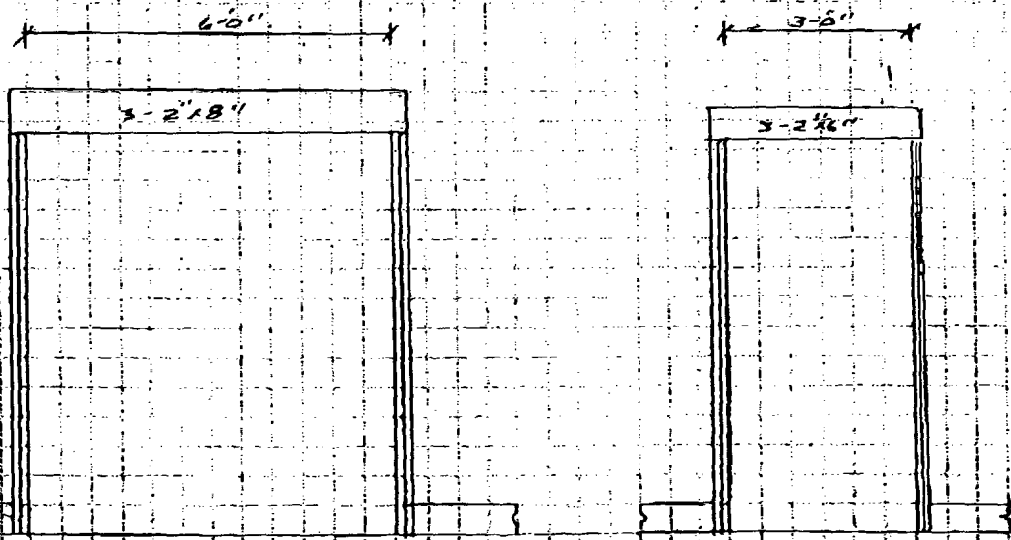
Select the Casement Series for your Bay or Bow window or mate Casements to Paradigm's Mondrian geometric shapes and transoms to give your home a truly individual look.


All Paradigm windows feature a Higher Standard Lifetime Warranty covering manufacturing defects and parts. Consult the written warranty for specific coverage information.

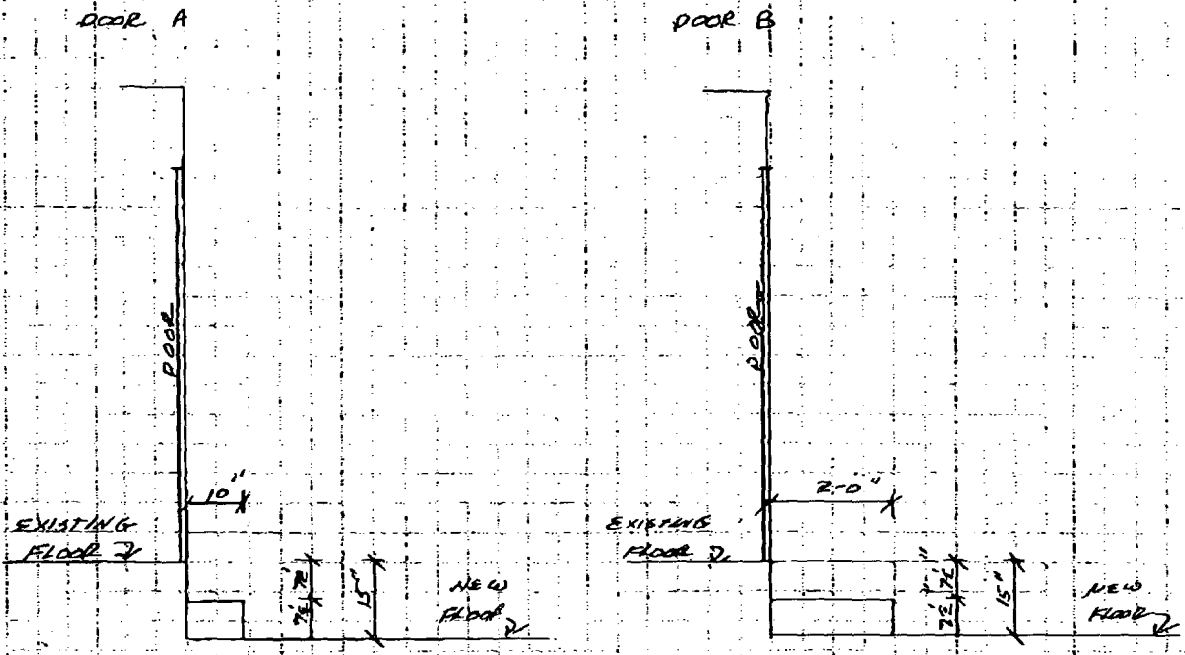


Typical Casement Configurations:





		ME WIDE CONSTRUCTION, INC.	
Line: 8748949	Approved: _____	Checked by: _____	_____
Drawn by: J. JONES	MEASUREMENTS	_____	_____
Location: DORCHESTER, MA	_____	_____	_____



		ME WIDE CONSTRUCTION, INC.	
Scale: 1/4" = 1'-0"	Approved By:	Drawn By:	←
Date: 3-5-02	STEP CHAIR	Checked:	
Drawn By: J. TOWNS			
Address: PORTLAND, ME			

February 26, 2002

Marge Schmuckal
389 Congress Street
Room 315
Portland, Maine 04101

Dear Ms. Schmuckal,

I apologize our plans did not convey the correct intent of the space we hope to add on to our home.

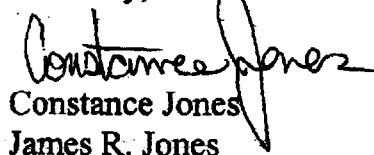
My husband and I have dogs for our own personal companionship. We currently have an outside chain link enclosure for them to stay safely in while we are at work. As the dogs age they seem to like the warmer environment of being in the house, and as I age, I complain more about shoveling out the outside kennel. This room is really a family room/bedroom to encompass a downstairs bath and a place for the dogs to stay in while we are at work.

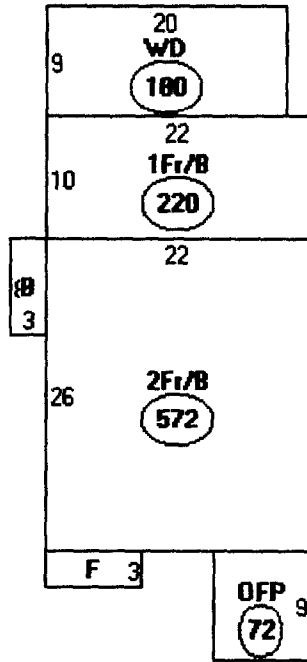
We do not care for, board, or exchange any services for anyone else's dogs. This is strictly for our own personal pets.

We are removing our current garage and adding on the space labeled "shop." The shop area will be used as we did our old garage, for storage and a space to use our personal tools to work on our home. — *Not A home occupation even —
Just hobby life*

If you have any more questions concerning our use of this space, please contact me at 775-5051 or work 781-8550.

Sincerely,


Constance Jones
James R. Jones



Descriptor/Area	Area
A: 2Fr/B	572 sqft
B: FBAY/B	24 sqft
C: 1Fr/B	220 sqft
D: WD	180 sqft
E: OFF	72 sqft
F: FBAY	24 sqft

EXISTING

$$\begin{array}{r}
 572 \\
 = 24 \\
 \hline
 220 \\
 180 \\
 72 \\
 24 \\
 \hline
 1092 \#
 \end{array}$$

proposed: 30' x 22' = 660

20.66 x 38 = 785.08

proposed total = 1445 #

R-3 Zone

Also owns another lot

$$\begin{array}{r}
 5,500 \\
 \hline
 11,000
 \end{array}$$

$5,500 \times 25\% = 1375 \#$ max lot coverage
 $11,000 \times 25\% = 2750\%$ MAX. 2750
 $1092 + 1445 = 2537 \#$
 Lot coverage ok with removal of rear garage

EXISTING HOUSE

BACK FILL 2" BELOW
BOND OUTS FOR DOORS
THIS AREA

INSTALL 2" FOAM
THIS AREA

FOUNDATION WALL

OUTSIDE KENNEL
AREA

BACKFILL EVEN
WITH TOP OF
WALL THIS AREA


38'-0"

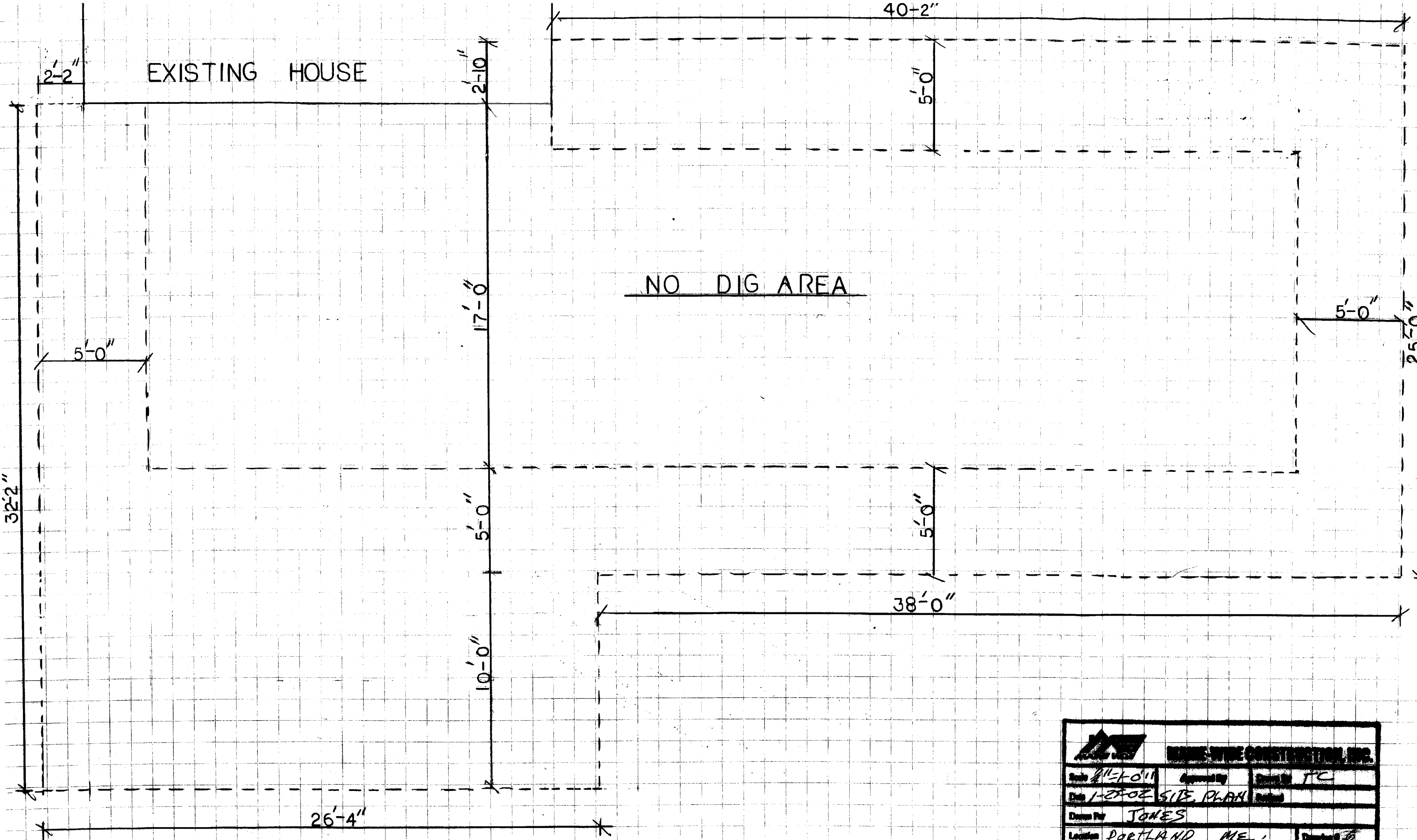
26'-0"


Site Instructions: 01/30/02

1. Dig hole 6'-3" below bottom of door stool in house
2. **DO NOT** pile excavated material in middle of hole
3. Backfill inside main foundation 2" below top of bondouts for doors
4. Furnish & install 2" rigid foam insulation inside of main foundation area (see Drawing #6)
5. Backfill between main foundation and outside of Kennel foundation even with top of outside wall see Drawing #6)
6. Backfill with 1" minus or sand
7. Backfill **MUST BE** compacted in 8" lifts
8. Prepare 26'x6' base for sidewalk outside of Kennel area (see Drawing #6)
9. Existing building to be demolished
10. Any questions call Tim or Judy at 1-800-452-1940

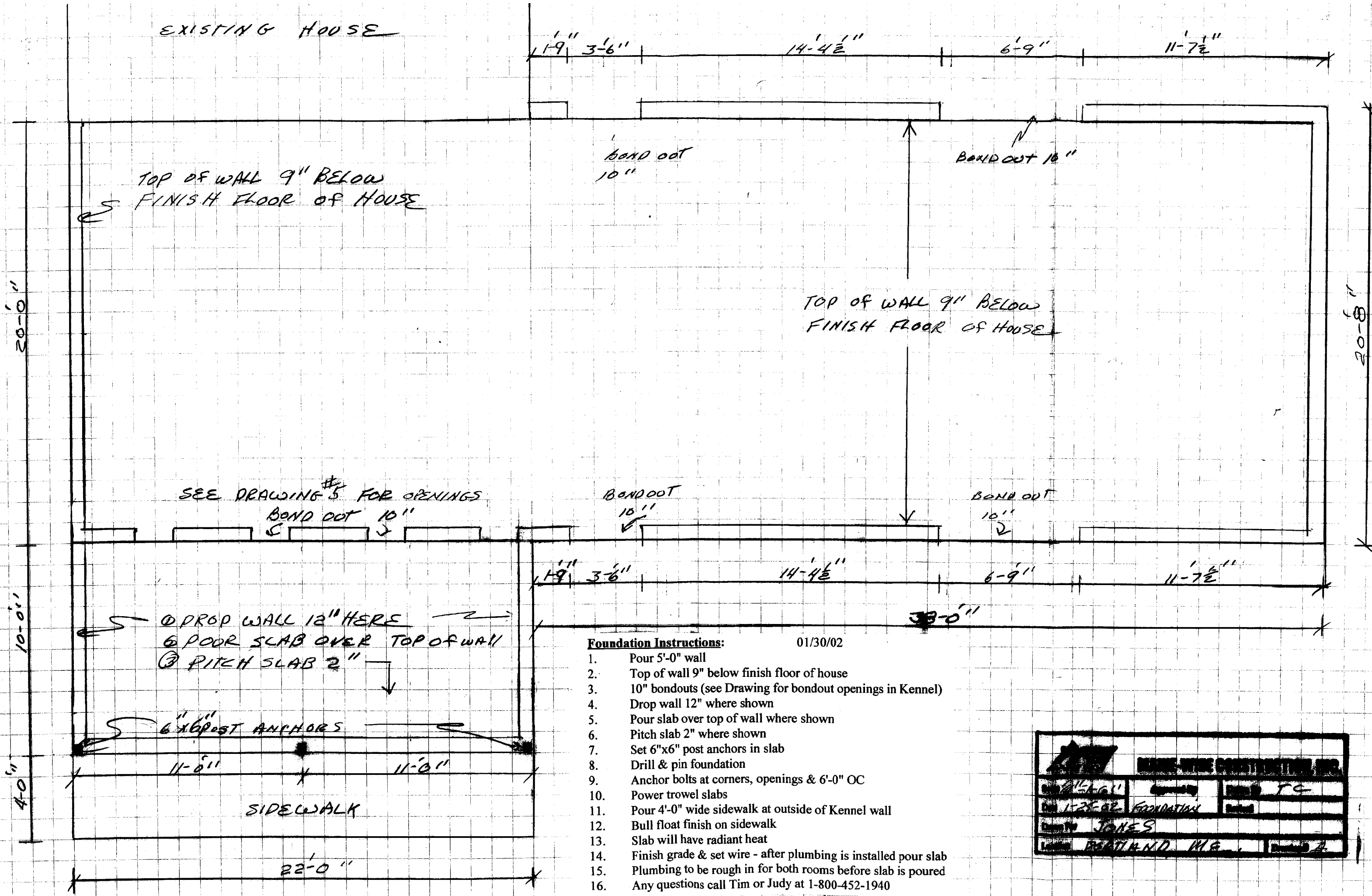
at coverage
 $5500 \# \times 25\% = 1375 \#$

			WIDE-WIDE CONSTRUCTION, INC.		
Scale 1/8" = 1'-0"	Drawn By	Checked By	TC		
Date 1-29-02	Site/Found PLAN	Revised			
Drawn For	JONES				
Location	PORTLAND ME				Drawing # 7



		WINDY TREE CONSTRUCTION, INC.	
Scale 1/4" = 1'-0"	Approved By	[Signature] TC	
Title	HOUSE SITE PLAN		Sheet
Drawn By	JONES		
Location	PORTLAND, ME.		Drawing 0-0

EXISTING HOUSE




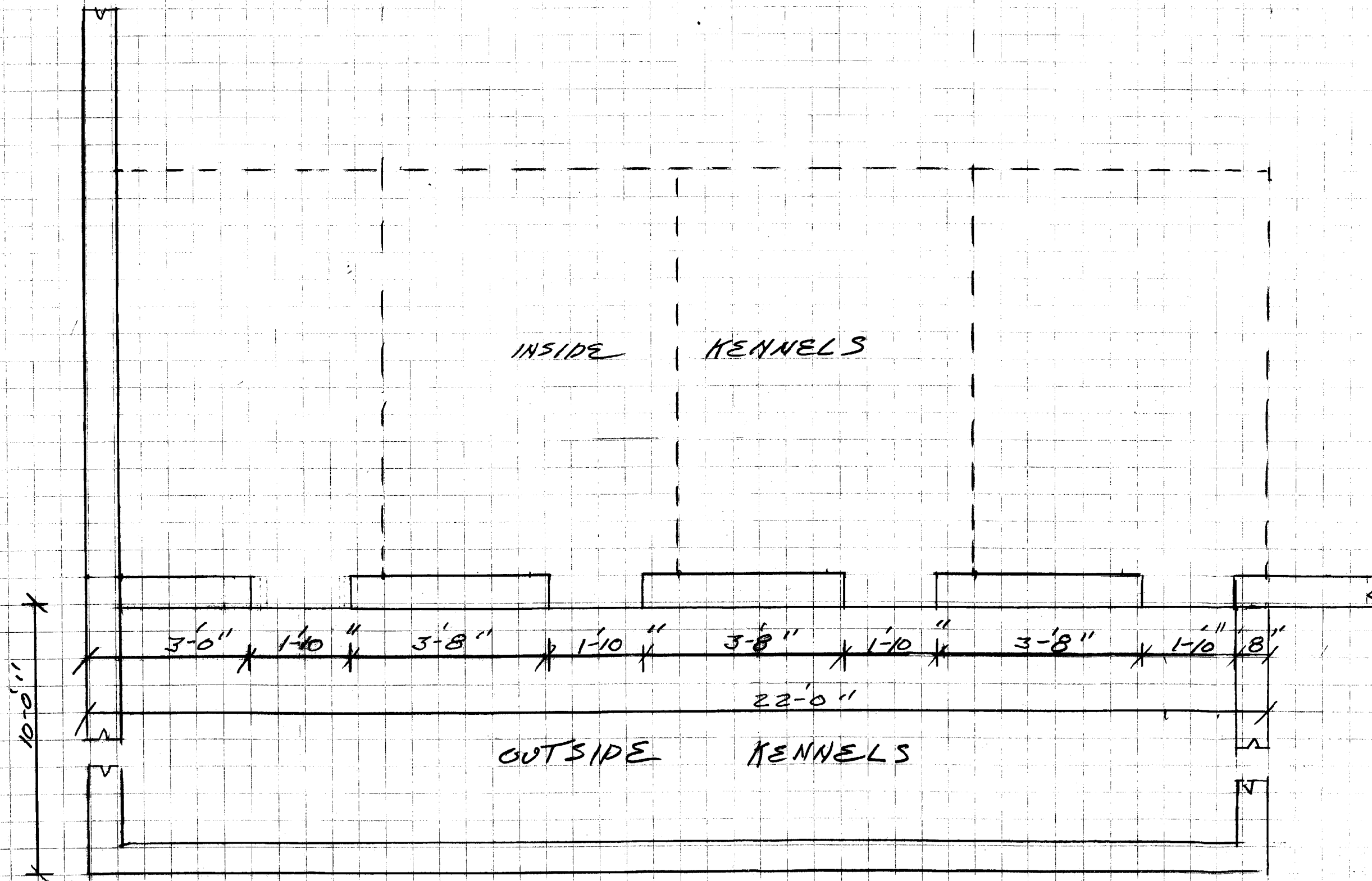
Foundation Instructions:

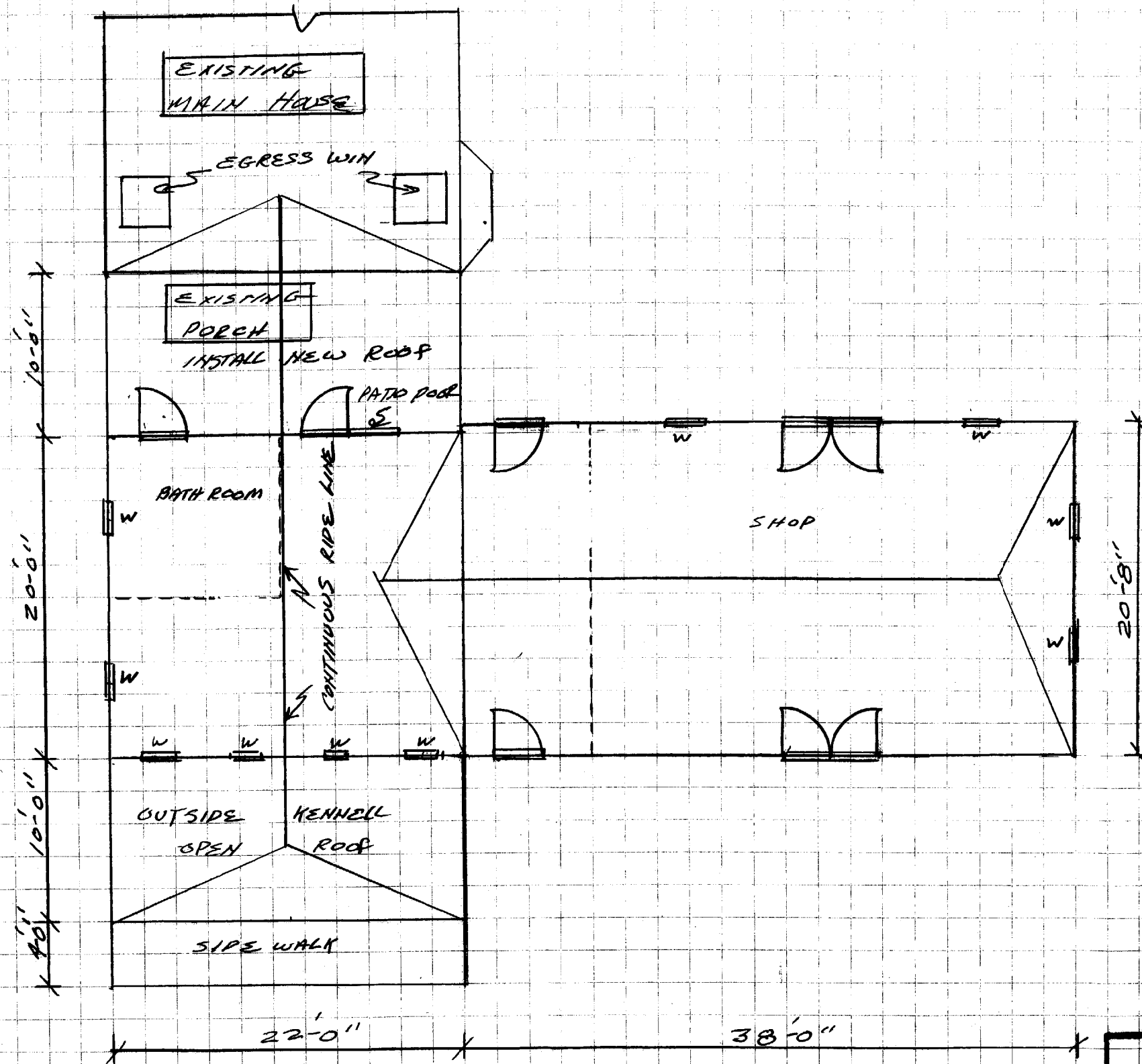
01/30/02


1. Pour 5'-0" wall
2. Top of wall 9" below finish floor of house
3. 10" bondouts (see Drawing for bondout openings in Kennel)
4. Drop wall 12" where shown
5. Pour slab over top of wall where shown
6. Pitch slab 2" where shown
7. Set 6"x6" post anchors in slab
8. Drill & pin foundation
9. Anchor bolts at corners, openings & 6'-0" OC
10. Power trowel slabs
11. Pour 4'-0" wide sidewalk at outside of Kennel wall
12. Bull float finish on sidewalk
13. Slab will have radiant heat
14. Finish grade & set wire - after plumbing is installed pour slab
15. Plumbing to be rough in for both rooms before slab is poured
16. Any questions call Tim or Judy at 1-800-452-1940

15'-6" 1-25-02	FOUNDATION	JONES
ROBERT AND M.E.		

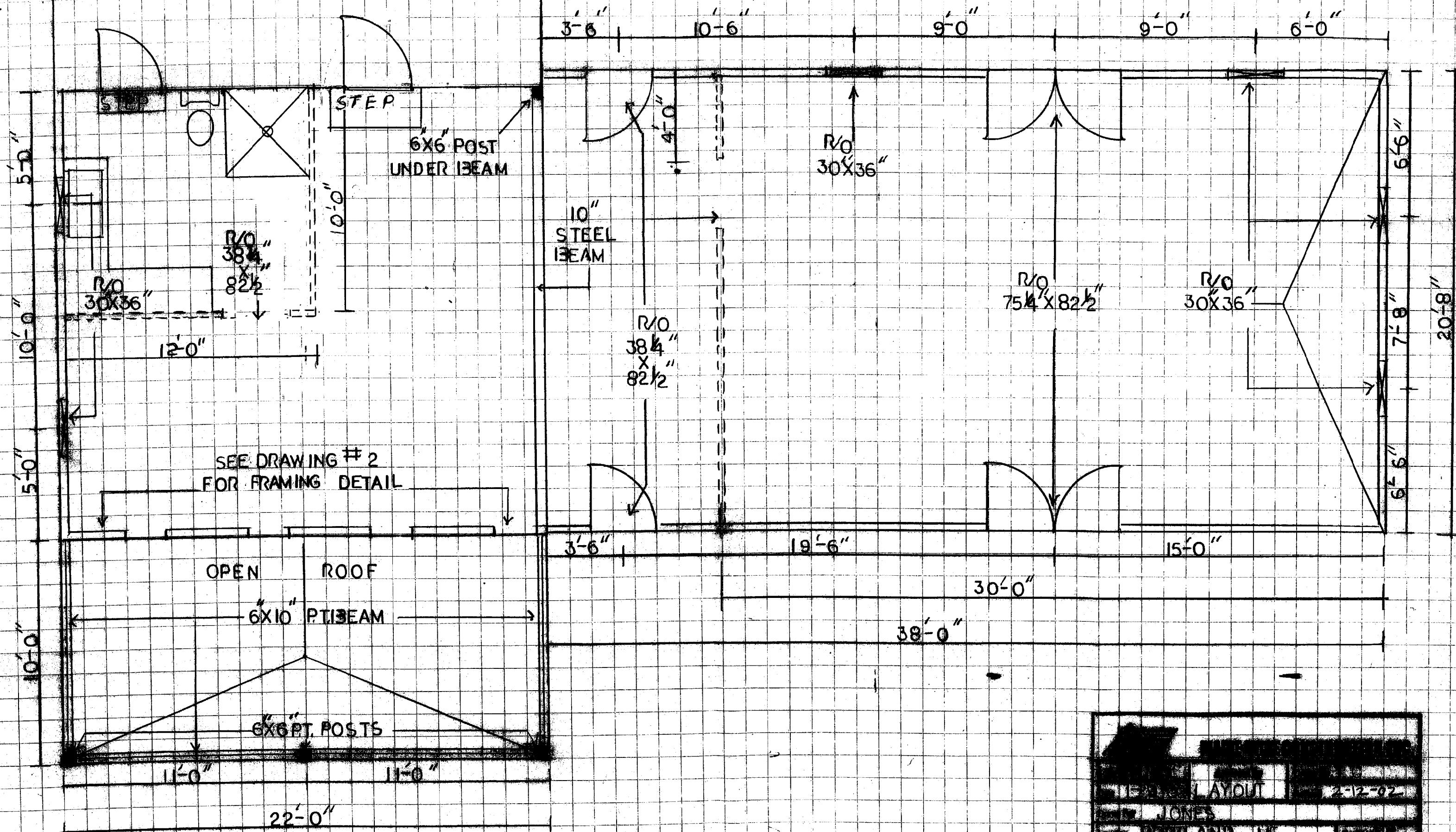
		HOME-WIRE CONSTRUCTION INC.	
Job # 151-810	Quantity	Drawn By JC	
125 SQ	KENNEL 110"	Date	
Drawn By JONES			
Location	PORTLAND	MS	Sheet # 1



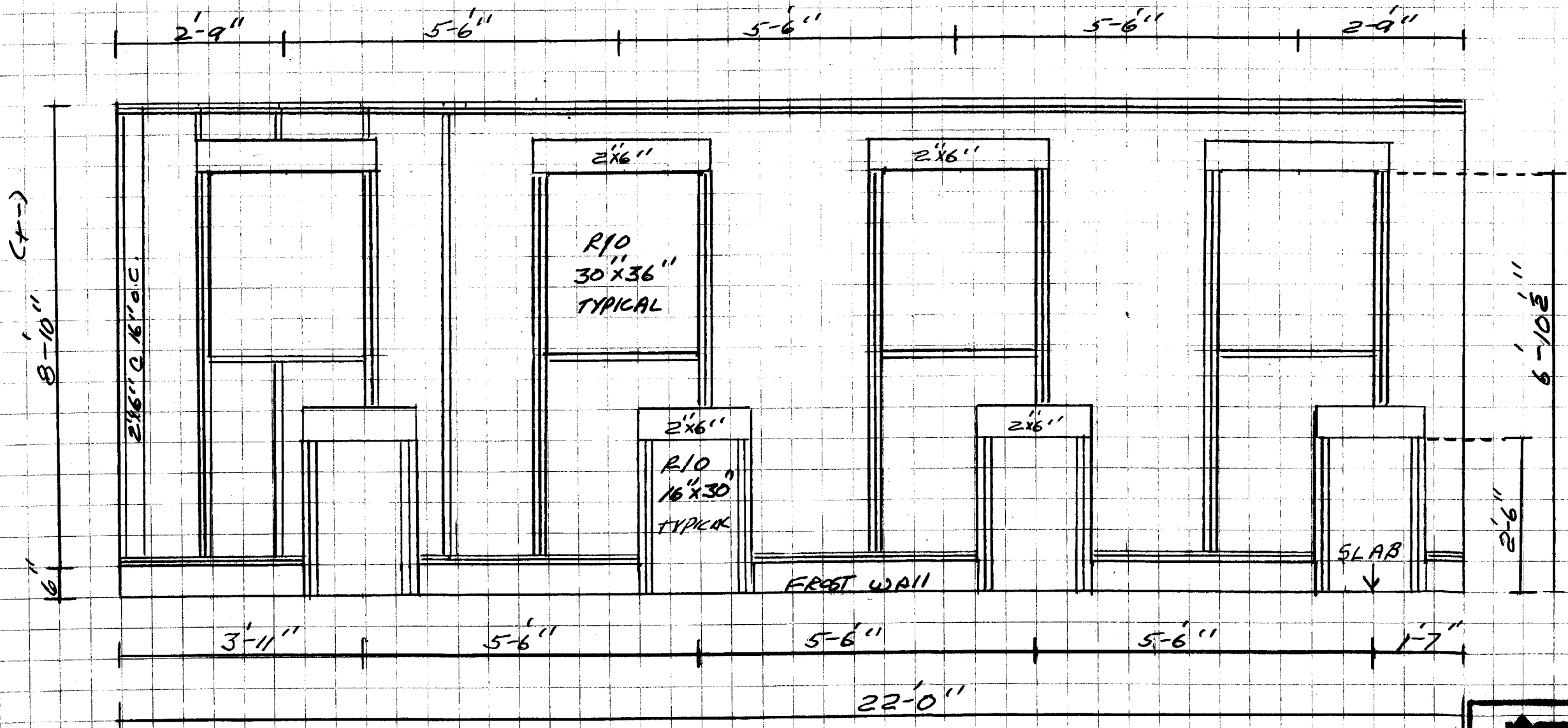


			
HOME-WIDE CONSTRUCTION, INC.			
Scale 3/4"=1'-0"	Agency	Drawn By	DATE
Date 1-29-02	OVERVIEW	Scale	
Drawn By	JONES		
Location	PORTLAND, ME.		


EXISTING HOUSE

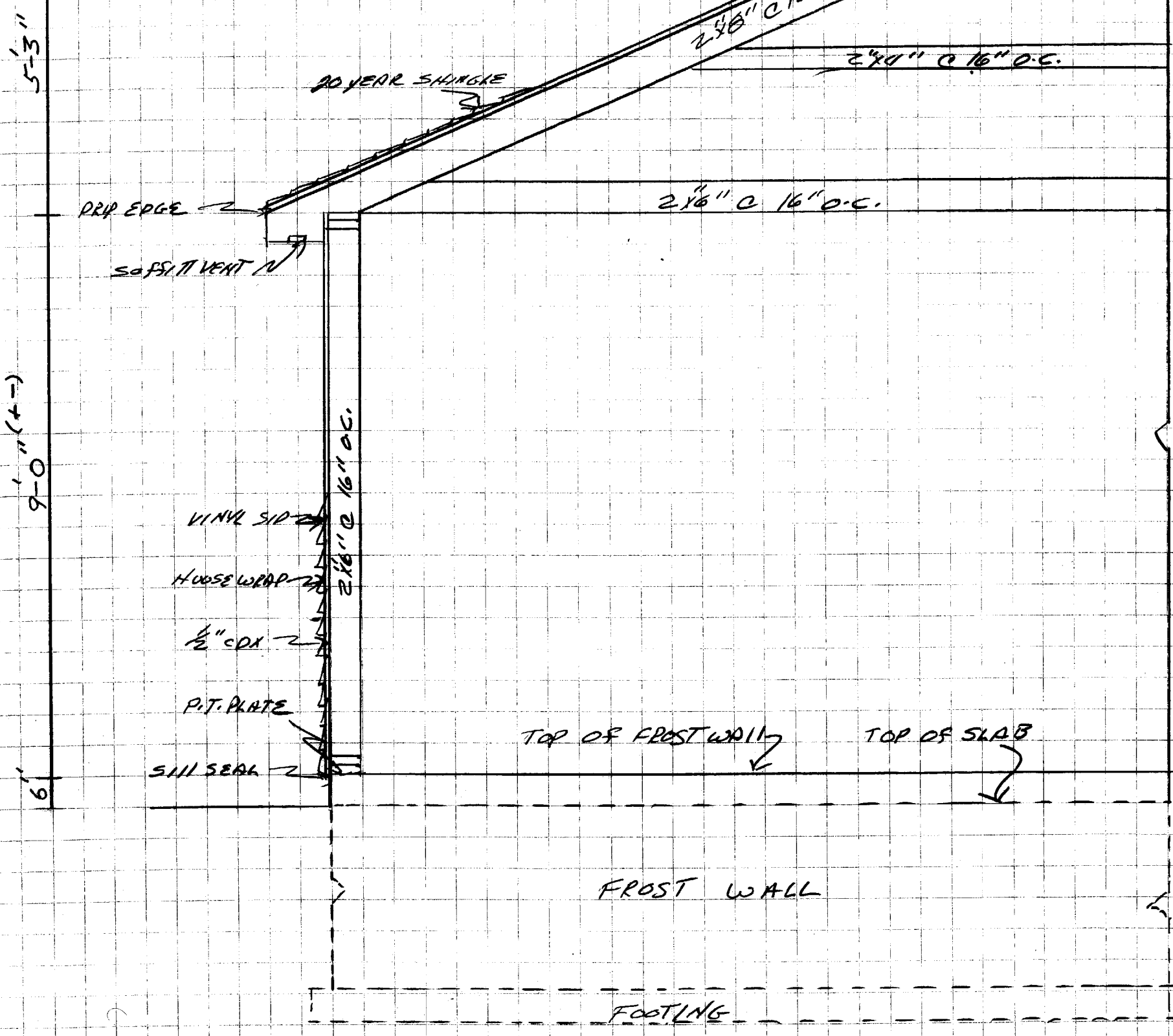



THE LAYOUT 2-12-62
JONES
PORTLAND, ME

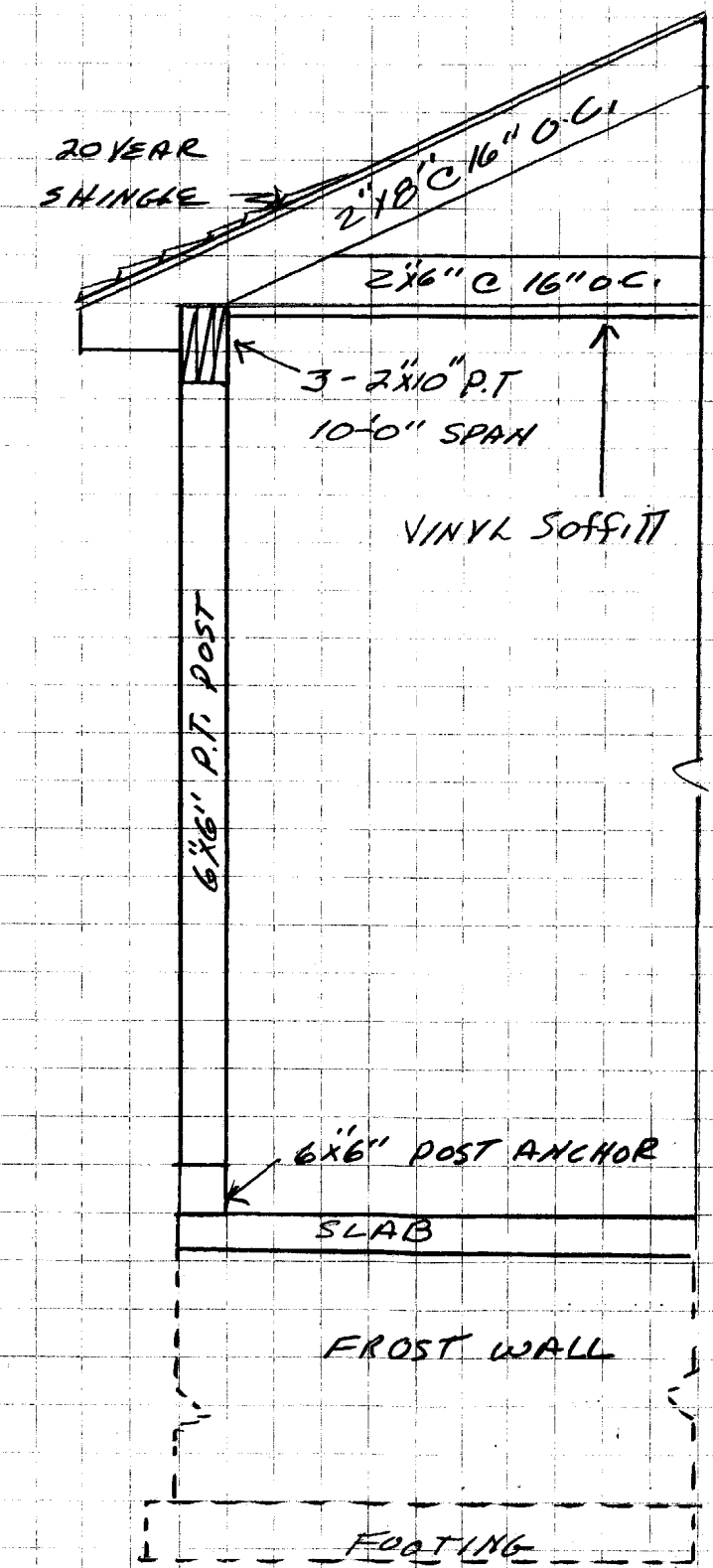


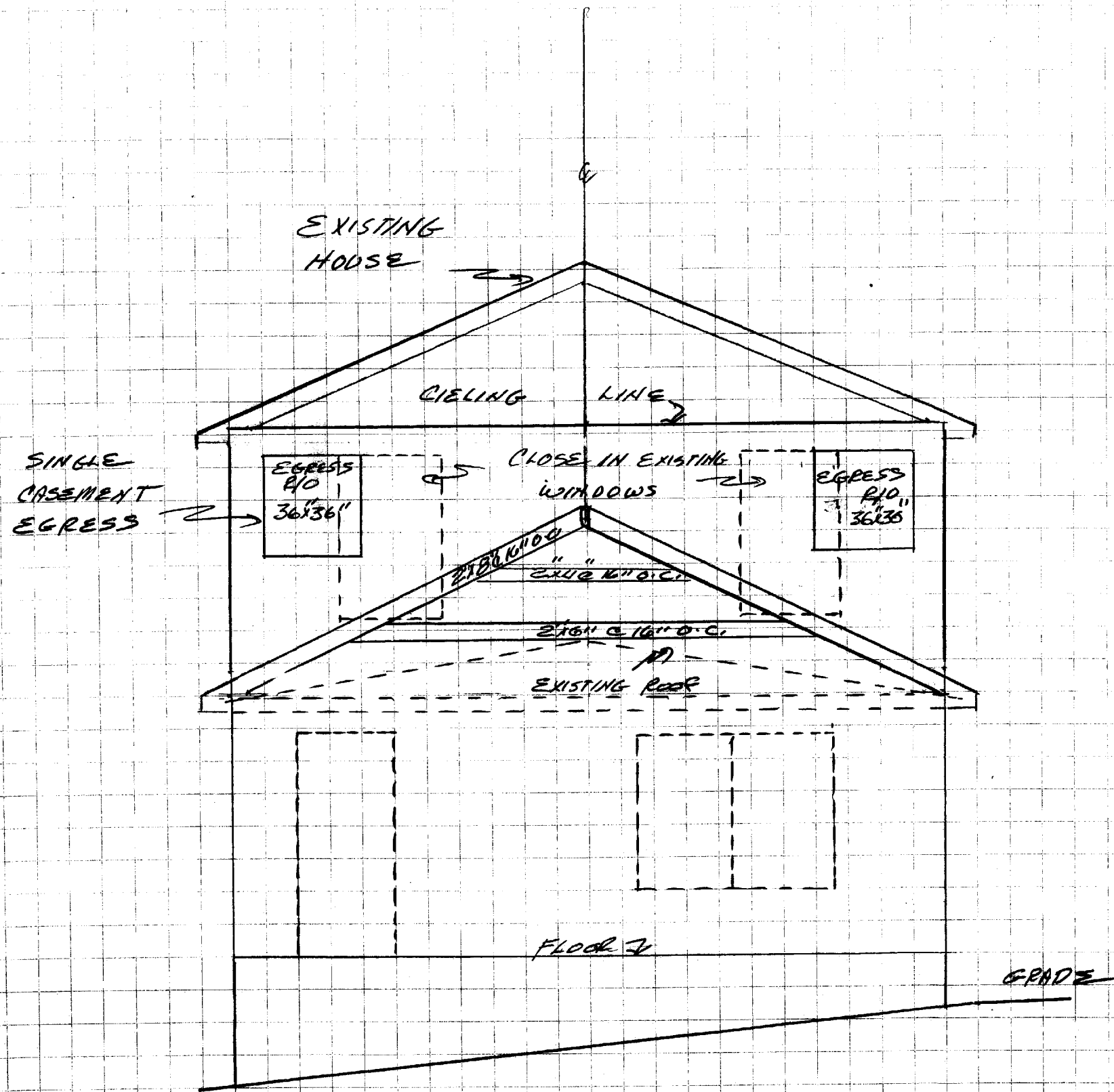
		MAINE-WIDE CONSTRUCTION, INC.
22'-0"	8'-10"	MECHANICAL
DIM 1-29-02 FRONTING PERM. DRAWING		DATE TC
DRAWN BY JONES		
LOCATION PORTLAND, ME		

 NAME-WIDE CONSTRUCTION, INC.		
Scale $\frac{1}{2}'' = 1'-0''$	Approved By	Drawn By TC
Date 1-29-02	CROSS SECTION	Revised
Drawn For JONES		
Location PORTLAND, ME	Drawing # 8	



 NAME-WIDE CONSTRUCTION, INC.		
Scale $\frac{1}{2}'' = 1'-0''$	Approved By	Drawn By TC
Date 1-29-02	OPEN ROOF DETAIL	Revised
Drawn For JONES		
Location PORTLAND, ME	Drawing # 9	





		MADE-WIRE CONSTRUCTION, INC.	
Scale 1/4" = 1'-0"	Approved By	Drawn By	TC
Date 1-29-02	Project HOUSE ROOF		
Drawn For	JONES		
Location	PORTLAND ME	Drawing No.	10