

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that SARAH C CECIL

Located At 33 BANCROFT ST

Job ID: 2012-03-3605-ALTR

CBL: 185- E-021-001

has permission to Rebuilt "After-The-Fact" an existing porch (Single Family Residence).

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

\_\_\_\_\_  
**Fire Prevention Officer**

  
\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

04/26/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD



# PORTLAND MAINE

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Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-03-3605-ALTR

Located At: 33 BANCROFT ST

CBL: 185- E-021-001

## Conditions of Approval:

### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
3. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
4. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. **Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade. This shall apply to all new guards (Plan indicates 34 inches).**
5. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
6. Girder Spans shall comply with Table R502.5(1). **Note: (3) 2 X 8 inch Beams max span is 7 foot 5 inches between each ("8 inch tube").**
7. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
8. This is an after-the-fact permit, modification and additional review may be required.



Entered 3/27/12

# General Building Permit Application

(B)



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

# 2012-03-3605-ALTR

R-5

Location/Address of Construction: <u>33 BANCROFT ST. PORTLAND</u>		
Total Square Footage of Proposed Structure/Area <u>208 - 16 = 192</u>	Square Footage of Lot <u>5,000 sq ft</u> <u>0.115 acres</u>	Number of Stories <u>2 1/2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>Legal desc.</u> <u>(185-E-21)</u> <u>BOOK &amp; PAGE</u> <u>25250/253</u>	Applicant * <u>must be owner, Lessee or Buyer*</u> Name <u>CHRIS WILLIAMS</u> Address <u>33 BANCROFT ST.</u> City, State & Zip <u>PORTLAND, ME</u> <u>04102</u>	Telephone: <u>207-210-0817</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>7,000</u> C of O Fee: \$ Total Fee: \$ <u>7,000</u> <sup>90-</sup>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N.A.</u> Proposed Specific use: Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>rebuild existing porch - Already constructed</u>		
Contractor's name: _____ Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>CHRIS WILLIAMS</u> Telephone: <u>207-210-0817</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 3/25/12

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED  
MAR 27 2012  
Dept of Building Inspections  
City of Portland, Maine

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Phone: 1-800-872-7272

Home | Request a Report | Parcel Information | Parcel Details | Search

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z



Downloaded from computer with Internet Explorer

<b>CBL</b>	185 E021001
<b>Land Use Type</b>	SINGLE FAMILY
<b>Property Location</b>	33 BANCROFT ST
<b>Owner Information</b>	CECIL SARAH C & CHRISTOPHER S WILLIAMS JTS
	33 BANCROFT ST
	PORTLAND ME 04102
<b>Book and Page</b>	25250/253
<b>Legal Description</b>	185-E-21 BANCROFT ST 33
	5000 SF
<b>Acres</b>	0.115

**Current Assessed Valuation:**

<b>TAX ACCT NO.</b>	26652	<b>OWNER OF RECORD AS OF APRIL 2011</b>
		CECIL SARAH C &
		CHRISTOPHER S WILLIAMS JTS
		33 BANCROFT ST
		PORTLAND ME 04102
<b>LAND VALUE</b>	\$53,900.00	
<b>BUILDING VALUE</b>	\$169,400.00	
<b>HOMESTEAD EXEMPTION</b>	(\$10,000.00)	
<b>NET TAXABLE - REAL ESTATE</b>	\$213,300.00	
<b>TAX AMOUNT</b>	\$3,899.12	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](mailto:).

**Building Information:**

	<b>Building 1</b>
<b>Year Built</b>	1903
<b>Style/Structure Type</b>	OLD STYLE
<b># Stories</b>	2
<b>Bedrooms</b>	4
<b>Full Baths</b>	1
<b>Half Baths</b>	1
<b>Total Rooms</b>	7
<b>Attic</b>	FULL FINSH
<b>Basement</b>	FULL
<b>Square Feet</b>	2042

[View Sketch](#)      [View Map](#)      [View Picture](#)

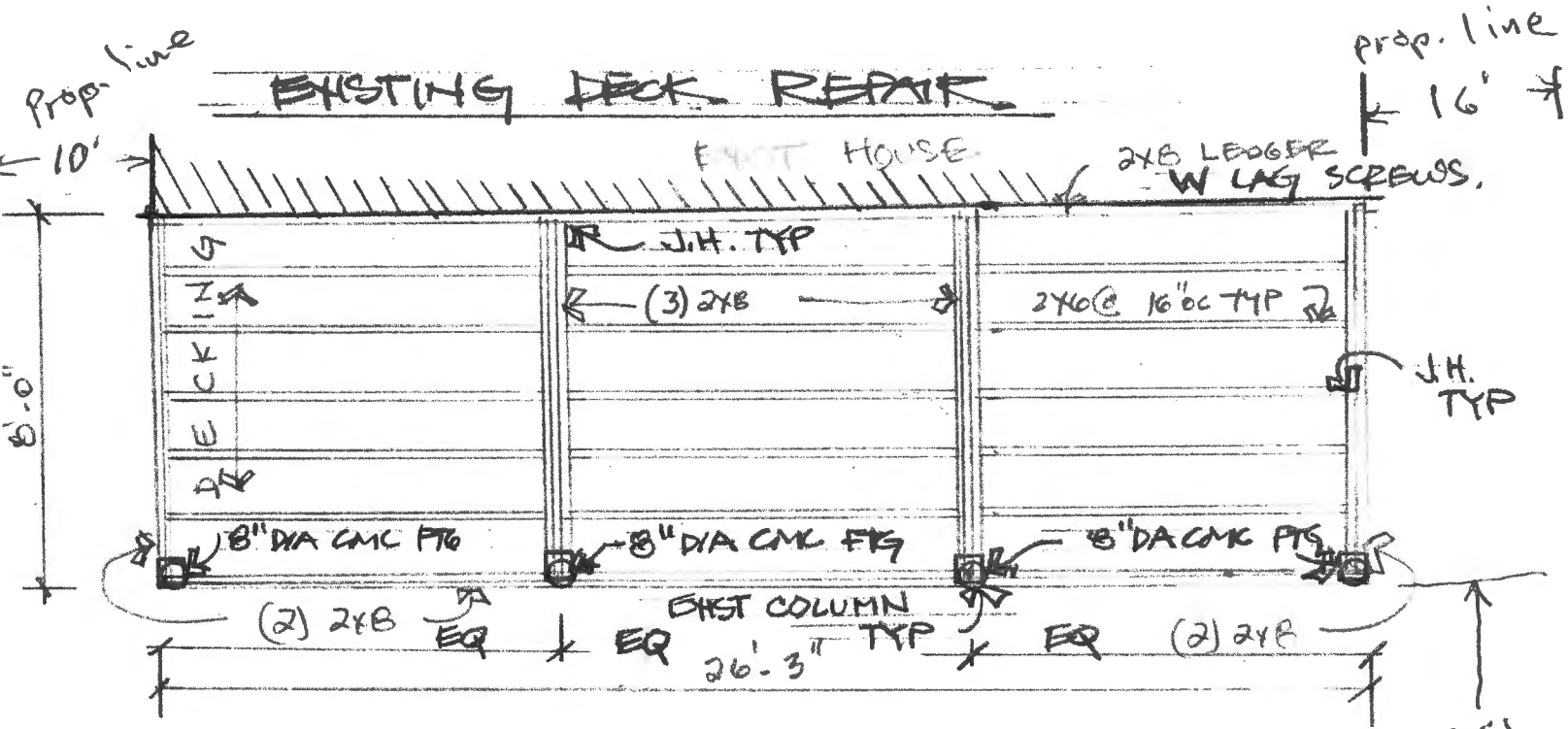


**Sales Information:**

Sale Date	Type	Price	Book/Page
7/2/2007	LAND + BUILDING	\$220,000.00	25250/253
5/2/2007	LAND + BUILDING	\$0.00	25061/275
11/20/2001	LAND + BUILDING	\$0.00	16979/308
3/24/1995	LAND + BUILDING	\$93,900.00	11861/153

*Porch being replaced*

[New Search!](#)



FRAMING PLAN  $\frac{1}{4}'' = 1'-0''$

- NOTE:
- (2) 2x8 PERIMETER BEAM SET ON (4) 6x10 POSTS SET ON 8" DIA CONCRETE FOOTINGS
  - DUG 3' AND PINNED TO LEDGE W/ GROUT
  - EXIST COLUMNS SET OVER POSTS & FOOTINGS

WILLIAMS RESIDENCE  
 33 BANCROFT STREET  
 PORTLAND, MAINE  
 DATE 8.9.11

# BUILDING A DECK???

## INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

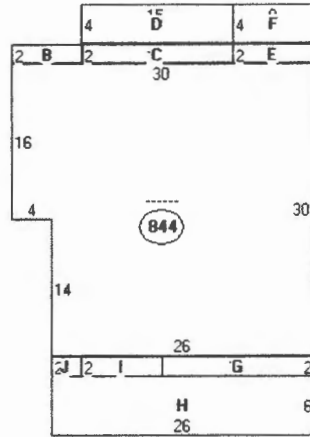
1. **A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.**
2. **Type of foundation system** *See plans*
  - a. Diameter of concrete filled tube or pre cast concrete pier size
  - b. depth below grade (minimum 4'-0" below grade)
  - c. anchorage of column to footing
  - d. spacing and location of tubes/piers
3. **Framing Members** *See plans*
  - a. Columns – wood size and location (members supporting framing of floor system)
  - b. Ledger size attached to building
  - c. Fastener size and spacing attaching ledger
  - d. Girder Size and spans carrying floor system
  - e. Joist size, span, and spacing
  - f. Joist hangers or ledger
4. **Guardrails & Handrail Details**
  - a. Guardrail height
  - b. Baluster spacing  $2\frac{1}{2}"$
  - c. Handrail height  $34"$
5. **Stair Details**
  - a. Tread depth (measured nosing to nosing)  $11"$
  - b. Riser height  $6"$
  - c. Nosing on tread  $\frac{1}{4}"$
  - d. Width of stairs  $8'$







Post

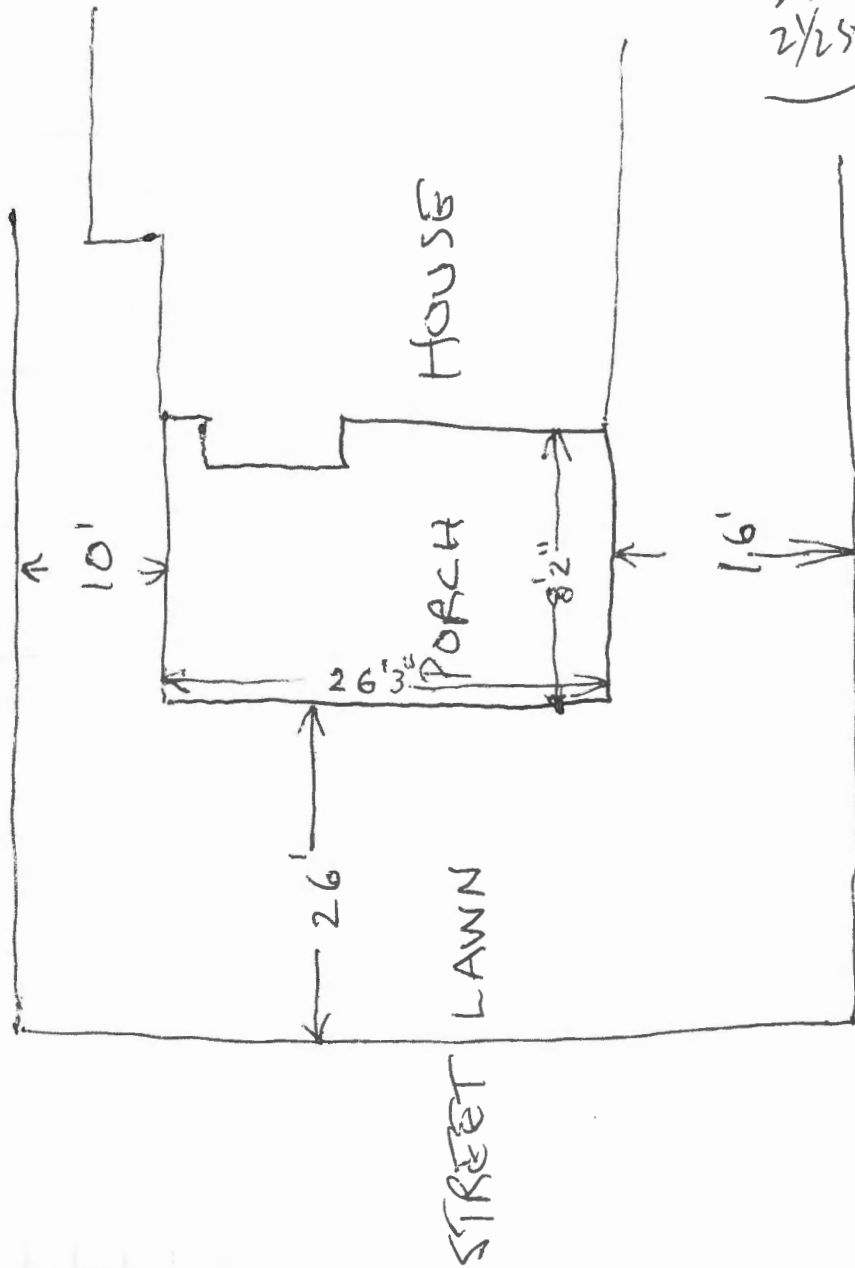


Descriptor/Area

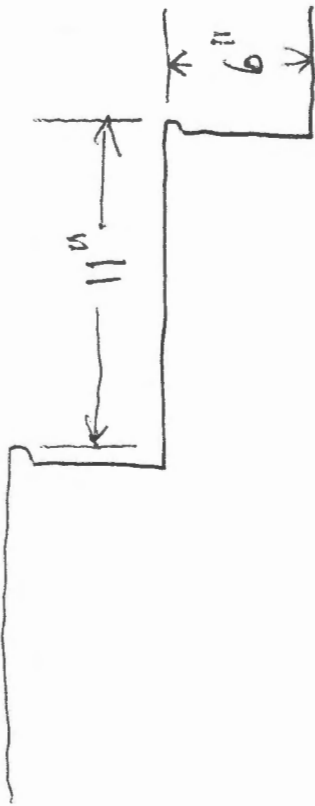
- A:.....  
844 sqft
- B:.....  
14 sqft
- C:UA/wD  
30 sqft
- D:wD  
60 sqft
- E:UA/EP  
16 sqft
- F:EP  
32 sqft
- G:UA/DP  
30 sqft
- H:OFP  
156 sqft
- I:UA/FBAY  
16 sqft
- J:UA/DP  
6 sqft

Replaced in Same  
Footprint  
R-5

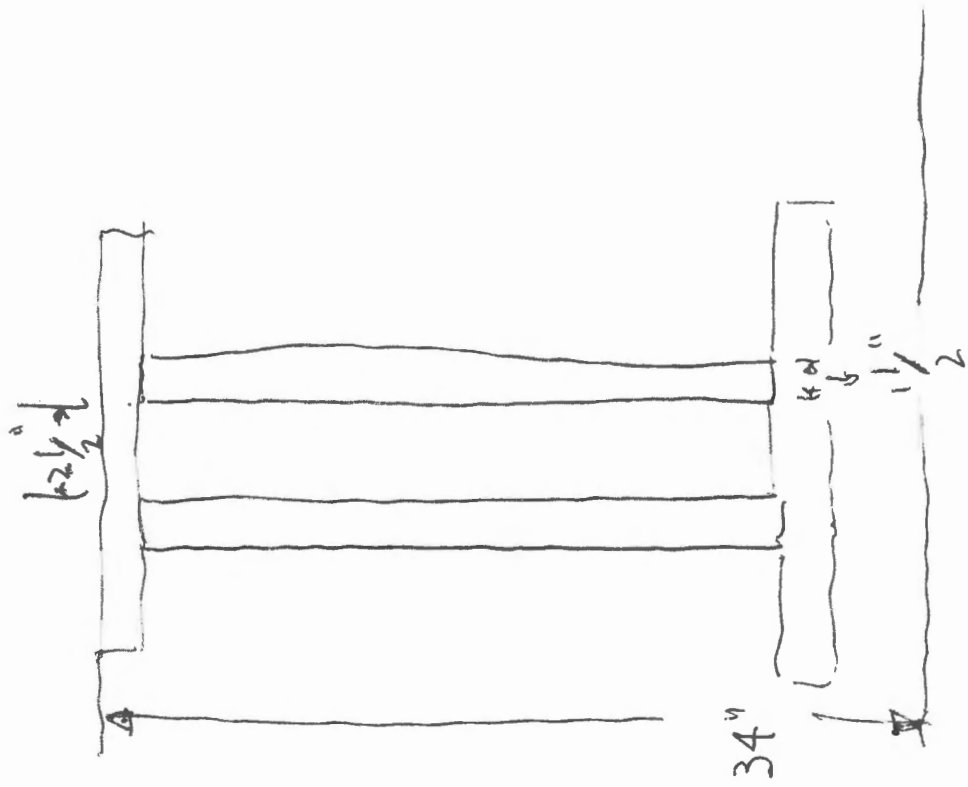
Front: 20' min - 26' shown  
Rear: N/A  
Side: existing setbacks  
2 1/2 story: not increasing  
size



# STEPS



# RAILING







# PORTLAND MAINE

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Receipts Details:

**Tender Information:** Check , Check Number: 3100

**Tender Amount:** 90.00

Receipt Header:

**Cashier Id:** bsaucier

**Receipt Date:** 3/27/2012

**Receipt Number:** 42224

Receipt Details:

Referance ID:	5823	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	90.00	Charge Amount:	90.00
Job ID: Job ID: 2012-03-3605-ALTR - Rebuilt existing porch; already constructed			
Additional Comments: 33 Bancroft			

Thank You for your Payment!