

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

PERMIT ISSUED  
NOV 04 2004  
Permit Number: 041583  
CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING DEPARTMENT

## PERMIT

This is to certify that Thompson Walter L Iii & M and Stru  
has permission to 34'x25' addition -add bedroom bathroom living room  
AT 86 Rockland Ave 185 J002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

- Fire Dept. \_\_\_\_\_
- Health Dept. \_\_\_\_\_
- Appeal Board \_\_\_\_\_
- Other \_\_\_\_\_  
Department Name

N  
g  
b  
H

*Jamie Bourke 11/4/04*  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1583	Issue Date: 11/04/04	CBL: 185 5002001
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Location of Construction: 86 Rockland Ave	Owner Name: Thompson Walter L Iii &	Owner Address: 86 Rockland Ave	Phone:
Business Name:	Contractor Name: Mainland Structures, Inc.	Contractor Address: 11A Bartlett Rd Gorham	Phone: 2078561817
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R5

Fast Use: Single Family Home	Proposed Use: Single Family Home/ 34'x25' addition -add bedroom, bathroom, living room	Permit Fee: \$471.00	Cost of Work: \$50,000.00	CEO District: 3	5,000 ft
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Proposed Project Description: 34'x25' addition -add bedroom, bathroom, living room	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: R3 Type: 5B IRC 2003 Signature: JMB 11/04/04
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Permit Taken By: Idobson	Date Applied For: 10/20/2004	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 11/4/04	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1583	<b>Date Applied For:</b> 10/20/2004	<b>CBL:</b> 185 J002001
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<b>Location of Construction:</b> 86 Rockland Ave	<b>Owner Name:</b> Thompson Walter L Iii &	<b>Owner Address:</b> 86 Rockland Ave	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Mainland Structures, Inc.	<b>Contractor Address:</b> 11A Bartlett Rd Gorham	<b>Phone</b> (207) 856-1817
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home/ 34'x25' addition -add bedroom, bathroom, living room	<b>Proposed Project Description:</b> 34'x25' addition -add bedroom, bathroom, living room
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 11/04/2004  
**Note:** 11/3 spoke w/David H. About survey or pin locations, pins may have to be set for the setback inspection.      **Ok to Issue:**   
1) The addition of this structure is within 70 SF of allowable 40% lot coverage in the R5 zone.  
2) The new structures are very close to the required side & rear setbacks. Property pins must be located and strung for the setback inspection and a survey to verify the location & conformance to code may be required.  
3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. The wet bar sink is limited in size, and cannot be substituted for a kitchen sink.  
4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 11/04/2004  
**Note:** 11/3 spoke w/David H. For further plans on stair details, roof framing & frost protection.      **Ok to Issue:**   
1) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.  
2) The design load spec sheets for any engineered beam(s) must be submitted to this office.  
3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans. *FP SF INFO*  
4) Separate permits are required for any electrical, plumbing, or heating.

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

<b>ROCKLAND</b>		
Total Square Footage of Proposed Structure <b>685 SF</b>	Square footage of Lot <b>5000</b>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <b>185      5      0202</b>	Owner: <b>WALTON L. THOMPSON, III</b>	Telephone: <b>773-3047</b>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>DAVID HEMSPER. ARCHITECT 311 FANESIDE ROAD PALMOUTH, ME, 04105 761-7221</b>	cost Of Work: \$ <b>50,000</b> - Fee: \$
Current use: <b>RES OFFICE - SGL. FAMILY</b>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <b>ADD BED ROOM, BATH RM, LIVING RM</b>		
Project description: <b>34' x 25'</b>		
Contractor's name, address & telephone: <b>MAINLAND STRUCTURES</b>		
Who should we contact when the permit is ready: <b>FRANK GRANDI</b>		
Mailing address: <b>P.O. BOX 128 11 BARTLETT ROAD BONHAM, ME 04038</b>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.		
PHONE: <b>(207) 856-2825</b>		

OCT 20 2004

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <b>[Signature], AIA</b>	Date: <b>10/20/04</b>
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**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**

**David Hembre - Architect**  
311 Foreside Road  
Falmouth, Maine 04105  
tel/fax (207) 781-7227 cell (207) 332-4564

# FAX TRANSMITTAL

**TO: CITY OF PORTLAND  
PLANNING AND DEVELOPMENT**

**FAX # (207) 874-8716**

**PAGES: 2**

**ATTN: Jeanie Bourke**

**RE: 86 Rockland Avenue**

**NOV - 4**

4 November 2004

Jeanie-

Following is SK-1 with the Roof Framing Revisions that we discussed for the project noted above.

I also found that it is *Extruded Polystyrene* that I meant to note for the rigid insulation.

Thank you for your help.

Sincerely,

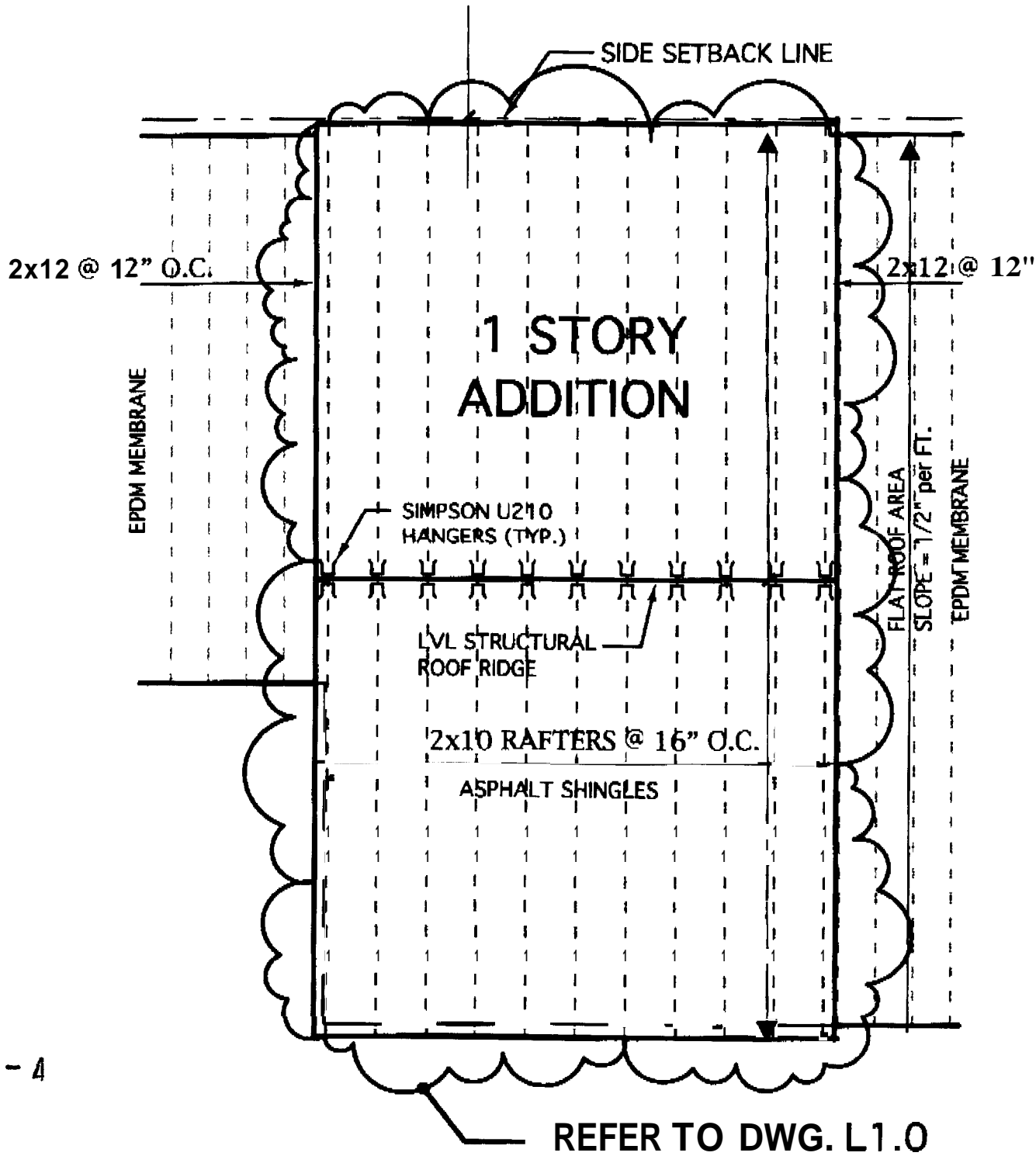
**DAVID**

David Hembre, AIA

STAIR RISE: Rm 104  
TO BE 7 3/4" x 11" T's

GRASPABLE HANDRAIL TO BE 36" h  
w/ 4" D.C. BALUSTERS

*David Hembre*



REV - 4

1

### REV.'D FRAMING PLAN

SCALE: 1/4" = 1'-0"

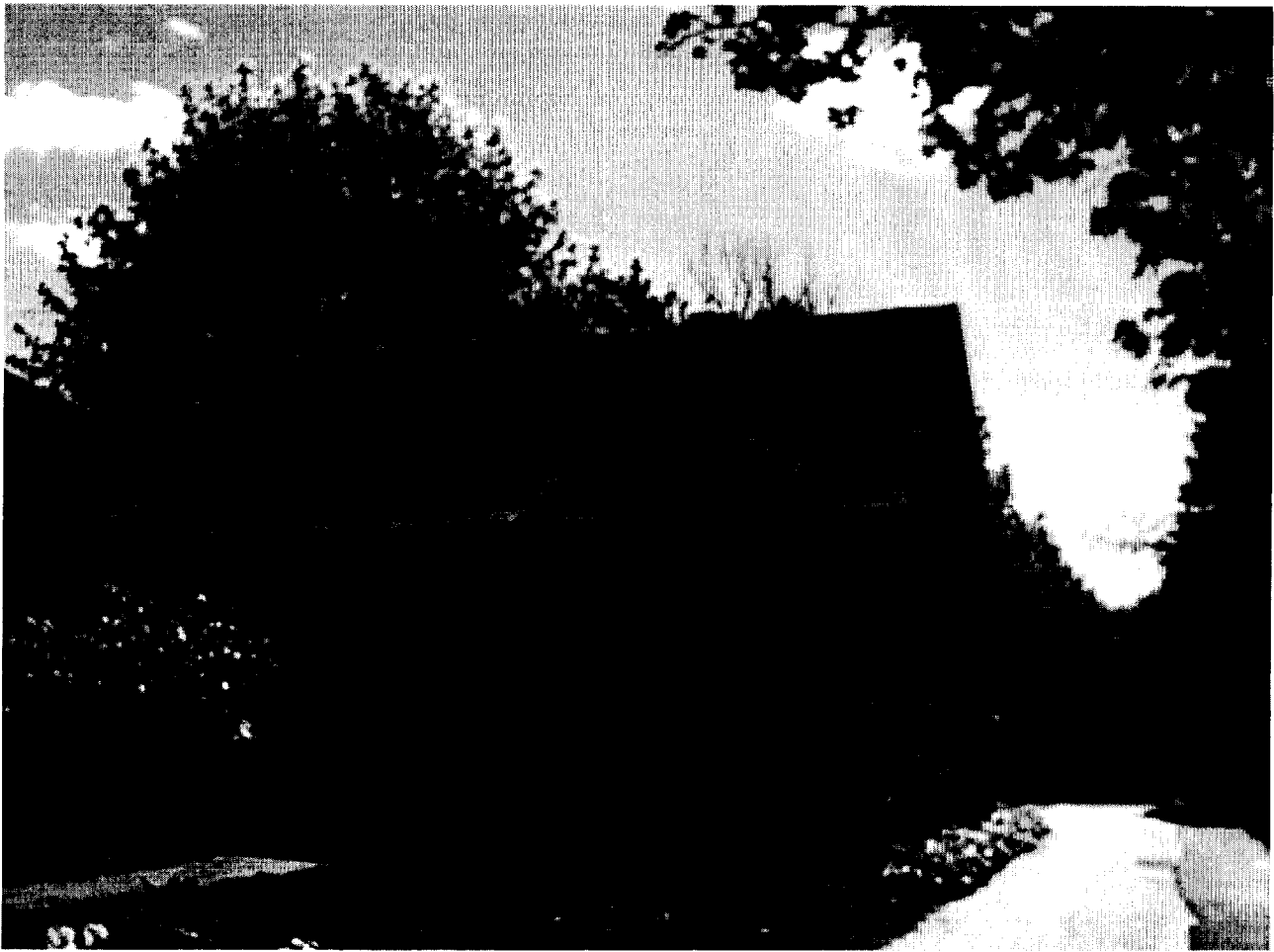
DAVID HEMBRE - ARCHITECT 311 FORESIDE ROAD FALMOUTH, MAINE 04105 (207) 781-7227	
ISSUED FOR:	DATE
PERMIT	11/04/04

**THOMPSON RESIDENCE**  
86 ROCKLAND AVENUE  
PORTLAND, MAINE

**ROOF FRAMING REVISIONS**  
SCALE: 1/4" = 1'-0"

**SK-1**

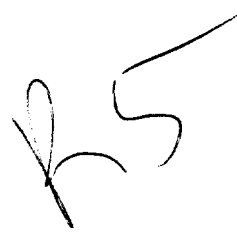
SKETCH NO.



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number 1 of 1  
 Parcel ID 185 J002001  
 Location 86 ROCKLAND AVE  
 Land Use SINGLE FAMILY  
 Owner Address THOMPSON WALTER L III 8 CLARE S JTS  
 86 ROCKLAND AVE  
 PORTLAND ME 04102  
 Book/Page 12491/81  
 Legal 185-J-2  
 ROCKLAND AVE 86-88  
 5000 SF



**Valuation Information**

Land	Building	Total
\$30,240	\$71,190	\$101,430

**Property Information**

Year Built 1955	Style Cape	Story Height 1	Sq. Ft. 1060	Total Acres 0.115
Bedrooms 2	Full Baths 1	Half Baths 1	Total Rooms 5	Attic Full Finsh
				Basement Full

**Outbuildings**

Type GARAGE-WD/CB	Quantity 1	Year Built 1970	Size 20X22	Grade C	Condition A
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**Sales Information**

Date 05/07/1996	Type LAND + BLDING	Price \$102,500	Book/Page 12491-081
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**Picture and Sketch**

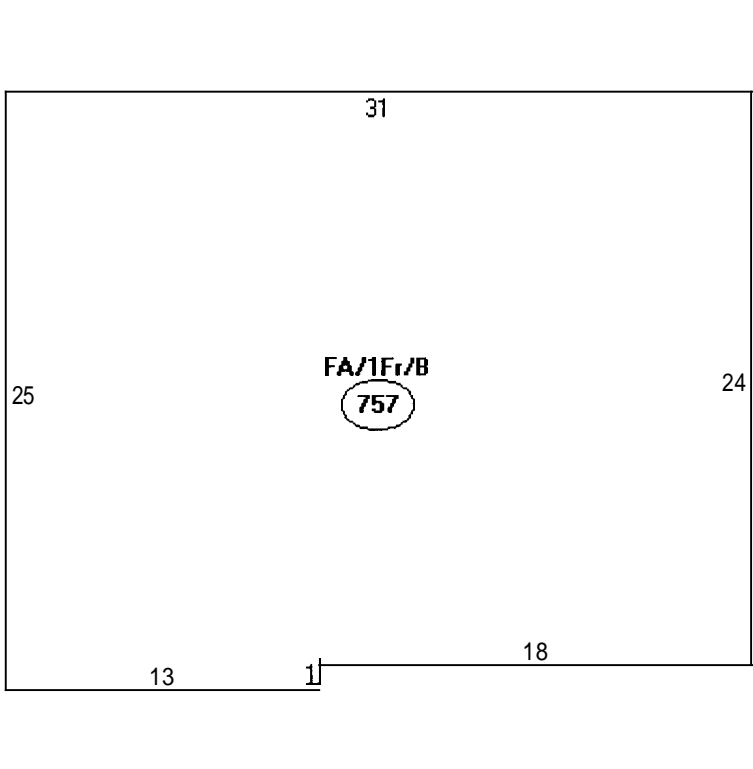
[Picture](#)      [Sketch](#)      [Tax Map](#)

Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**





Descriptor/Area  
A:FA/1Fr/B  
757 sqft

440 garage

1,197

per stamped site plan =  
1,235 SF

Actual scaled off plans:

Rear porch  $8 \times 3.75 = 30 \text{ SF}$   
 Chimney  $1.5 \times 1.5 = 2.25 \text{ SF}$   
 Front steps  $2.75 \times 6.5 = 17.875 \text{ SF}$   
50.125 SF

5000  
x 40%  
2,000

*[Handwritten signature]*

757  
+ 440  
1247.125  
+ 683.375 New addition  
1930.5

# BUILDING PERMIT INSPECTION PROCEDURES

Please call ~~874-8703~~ or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature] 11/4/04  
 Signature of Applicant/Designee Date  
[Signature] 11/4/04  
 Signature of Inspections Official Date

CBL: 185-J-2 Building Permit #: 04-1583