

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING DEPARTMENT

**PERMIT**

Permit Number: 091191

**PERMIT ISSUED**Please Read  
Application And  
Notes, If Any,  
AttachedThis is to certify that MERCY HOSPITAL / TBDhas permission to Office Building Renovate existing medical office building to and office building interior demo & interior renovatiAT 619 BRIGHTON AVECity of Portland  
184 A001001NOV 20 2009  
Professional Office

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2  
HOWEVER NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. CAPT. A. Gauthier

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Ramey Burke 11/19/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1191	Issue Date:	CBL: 184 A001001
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Location of Construction: 619 BRIGHTON AVE	Owner Name: CREATIVE WORK SYSTEMS	Owner Address: 443 CONGRESS ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: K-f

Past Use: Vacant Medical Office Building	Proposed Use: Commercial - Professional Office Building Renovate existing medical office building to a professional office building for therapeutic services interior demo & renovations	Permit Fee: \$1,020.00	Cost of Work: \$100,000.00	CEO District: 5
Proposed Project Description: Professional Office Building Renovate for Creative Work Systems a building interior demo & renovations		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>*See Conditions</i>	INSPECTION: Use Group: <i>B</i> Type: <i>3B</i> <i>IBC-2003</i>	

Signature: <i>KE</i>	Signature: <i>JMB 4/18/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: L.dobson	Date Applied For: 10/23/2009	<b>Zoning Approval</b>		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denial Date: <i>10/29/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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**PERMIT ISSUED**

NOV 20 2009

City of Portland

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1191	Date Applied For: 10/23/2009	CBL: 184 A001001
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Location of Construction: 619 BRIGHTON AVE	Owner Name: CREATIVE WORK SYSTEMS	Owner Address: 443 CONGRESS ST	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Professional Office Building Renovate existing medical office building to a professional office building for therapeutic services interior demo & renovations	Proposed Project Description: Professional Office Building Renovate for Creative Work Systems a building interior demo & renovations
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 10/29/2009

**Note:****Ok to Issue:** 

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for any new signage.
- 3) This property shall remain a professional office use. Any change of use shall require a separate permit application for review and approval. This property is located within an R-P Residential Professional Zone which limits the type of offices allowed.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 11/19/2009

**Note:****Ok to Issue:** 

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** Fire      **Status:** Approved with Conditions      **Reviewer:** Capt Keith Gautreau      **Approval Date:** 11/03/2009

**Note:****Ok to Issue:** 

- 1) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 2) All fire alarm records required by NFPA 72 should be stored in an approved cabinet located at the FACP and keyed alike, labeled "FIRE ALARM RECORDS".
- 3) All construction shall comply with NFPA 101
- 4) Fire Alarm system shall be maintained.  
If system is to be off line over 4 hours a fire watch shall be in place.  
Dispatch notification required 874-8576.
- 5) The fire alarm system shall comply with NFPA 72 and Fire Department Technical Standard. A compliance letter is required.
- 6) Any cutting or welding operations require a separate permit from the Fire dept.
- 7) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.  
Compliance letters are required.
- 8) Occupancies with an occupant load of 100 persons or more require panic hardware on all doors serving as a means of egress.
- 9) Emergency lights and exit signs are required. Emergency lights and exit signs are required to be labeled in relation to the panel and circuit.
- 10) Emergency lights are required to be tested at the electrical panel on the same circuit as the lighting for the area they serve.

<b>Location of Construction:</b> 619 BRIGHTON AVE	<b>Owner Name:</b> CREATIVE WORK SYSTEMS	<b>Owner Address:</b> 443 CONGRESS ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> TBD	<b>Contractor Address:</b>	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

- 11 Sprinkler protection shall be maintained.  
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 12 System acceptance and commissioning must be co-ordinated with alarm and suppression system contractors and the Fire Department. Call 874-8703 to schedule.

**Comments:**

10/28/2009-mes: this looks like a general office use now - general offices are not permitted, only professional offices - I left a message with the architect. - on hold

10/29/2009-mes: Received a description of the use - It is for professional offices which is allowed and a continued use. - passing permit on for further review.- Creative Works System has a P & S on the property

11/18/2009-jmb: Left vcmmsg for Ann C. For details, stamped plans, closet under middle communicating stair A1.1, roof reference details for new RTU's, skylights and laundry shoot on A2.1, chases on A1.1 and A1.2

11/19/2009-jmb: Anne C. Clarified code questions and will come in to stamp the plans, ok to issue

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**


  X   Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling


  X   Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

  
\_\_\_\_\_  
Signature of Inspections Official

  11/20/09    
Date

  11/19/09    
Date

PERMIT ISSUED

NOV 20 2009

City of Portland



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>619 Brighton Ave</u>		
Total Square Footage of Proposed Structure/Area <u>15082 SF EXISTING</u>		Square Footage of Lot <u>.681 ACRES 29,666 SF</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>184          A            1</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Creative Work Systems</u> Address <u>443 Congress St</u> City, State & Zip <u>Portland ME 04101</u>	Telephone: <u>207.879.1140</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>Mercy Hospital</u> Address <u>144 State St</u> City, State & Zip <u>Portland ME 04101</u>	Cost Of Work: <u>\$100,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>VACANT</u> If vacant, what was the previous use? <u>MEDICAL OFFICE BUILDING</u> Proposed Specific use: <u>OFFICE - Therapeutic services</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>RENOVATION TO EXISTING MEDICAL OFFICE BUILDING FOR TO AN OFFICE BUILDING. REMOVAL OF CABINETRY &amp; SINKS, SELECTIVE DEMO TO ENLARGE ROOMS, 2 NEW BATHROOMS &amp; UP GRADE SOME FINISHES.</u>		
Contractor's name: <u>TBD</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: <u>Anne Callender architect</u> Telephone: <u>775.2696x105</u> Mailing address: <u>19 Commercial St Portland ME 04101</u>		

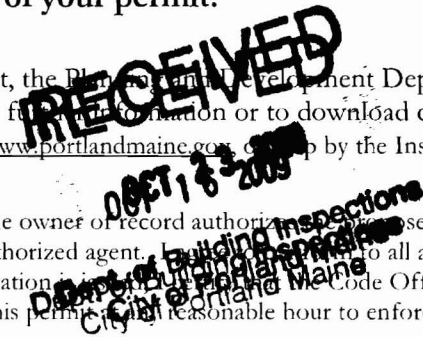
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For full information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov) or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized me to apply for and obtain a permit for the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I understand that I am responsible for compliance with all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, the City Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature Anne C. Callender Date: 10.14.09

This is not a permit; you may not commence ANY work until the permit is issued.



**From:** "Susan Percy" <spercy@creativeworksystems.com>  
**To:** "Marge Schmuckal" <MES@portlandmaine.gov>, <anne@whipplecallender.com>  
**Date:** 10/29/2009 11:06:32 AM  
**Subject:** RE: 619 Brighton Avenue

Hi Marge.

I've just left you a message confirming that it was indeed Joe Malone and me that met with you early August regarding the property at 619 Brighton Ave. As we discussed at that meeting, CWS provides therapeutic services to people with disabilities on a scheduled basis through a recommendation from physicians. We would be using the building for speech therapy, physical therapy and other clinical services Monday through Friday. We would have billing and support services of a professional nature on the second floor that manages the health care service obtained. Eleven people in the operations department would be there on a full time basis. Clinicians are in the building based on appointments with clients.

*This is still considered to be a building with professional offices*

If I recall you thought that this continued under the previous use as a Health Care Facility.

We won't be doing surgery though!

Let me know if there's anything else you need from me.

Thanks.

Susan

-----Original Message-----

**From:** Marge Schmuckal [mailto:MES@portlandmaine.gov]  
**Sent:** Thursday, October 29, 2009 9:36 AM  
**To:** Susan Percy; anne@whipplecallender.com  
**Subject:** Re: 619 Brighton Avenue

Thank you, Anne. I did meet with a woman and the realtor. I didn't remember the name of organization. I look forward to her call. I think I left her a message also. What was described at that time would be considered a professional office. I look forward to getting this resolved quickly.

Marge

>>> Anne Callender <anne@whipplecallender.com> 10/28/2009 5:04:12 PM  
>>>

Hello Marge -

I received your voice message this afternoon in regard to 619 Brighton Avenue's building permit application. You did meet with Susan Percy of

Creative Work Solutions about this application. She will give you a call tomorrow to clarify the application and answer your questions.

Sincerely,  
Anne

Anne Callender, RA, LEED AP  
Whipple - Callender Architects  
19 Commercial Street  
Portland, ME 04101

P 207.775.2696 ext 105  
F 207.775.3631  
[www.whipplecallender.com](http://www.whipplecallender.com)





# Certificate of Design Application

From Designer: Anne Callender  
 Date: 10.14.09  
 Job Name: Creative Work Systems  
 Address of Construction: 619 Brighton Ave

## 2003 International Building Code

Construction project was designed to the building code criteria listed below:

PROJECT BUILT 1985 / INTERIOR RENOVATION 1996  
 Building Code & Year BOCA 1984? Use Group Classification (s) B

Type of Construction TYPE III B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC EXISTING SYSTEM

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

**Structural Design Calculations** EXISTING / NO STRUCTURAL CHANGES \_\_\_\_\_ Live load reduction  
 \_\_\_\_\_ Submitted for all structural members (106.1 - 106.11) \_\_\_\_\_ Roof *live* loads (1603.1.2, 1607.11)  
 \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)  
 \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)  
 \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
 \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)  
 \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)  
 \_\_\_\_\_ Seismic design category (1616.3)  
 \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)  
 \_\_\_\_\_ Response modification coefficient,  $R_f$  and  
 \_\_\_\_\_ deflection amplification factor  $C_d$  (1617.6.2)  
 \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
 \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

**Design Loads on Construction Documents** (1603)  
 Uniformly distributed floor live loads (7603.11, 1807)  

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

**Wind loads (1603.1.4, 1609)**  
 \_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)  
 \_\_\_\_\_ Basic wind speed (1809.3)  
 \_\_\_\_\_ Building category and wind importance Factor,  $I_w$   
 table 1604.5, 1609.5)  
 \_\_\_\_\_ Wind exposure category (1609.4)  
 \_\_\_\_\_ Internal pressure coefficient (ASCE 7)  
 \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

**Earth design data (1603.1.5, 1614-1623)**  
 \_\_\_\_\_ Design option utilized (1614.1)  
 \_\_\_\_\_ Seismic use group ("Category")  
 \_\_\_\_\_ Spectral response coefficients,  $S_D$ s &  $S_{D1}$  (1615.1)  
 \_\_\_\_\_ Site class (1615.1.5)

**Flood loads (1803.1.6, 1612)**  
 \_\_\_\_\_ Flood Hazard area (1612.3)  
 \_\_\_\_\_ Elevation of structure

**Other loads**  
 \_\_\_\_\_ Concentrated loads (1607.4)  
 \_\_\_\_\_ Partition loads (1607.5)  
 \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,  
 1607.12, 1607.13, 1610, 1611, 2404)



# Certificate of Design

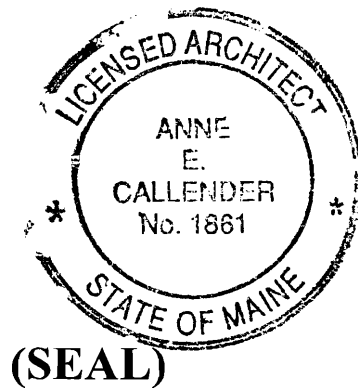
Date: October 7, 2009

From: Whipple Callender Architects

These plans and / or specifications covering construction work on:

Renovations to 619 Brighton Ave Office Building  
for Creative Work Systems

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2003 International Building Code** and local amendments.



Signature: Anne Callender

Title: Architect, Principal

Firm: Whipple Callender Architects

Address: 19 Commercial St  
Portland ME 04101

Phone: 207-775-2096 x105

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)



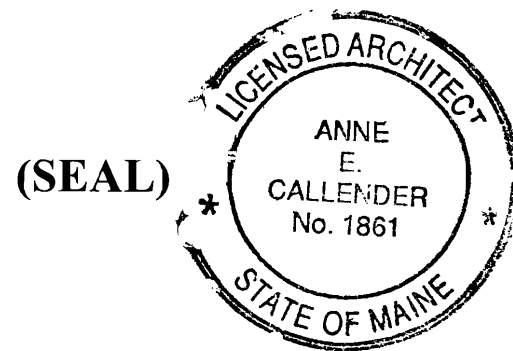
# Accessibility Building Code Certificate

Designer: Anne Callender for Whipple-Callender Architects

Address of Project: 619 Brighton Avenue

Nature of Project: Renovation of existing medical office building to office building for Creative Work Systems. Selective demo, 2 new bathrooms, enlarging rooms & cosmetic fixes.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Anne Callender

Title: Architect, Principal

Firm: Whipple-Callender Architects

Address: 19 Commercial St  
Portland ME 04101

Phone: 207-775-2696 x 105

For more information or to download this form and other permit applications visit the Inspections Division on our website at [www.portlandmaine.gov](http://www.portlandmaine.gov)

## Continental Consulting

415 Wilson Pond Road  
North Monmouth, Maine 04265  
PH/FAX: 207-933-3877  
Email: [john.dumont@fairpoint.net](mailto:john.dumont@fairpoint.net)  
[www.continentalconsulting.net](http://www.continentalconsulting.net)

September 16, 2009

Mr. Stephen Fortier  
Creative Work Systems  
443 Congress St.  
Portland, ME 04101

Re: Bulk Asbestos Sampling of Selected Interior Wall Areas at 619 Brighton Avenue

Dear Mr. Fortier:

On September 8, 2009, Continental Consulting collected three bulk samples of wallboard material removed from areas where planned demolition activities will commence in the near future at 619 Brighton Avenue. Two of the sample locations were selected on the 1<sup>st</sup> floor, and are referred to as Sample area "A" and "B". The third area, referred to as sample area "C", was located on the 2d floor. The first floor area was reportedly renovated in 1997. A site plan provides the exact location of the test areas.

Each of the areas evaluated were breeched so as to provide visual inspection of the interior surface materials. Areas "A" and "B" revealed that the wall surface consisted of interior metal wall studs and fiberglass insulation, with exterior windows and masonry located beyond. Area "C" consisted of 1-1/2" rigid foam insulation with concrete masonry units (CMUs) located beyond.

Test results were submitted to AmeriSci of Carson CA on September 8, 2009. The samples were tested for the presence of asbestos. Results from AmeriSci, including an additional analysis of the joint compound, revealed that there was no asbestos presence in any of the sample materials analyzed. A copy of the Lab Report is provided with the Phase II Limited Subsurface Investigation.

The results of this report are limited to the areas tested for asbestos. Should demolition activities extend beyond the scope of this report, those areas should be similarly evaluated for the presence of suspect asbestos containing materials.

Sincerely,



John W. Dumont, Jr



Please Reply To:

**AmeriSci Los Angeles**

24416 S. Main Street, Ste 308  
Carson, California 90745  
TEL: (310) 834-4868 • FAX: (310) 834-4772

**FACSIMILE TELECOPY TRANSMISSION**

**To:** John Dumont  
Continental Consulting

**Fax #:**

**Email:** john.dumont@fairpoint.net

**From:** Arturo A. Aldana  
**AmeriSci Job #:** 909091258  
**Subject:** PLM 48 hour Results  
**Client Project:** Brighton Ave.

**Date:** Saturday, September 12, 2009

**Time:** 13:29:51

**Comments:**

**Number of Pages:** 4  
(including cover sheet)

CONFIDENTIALITY NOTICE: Unless otherwise indicated, the information contained in this communication is confidential information intended for use of the individual named above. If the reader of this communication is not the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is prohibited. If you have received this communication in error, please immediately notify the sender by telephone and return the original message to the above address via the US Postal Service at our expense. Preliminary data reported here will be verified before final report is issued. Samples are disposed of in 60 days or unless otherwise instructed by the protocol or special instructions in writing. Thank you.

*Certified Analysis    Service 24 Hours A Day • 7 Days A Week    Competitive Prices*  
visit our web site - [www.amerisci.com](http://www.amerisci.com)



**AmeriSci Los Angeles**  
24416 S. Main Street, Ste 308  
Carson, California 90745  
TEL: (310) 834-4868 • FAX: (310) 834-4772

## PLM Bulk Asbestos Report

Continental Consulting  
Attn: John Dumont  
415 Wilson Pond Rd

N. Monmouth, ME 04265

Date Received 09/10/09

Date Examined 09/12/09

RE: Brighton Ave.

AmeriSci Job # 909091258

P.O. #

Page 1 of 2

Client No. / HGA	Lab No.	Asbestos Present	Total % Asbestos
A Location: First Floor Wall - S.R	909091258-01	No	NAD (by CVES) by Arturo A. Aldana on 09/12/09
<b>Analyst Description:</b> White/Brown, Homogeneous, Fibrous, Sheetrock <b>Asbestos Types:</b> <b>Other Material:</b> Cellulose 5 %, Fibrous glass Trace, Non-fibrous 95 %			
B Location: First Floor Wall - S.R	909091258-02	No	NAD (by CVES) by Arturo A. Aldana on 09/12/09
<b>Analyst Description:</b> White/Brown, Homogeneous, Fibrous, Sheetrock <b>Asbestos Types:</b> <b>Other Material:</b> Cellulose 3 %, Fibrous glass Trace, Non-fibrous 97 %			
C Location: Second Floor Wall - S.R	909091258-03.1	No	NAD (by CVES) by Arturo A. Aldana on 09/12/09
<b>Analyst Description:</b> White/Brown, Homogeneous, Fibrous, Sheetrock <b>Asbestos Types:</b> <b>Other Material:</b> Cellulose 3 %, Non-fibrous 97 %			
C Location: Second Floor Wall - S.R	909091258-03.2	No	NAD (by CVES) by Arturo A. Aldana on 09/12/09
<b>Analyst Description:</b> White, Homogeneous, Non-Fibrous, Joint Compound <b>Asbestos Types:</b> <b>Other Material:</b> Non-fibrous 100 %			

Client Name: Continental Consulting

# PLM Bulk Asbestos Report

Brighton Ave.

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## Reporting Notes:

Analyzed By: Arturo A. Aldana at ald, Date Analyzed: 9/12/2009 9-12-09

\*NAD = no asbestos detected; Detection Limit <1%; Reporting Limits: CVES = 1%, 400 Pt Ct = 0.25%, 1000 Pt Ct = 0.1%; NA = not analyzed; NA/PS = not analyzed / positive stop; NVA = No Visible Asbestos; PLM (polarized light microscopy) Bulk Asbestos Analysis by EPA 600/M4-82-020 per 40 CFR 763 (NVLAP Lab #200346-0, CA ELAP lab #2322); Note: PLM is not consistently reliable in detecting asbestos in floor coverings and similar NOB materials. TEM is currently the only method that can be used to determine if this material can be considered or treated as non-asbestos-containing in New York State (also see EPA Advisory for floor tile, FR 59, 146, 38970, 8/1/94). NIST Accreditation requirements mandate that this report must not be reproduced except in full with the approval of the laboratory. This PLM report relates ONLY to the items tested.

Reviewed By: AAA 9/12/09



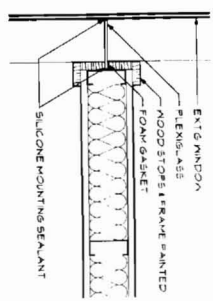
Asbestos, Lead Analysis Chain of Custody

AMERISCI LOS ANGELES  
 24416 S Main St. Suite 308  
 Carson, CA 90745  
 Phone (310) 834-4868  
 Fax (310) 834-4772

AMERISCI JOB #: **909091258**

COMPANY: <i>Continental Consulting</i>		ADDRESS: <i>415 Wilson Blvd Rd.</i>					P.O.#: —	
PROJECT INFORMATION		ANALYSIS TYPE		TURNAROUND TIME			AIR FILTER INFORMATION	
JOB NAME: <i>Brighton Ave</i>		ASBESTOS TEM AHERA		RUSH	24 HR	48 HR	72 HR	5 DAY
JOB NUMBER:		ASBESTOS PLM BULK				X		
JOB MANAGER: <i>John Dumont</i>		ASBESTOS PCM AIR						
JOB DESCRIPTION: <i>Phase II</i>		ASBESTOS PLM 1000 P.C.						
		LEAD AIR						
		LEAD WIPE						
		LEAD PAINT / SOLID						
		OTHER:						
INITIAL RESULTS DELIVERY: <input type="checkbox"/> FAX <input checked="" type="checkbox"/> EMAIL <input type="checkbox"/> VERBAL <input type="checkbox"/> MAIL ONLY						RETURN SAMPLES: Yes <input checked="" type="checkbox"/> NO		
REPORTS TO: <i>John W. Dumont Jr.</i>						PHONE: <i>207-989-3077</i>		
INVOICE TO: <i>Continental Consulting</i>						FAX:		
COMMENTS: <i>EMMIL: John Dumont C. Fair Point. Net</i>						EMAIL: <i>John.Dumont@FairPt.net</i>		
						PAGER/CELL:		
SAMPLE ID	SAMPLE LOCATION	START TIME	STOP TIME	TOTAL TIME X	LITERS /MIN.	TOTAL VOLUME	AREA SQUARE FT	
<i>A</i>	<i>FIRST FLOOR Wall-S.R</i>						<i>500</i>	
<i>B</i>	<i>FIRST FLOOR Wall-S.R</i>						<i>500</i>	
<i>C</i>	<i>SECOND FLOOR Wall-S.R</i>						<i>500</i>	
SAMPLED BY: <i>John Dumont</i>		DATE/TIME: <i>09/09/09</i>		RECEIVED BY:		DATE/TIME:		
RELINQUISHED BY: <i>John Dumont</i>		DATE/TIME: <i>09/09/09</i>		RECEIVED BY:		DATE/TIME:		
RELINQUISHED BY:		DATE/TIME:		RECEIVED IN LAB BY: <i>BMU</i>		DATE/TIME: <i>9/10/09</i>		





2 WALL TO WINDOW DETAIL  
SCALE 1 1/2" = 1'-0"

GENERAL NOTES:

1. VERIFY ALL DIMENSIONS IN THE FIELD REPORT ALL DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT WITH WORK.
2. NOTED DIMENSIONS TAKE PRECEDENT OVER SCALED DIMENSIONS. LARGE DETAILS TAKE PRECEDENT OVER SMALL SCALED DETAILS.
3. ALL NEW CONSTRUCTION DIMENSIONS ARE ROUGH OPENINGS UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING WALL CONSTRUCTION AND TO FINISH SURFACE.
4. PROVIDE SLOID BLOCKING FOR ALL CABINETS AND ACCESSORIES. REMOVE FROM ELEVATIONS AND DETAILS ON LOCATION.
5. SAVE ALL REMOVED CEILING TILES FOR REUSE.

ROOM FINISH LEGEND

FLOORING MATERIAL	BASEBOARD MATERIAL	WALL FINISH
1. EXTS CERAMIC TILE	1. 4" VINYL COVE	1. REMOVE ALL WALL PAPER
2. CARPET TO REMAIN	2. EXTS BASE TO REMAIN	2. PAINT ALL WALLS
3. VCT TO REMAIN	3. EXTS PAINT TO REMAIN	3. EXTS PAINT TO REMAIN
4. NEW CARPET	4. EXTS ALL PAPER TO REMAIN	4. EXTS ALL PAPER TO REMAIN
5. NEW VCT	5. REMOVE BOMBER PAINT WALLS	5. EXTS WALL PAPER TO REMAIN
6. NEW MARK-OFF MAT	6. PAINT ALL NEW WALLS	6. PAINT ALL NEW WALLS

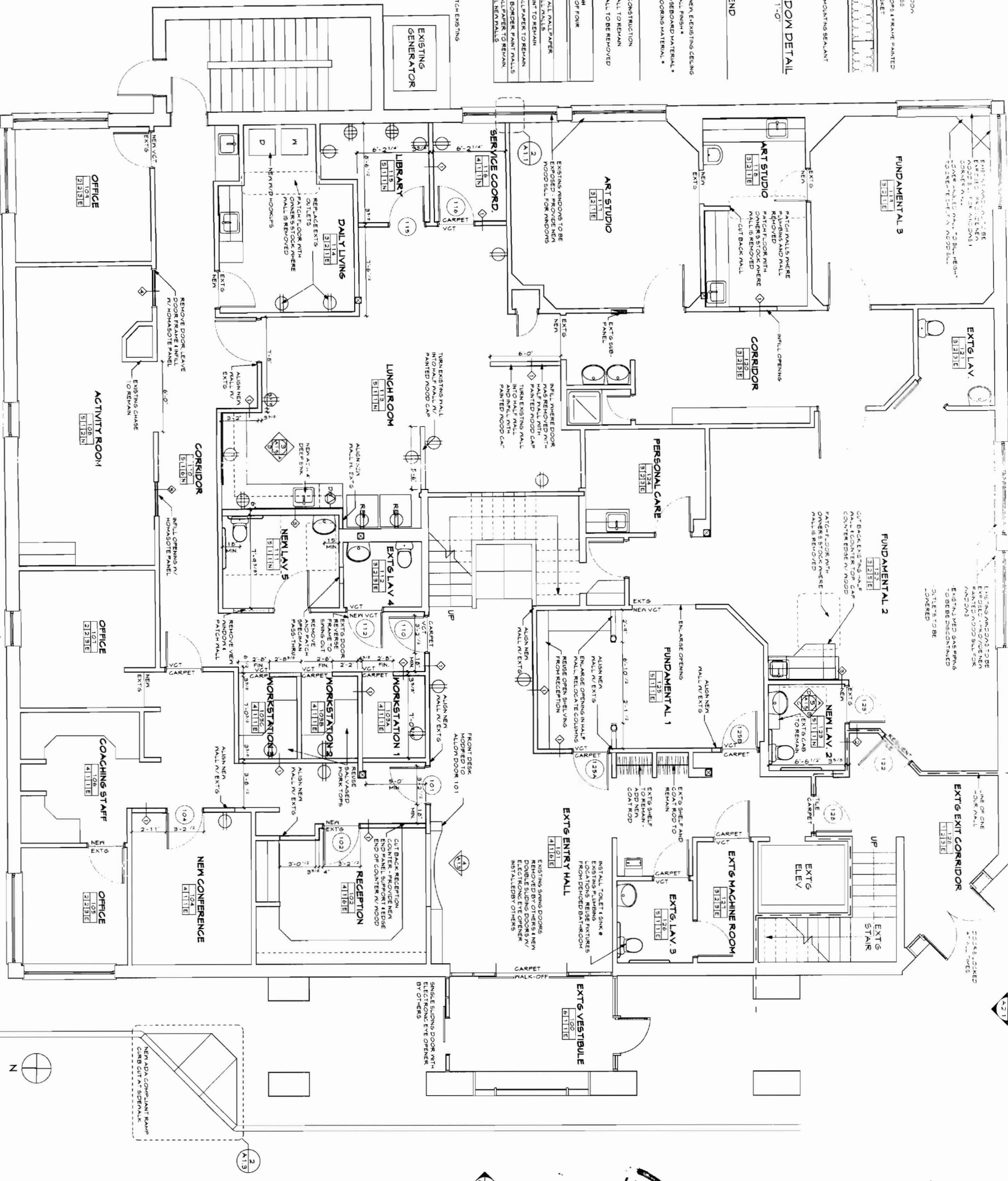
CODE SUMMARY

- IBC 2003
- NFPA 101 2003
- BUILDING IS SPRINKLED
- BUILDING USE: EXISTING OFFICE BUILDING
- IBC - (1) BUSINESS OCCUPANCY
- NFPA - EXISTING BUSINESS AND BUSINESS OCCUPANCY
- BASEMENT - STONEWARE STUDIOS
- CONSTRUCTION TYPE
- IBC, A B 2000
- AREA
- BASEMENT - 1,000 SQ. FT. (5 TONNAGE USE ONLY)
- FIRST FLOOR - 6,995 SQ. FT.
- SECOND FLOOR - 3,295 SQ. FT.
- OCCUPANT LOAD
- 100 SQ. FT. PER PERSON
- 1ST FLOOR - 49 OCCUPANTS
- 2ND FLOOR - 19 OCCUPANTS

ELECTRICAL SYMBOLS

- PHONE OUTLET 16" AFF.
- DATA OUTLET 18" AFF. UNLESS NOTED OTHERWISE
- COMBINATION PHONE AND DATA OUTLET 18" AFF. UNLESS NOTED OTHERWISE
- CABLE TV
- DOUBLE DUPLEX OUTLET 18" AFF. UNLESS NOTED OTHERWISE
- SINGLE POWER OUTLET

1 FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"



PERMIT SET

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CREATIVE WORK SYSTEMS  
614 BRIGHTON AVE PORTLAND, MAINE

WHIPPLE I  
CALENDER  
ARCHITECTS

14 COMMERCIAL ST  
PORTLAND ME 04101  
P 207 773 2446  
F 207 773 2431  
www.whipplei.com

DATE: 10.18.09  
DESCRIPTION: PERMIT SET

DATE: 16 OCT 09  
DRAWN BY: AEC  
CHECKED BY: JWP  
JOB: 04-CMS

PROJECT TITLE: FIRST FLOOR PLAN  
WALL TO WINDOW  
DETAIL

A1.1

**GENERAL NOTES:**

1. VERIFY ALL DIMENSIONS IN THE FIELD REPORT. ALL DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCEMENT AT WORK.
2. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. LARGE DETAILS TAKE PRECEDENCE OVER SMALL SCALED DETAILS.
3. ALL NEW CONSTRUCTION DIMENSIONS ARE FINISH DIMENSIONS UNLESS NOTED OTHERWISE. DIMENSIONS TO EXISTING WALL CONSTRUCTION ARE TO FINISH SURFACE.
4. PROVIDE SOLID BLOCKING FOR ALL CABINETS AND ACCESSORIES. REVIEW INTERIOR ELEVATIONS AND DETAILS FOR LOCATIONS.
5. SAVE ALL REMOVED CEILING TILES FOR REUSE.

**ROOM FINISH LEGEND**

FLOORING MATERIAL FIRST NO. OF FOUR	BASEBOARD MATERIAL SECOND NO. OF FOUR	WALL FINISH THIRD NO. OF FOUR
1. EXT'G CERAMIC TILE	1. 4" VINYL COVE	1. PAINT
2. CARPET TO REMAIN	2. EXT'G BASE TO REMAIN	2. REMOVE ALL WALL PAPER (1. PAINT ALL WALLS)
3. VCT TO REMAIN		3. EXT'G PAINT TO REMAIN
4. NEW CARPET		4. EXT'G WALLPAPER TO REMAIN
5. NEW VCT		5. REMOVE BORDER, PAINT WALLS
6. NEW WALK-OFF MAT		6. EXT'G WALLPAPER TO REMAIN, PAINT ALL NEW WALLS

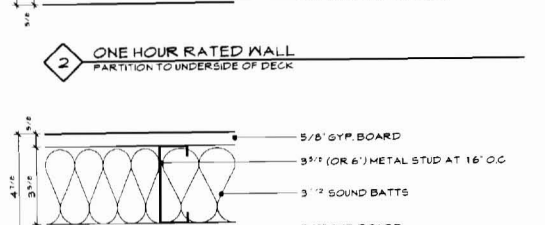
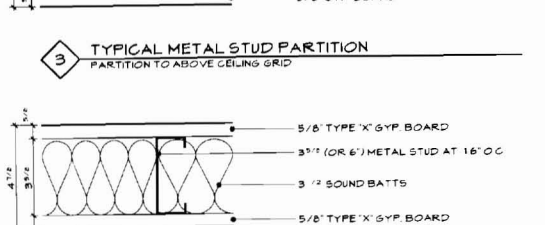
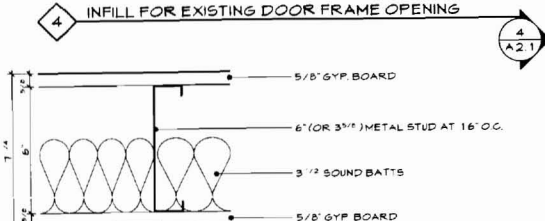
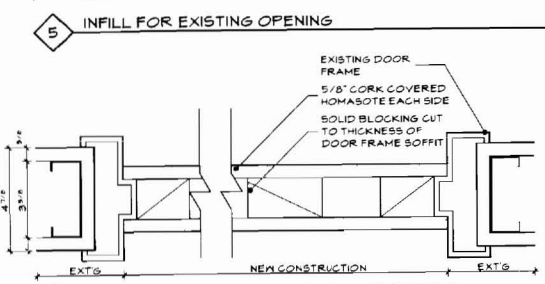
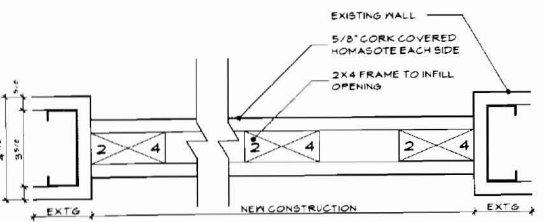
ALL PAINT TO BE BEHR: SWISS COFFEE & 12 EGGSHELL

**GENERAL LEGEND**

- ROOM NAME**
- NEW EXISTING CEILING
  - WALL FINISH
  - BASEBOARD MATERIAL
  - FLOORING MATERIAL
- KEY**
- NEW WALL CONSTRUCTION
  - EXISTING WALL TO REMAIN
  - EXISTING WALL TO BE REMOVED

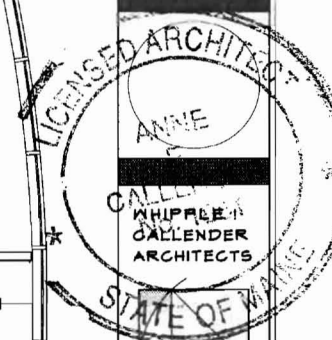
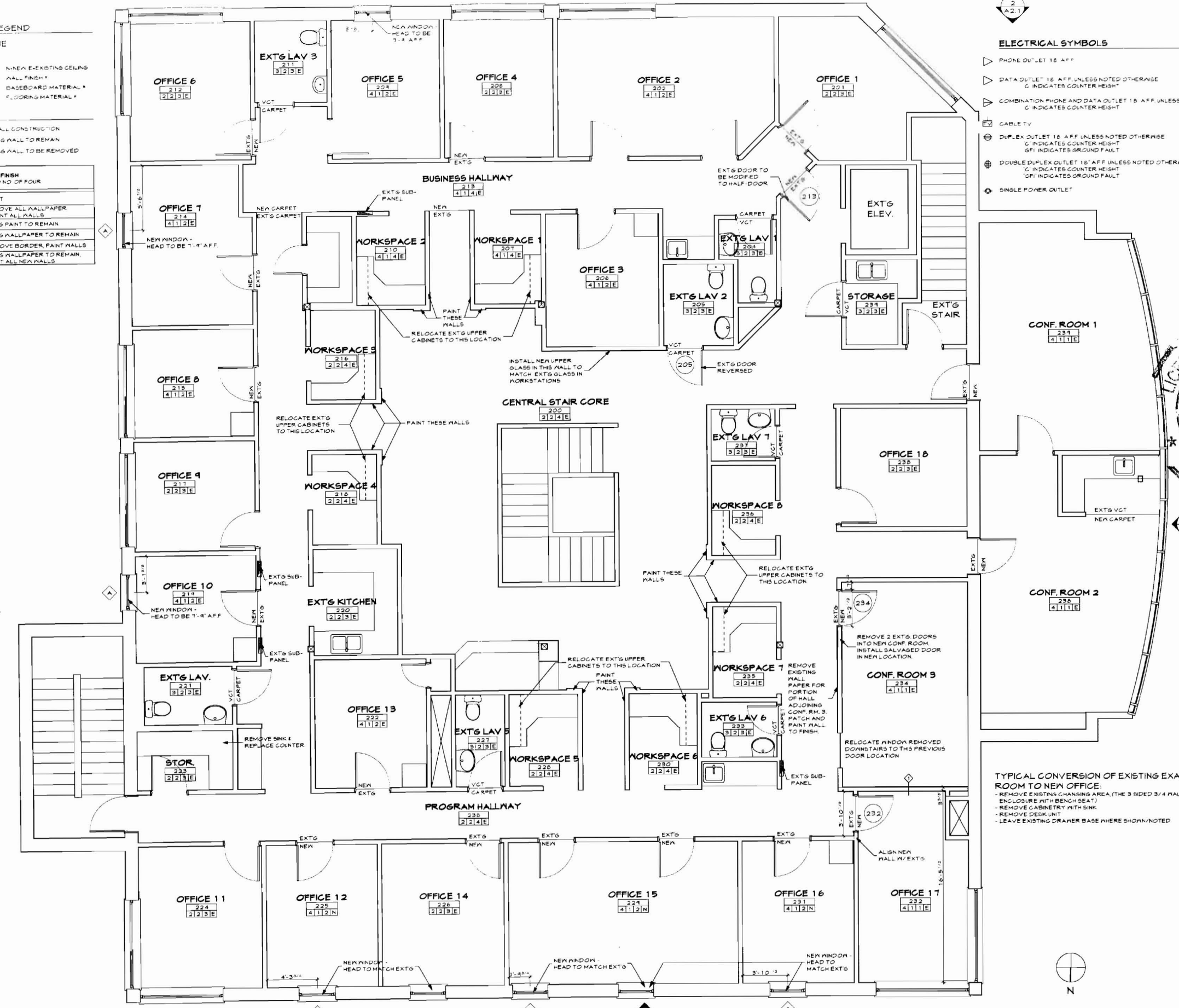
**ELECTRICAL SYMBOLS**

- PHONE OUTLET 18" AFF
- DATA OUTLET 18" AFF, UNLESS NOTED OTHERWISE  
C INDICATES COUNTER-HEIGHT
- COMBINATION PHONE AND DATA OUTLET 18" AFF, UNLESS NOTED  
C INDICATES COUNTER-HEIGHT
- CABLE TV
- DUPLEX OUTLET 18" AFF, UNLESS NOTED OTHERWISE  
C INDICATES COUNTER-HEIGHT  
SF INDICATES GROUND FAULT
- DOUBLE DUPLEX OUTLET 18" AFF, UNLESS NOTED OTHERWISE  
C INDICATES COUNTER-HEIGHT  
SF INDICATES GROUND FAULT
- SINGLE POWER OUTLET



**2 WALL TYPES**  
SCALE: 3" = 1'-0"

**1 SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

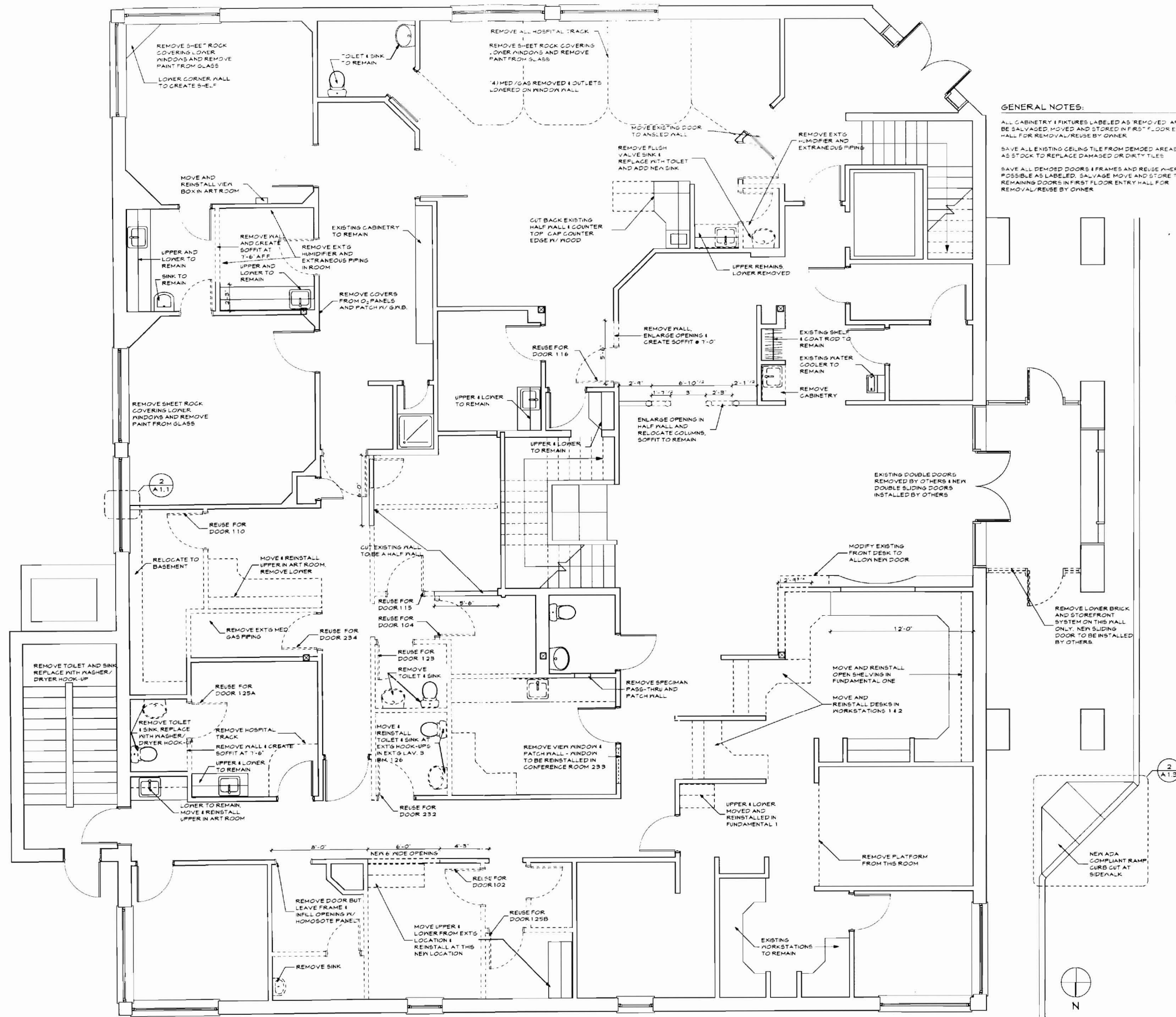


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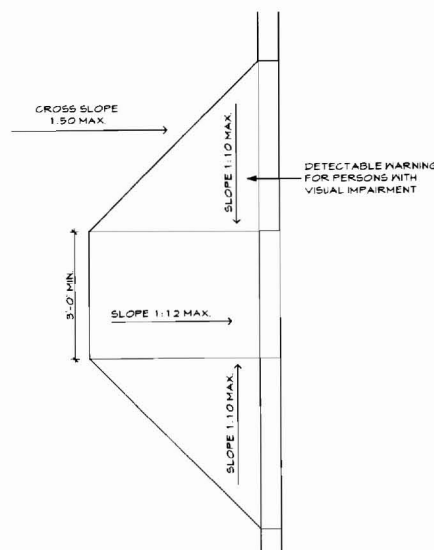
MARK	DATE	DESCRIPTION
	16 OCT 09	PERMIT SET

CHECKED BY: AEG  
DRAWN BY: JRP  
JOB: 09-CNS  
SHEET TITLE: SECOND FLOOR PLAN  
WALL TYPES

**A1.2**

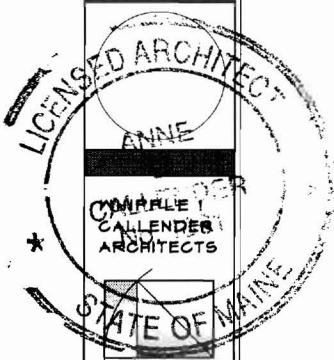


**GENERAL NOTES:**  
 ALL CABINETS & FIXTURES LABELED AS 'REMOVED' ARE TO BE SALVAGED, MOVED AND STORED IN FIRST FLOOR ENTRY HALL FOR REMOVAL/REUSE BY OWNER.  
 SAVE ALL EXISTING CEILING TILE FROM DEMOED AREAS. USE AS STOCK TO REPLACE DAMAGED OR DIRTY TILES.  
 SAVE ALL DEMOED DOORS & FRAMES WHERE POSSIBLE AS LABELED, SALVAGE, MOVE AND STORE THE REMAINING DOORS IN FIRST FLOOR ENTRY HALL FOR REMOVAL/REUSE BY OWNER.



**2** TYPICAL ADA CURB RAMP  
 SCALE: 1/2" = 1'-0"

**1** FIRST FLOOR DEMO PLAN  
 SCALE: 1/4" = 1'-0"

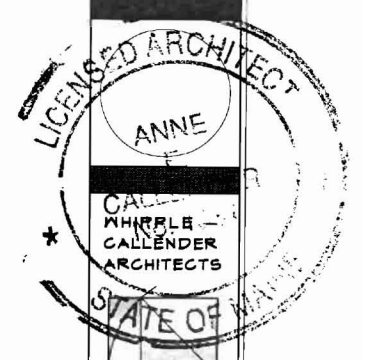


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DATE	DESCRIPTION
10/16/09	PERMIT SET

DATE: 16 OCT 09  
 CHECKED BY: AEC  
 DRAWN BY: JRP  
 JOB: 09-CMS  
 SHEET TITLE: FIRST FLOOR DEMO PLAN  
 ADA CURB RAMP DETAIL

**A1.3**

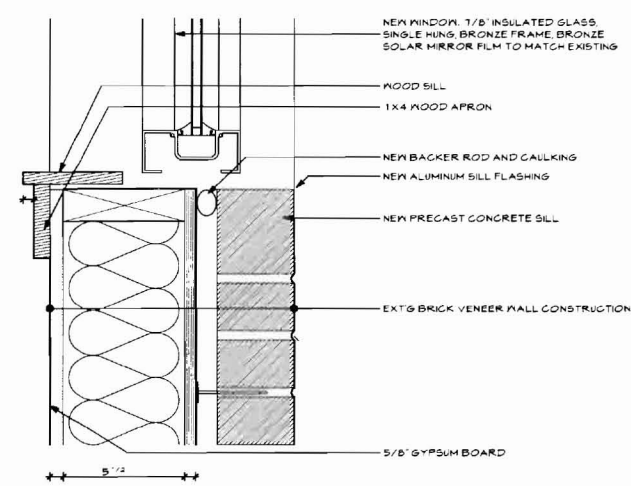
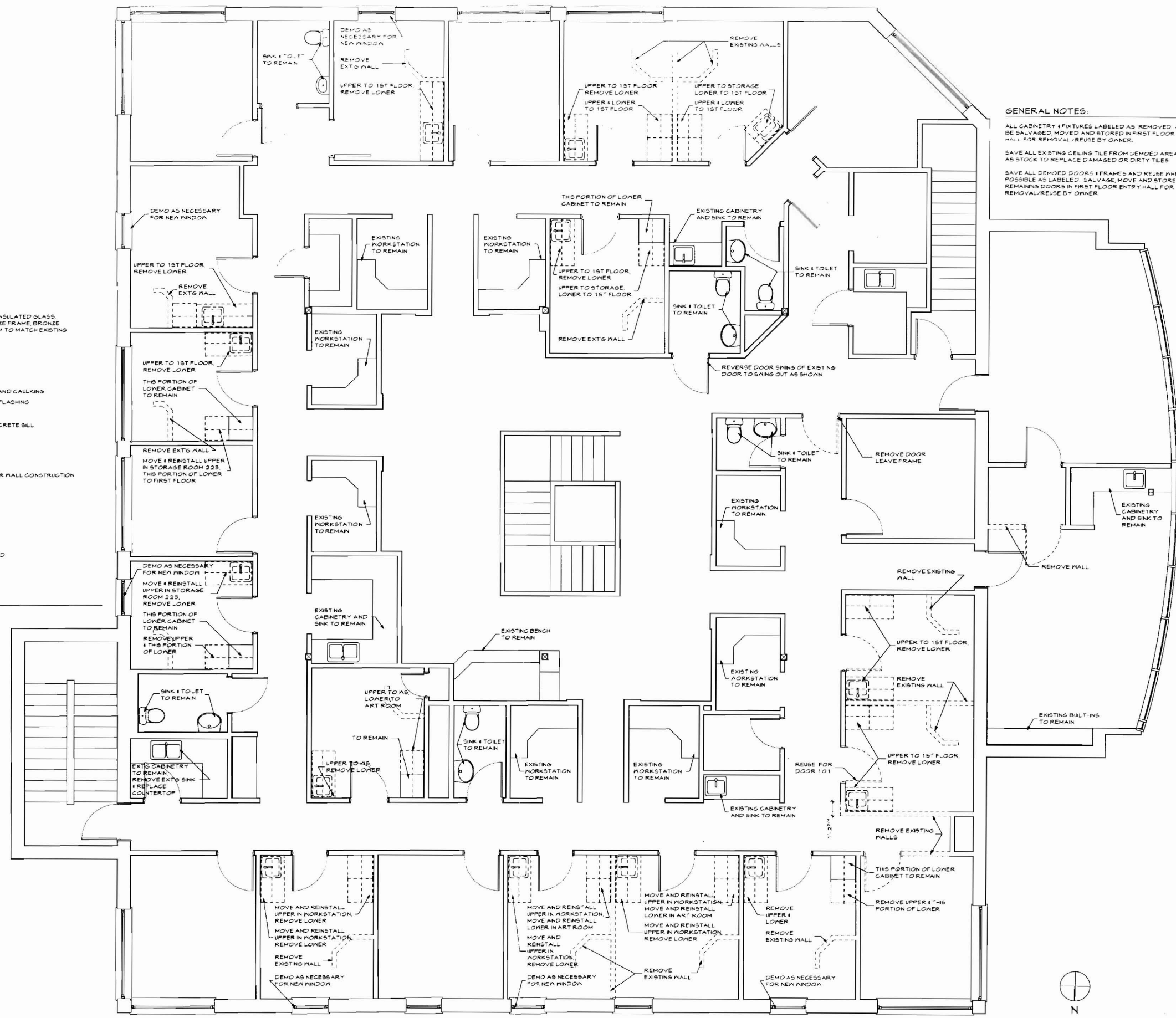


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 F: 207-775-2631  
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DATE	DESCRIPTION
10/16/09	PERMIT SET
16 OCT 09	CHECKED BY: AEC
	DRAWN BY: JRP
	JOB: 09-CWS

SHEET TITLE:  
**SECOND FLOOR DEMO PLAN**  
**A1.4**

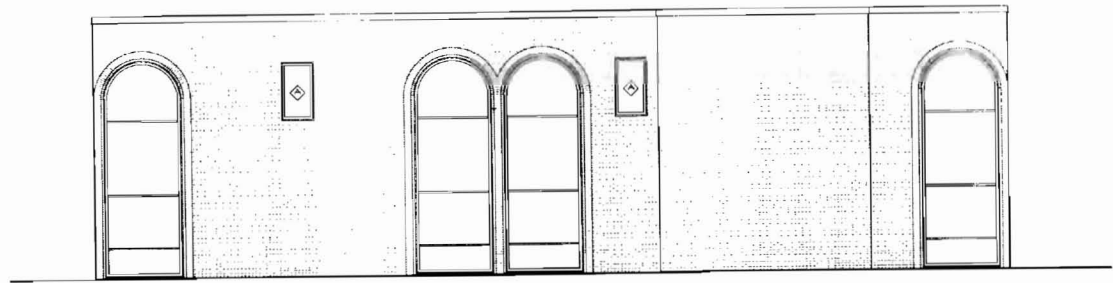
**GENERAL NOTES:**  
 ALL CABINETRY & FIXTURES LABELED AS REMOVED ARE TO BE SALVAGED, MOVED AND STORED IN FIRST FLOOR ENTRY HALL FOR REMOVAL/REUSE BY OWNER.  
 SAVE ALL EXISTING CEILING TILE FROM DEMOED AREAS. USE AS STOCK TO REPLACE DAMAGED OR DIRTY TILES.  
 SAVE ALL DEMOED DOORS & FRAMES AND REUSE WHERE POSSIBLE AS LABELED. SALVAGE, MOVE AND STORE THE REMAINING DOORS IN FIRST FLOOR ENTRY HALL FOR REMOVAL/REUSE BY OWNER.



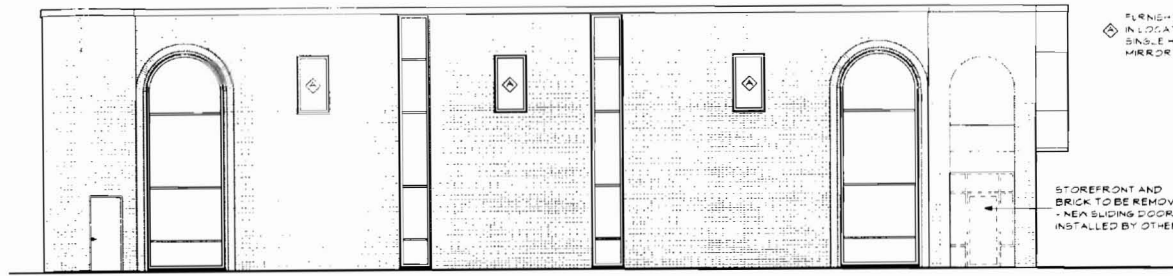
**2 NEW WINDOW & PRECAST SILL**  
 SCALE: 3\"/>

**1 SECOND FLOOR DEMO PLAN**  
 SCALE: 1/4\"/>





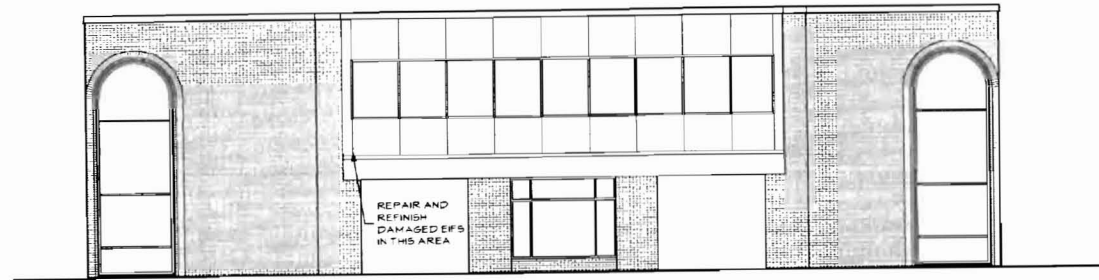
4 EAST ELEVATION - WESTMINSTER STREET  
SCALE: 1/8" = 1'-0"



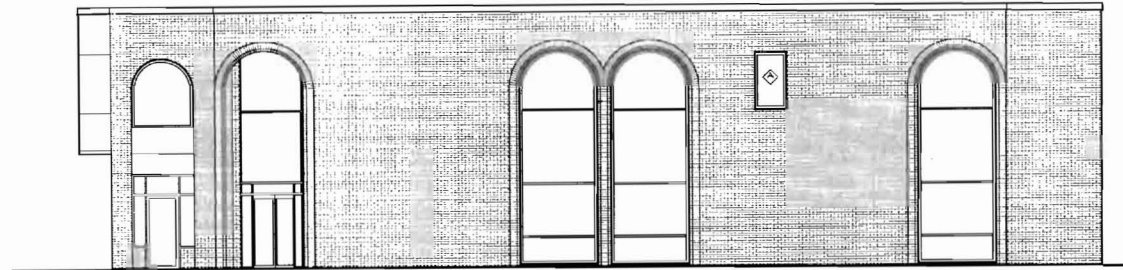
1 NORTH ELEVATION - DRIVEWAY  
SCALE: 1/8" = 1'-0"

FURNISH AND INSTALL 5 NEW 34x66 WINDOWS IN LOCATIONS SHOWN - 8 INSULATED GLASS UNITS WITH BRONZE FRAME BRONZE SOLAR MIRROR FILM TO MATCH EXISTING

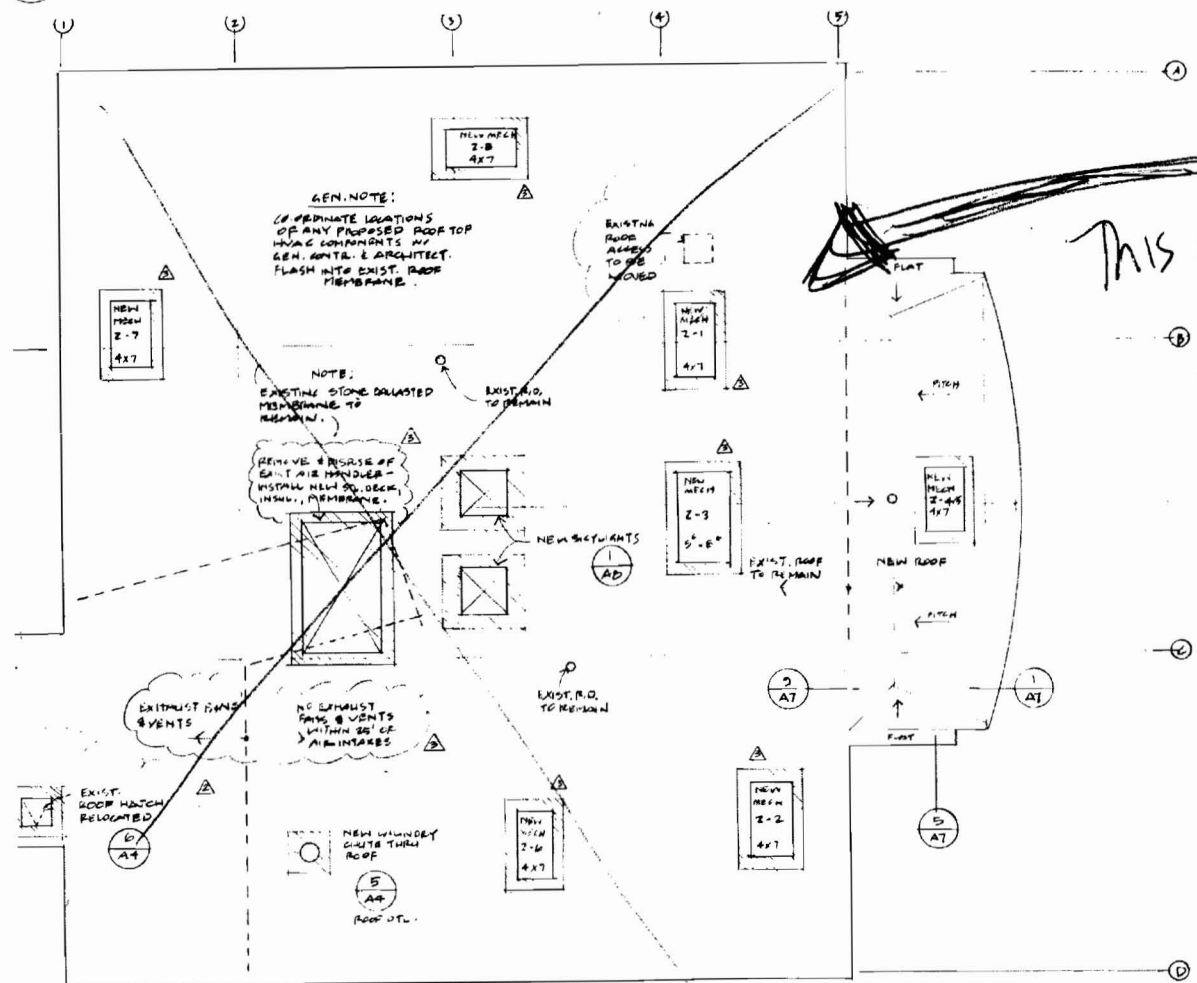
STOREFRONT AND BRICK TO BE REMOVED - NEW SLIDING DOOR INSTALLED BY OTHERS



5 WEST ELEVATION - PARKING  
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - BRIGHTON AVE  
SCALE: 1/8" = 1'-0"



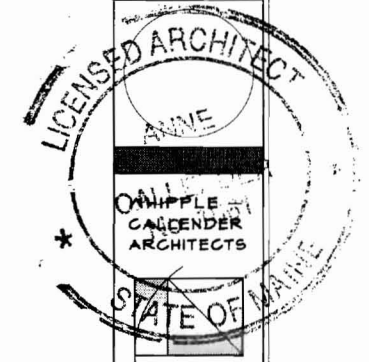
6 EXT'G ROOF PLAN  
NOT TO SCALE

*11/19/09  
Per Anne C.  
This drawing was from  
a previous remodel  
Just included for HVAC contractor  
reference*



3 BASEMENT PLAN  
SCALE: 1/8" = 1'-0"

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PORTLAND, MAINE



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MARK	DATE	DESCRIPTION
10/16/04	16 OCT 04	PERMIT SET

DATE: 16 OCT 04  
CHECKED BY: AEC  
DRAWN BY: JRP  
JOB: 04-CMS  
SHEET TITLE: EXTERIOR ELEVATIONS  
EXT'G ROOF PLAN  
BASEMENT PLAN

**A2.1**



