

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Permit Number: 060585

Please Read Application And Notes, If Any, Attached

This is to certify that Caliendo Vincent R & /Sebastian Lake Pools

has permission to Install a ~~15' x 23'~~ above ground pool.

AT 11 Phipps Rd

183A A011001

PERMIT ISSUED  
MAY 19 2006  
CITY OF PORTLAND

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceeds before this building or part thereof is occupied or service closed-in 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*[Signature]*  
5/19/06  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0585	Issue Date:	CBL: 183A-A011001
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Location of Construction: 11 Phipps Rd	Owner Name: Caliendo Vincent R &
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Owner Address: 11 Phipps Rd	Phone: 773-4917
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Business Name:	Contractor Name: Sebago Lake Pools
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Contractor Address: 629 Lower Main St. Gorham	Phone: 2078561000
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Lessee/Buyer's Name	Phone:
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Permit Type: Swimming Pools	Zone: R-3
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Past USE: Single Family	Proposed USE: Single Family w/Pool
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Permit Fee: \$147.00	Cost of Work: \$13,784.00	CEO District: 5
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>NA</i>	INSPECTION Use Group: <i>V</i> Type: <i>Pool</i> <i>IRC 2003</i>
Signature:	Signature:

Proposed Project Description:  
Install a 13'x23' above ground pool. Permit for pool only

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: gad	Date Applied For: 04/24/2006
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**Zoning Approval**

<p align="center"><b>Special Zone or Reviews</b></p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK with conditions</i> Date: <i>5/11/06</i>	<p align="center"><b>Zoning Appeal</b></p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<p align="center"><b>Historic Preservation</b></p> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date:
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**CERTIFICATION**

I hereby **certify** that I **am** the owner **of** record of the named property, or that the proposed work is authorized **by** the owner of record and **that** I have **been** authorized by the owner to **make** this application **as** his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I **certify** that the code official's authorized representative shall have the authority to enter all **areas** covered by such permit at any reasonable hour to enforce the provision of the **code(s)** applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

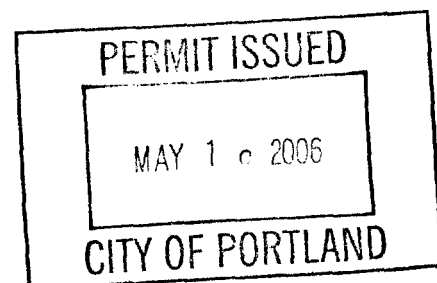
<b>Permit No:</b> 06-0585	<b>Date Applied For:</b> 0412412006	<b>CBL:</b> 183A A01 1001
<b>Location of Construction:</b> 11 Phipps Rd	<b>Owner Name:</b> Caliendo Vincent R &	<b>Owner Address:</b> 11 Phipps Rd
<b>Business Name:</b>	<b>Contractor Name:</b> Sebago Lake Pools	<b>Contractor Address:</b> 629 Lower Main St. Gorham
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Swimming Pools
<b>Proposed Use:</b> Single Family w/Pool		<b>Proposed Project Description:</b> Install a 13'x23' above ground pool. Permit for pool only

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) The approval for the installation of the pool is NOT an approval of the illegal deck. See the above condition
- 3) As related to you on the phone and in person, the rear deck has never been approved by this office and is currently in violation of required setbacks. It is required that you apply for an after the fact building permit with all the required submittal information. The current deck shall be reduced in size in order to meet the required 25 foot rear setback required by the R-3 Zone
- 4) It is understood that the pool size has been reduced in size to 13' x 23'. There shall be a minimum of ten (10) feet from all property lines and ten (10) feet from the principal structure. Property lines shall be clearly marked at the time of inspection PRIOR to pool installation in order for the Code Enforcement Officer to check for setback compliance.
- 5) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 05/19/2006

**Note:** **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.



06-0585



# Pool Installation/ Construction Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 Phipps Rd, Portland</u>		
Total Square Footage of Proposed Structure <u>375</u>	Square Footage of Lot <u>8900</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block# <u>A</u> Lot# <u>11</u> <u>MAP # 183A</u>	Owner: <u>Vincent Caliendo</u> <u>Amy Stebbins</u>	Telephone: <u>773-4917</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Amy Stebbins</u> <u>11 Phipps Rd.</u> <u>Portland, 773-2027</u>	Cost Of Work: \$ <u>13,784</u> Fee: \$ <u>147.00</u> <u>See attached</u>
Dimensions of pool: <u>15' x 25'</u> above or below ground: <u>above ground</u>		
Dimensions of decking and/or any platforms, sheds, or other structures: <u>13' x 23' picnic shelter</u> <u>See attached</u> (SF)		
Contractor's name, address & telephone: <u>Sebago Pool &amp; Spa, 629 Lower Main St.</u> <u>Rt. 25, Gorham, ME 04038 856-1000</u>		
Who should we contact when the permit is ready: <u>Amy Stebbins</u>		
Mailing address:		Phone: <u>773-2027 OR 229-1514</u>

Please submit all of the information outlined in the pool application checklist. Failure to do so could result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Amy Stebbins</u>	Date: <u>4-22-06</u>
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**This is not a permit; you may not commence ANY work until the permit is issued.**

DAMAGE TO POOL DUE TO CLOSING IS NOT UNDER WARRANTY IF THE POOL IS NOT CLOSED BY SEBAGO LAKE POOL



629 Lower Main St., (Rte. 25) Gorham, ME 04038

207-856-1000 OR 207-856-7000

Known by our Reputation & Service

Salesperson

Pool Estimate for Mr or Mrs Clay Stebbins Phone (W) 207-1574  
 Address 11711 Pine Rd Portland Me Phone (H) 773-200  
 Directions: Roughly drive to Cape in the hollow to the left of it. Right at an R/W line of road stop

13' x 23' x 5 1/2' deep

- 1. Pool Model and Size 13' x 23' x 5 1/2' deep Price 8495
- 2. Liner Style and Size Blue Price \_\_\_\_\_
- 3. Filter System DE \_\_\_\_\_ Sand X Price \_\_\_\_\_
- 4. Pump and Motor System 1 HP Price \_\_\_\_\_
- 5. Skimmer Wide Price \_\_\_\_\_
- 6. Ladder Type A Frame to Deck Ladder included Price \_\_\_\_\_
- 7. Vacuum Kit and Chemical Test Kit \_\_\_\_\_ Price \_\_\_\_\_
- 8. Solar Cover \_\_\_\_\_ Price \_\_\_\_\_
- 9. Ladder Matt \_\_\_\_\_ Price \_\_\_\_\_
- 10. Automatic Chlorinator \_\_\_\_\_ Price \_\_\_\_\_

- a. Crushed Rock 2 feet Around Pool 725
- b. Above Ground Pool Light \_\_\_\_\_
- c. Pool Fountain \_\_\_\_\_
- d. Pool Heater \_\_\_\_\_
- e. Extra Excavating (labor) \_\_\_\_\_
- f. Electric Hook-Up (labor) 495
- g. Dished Out Bottom approx. 10' (labor) \_\_\_\_\_
- h. Automatic Vac N/C
- i. Walk In Steps \_\_\_\_\_
- j. Winter Cover \_\_\_\_\_
- k. Extra Fill \_\_\_\_\_
- l. Water Delivery 2000 full by hose
- m. A Frame Ladder Enclosure Fencing \_\_\_\_\_

Wet \_\_\_\_\_  
 Flat \_\_\_\_\_  
 Slope \_\_\_\_\_  
 Mill \_\_\_\_\_

Materials & Options	<u>8495</u>
Optional Labor Cost	<u>1050</u>
Regular Installation Cost Labor	<u>3845</u>
Tax	<u>474.25</u>
Labor & Materials Total	<u>13784.25</u>

Date \_\_\_\_\_ Customer Signature \_\_\_\_\_  
 Dealer Rep. \_\_\_\_\_ Deposit 50% \_\_\_\_\_ Balance Due Upon Installation \_\_\_\_\_

I, the customer, have read the back of this contract

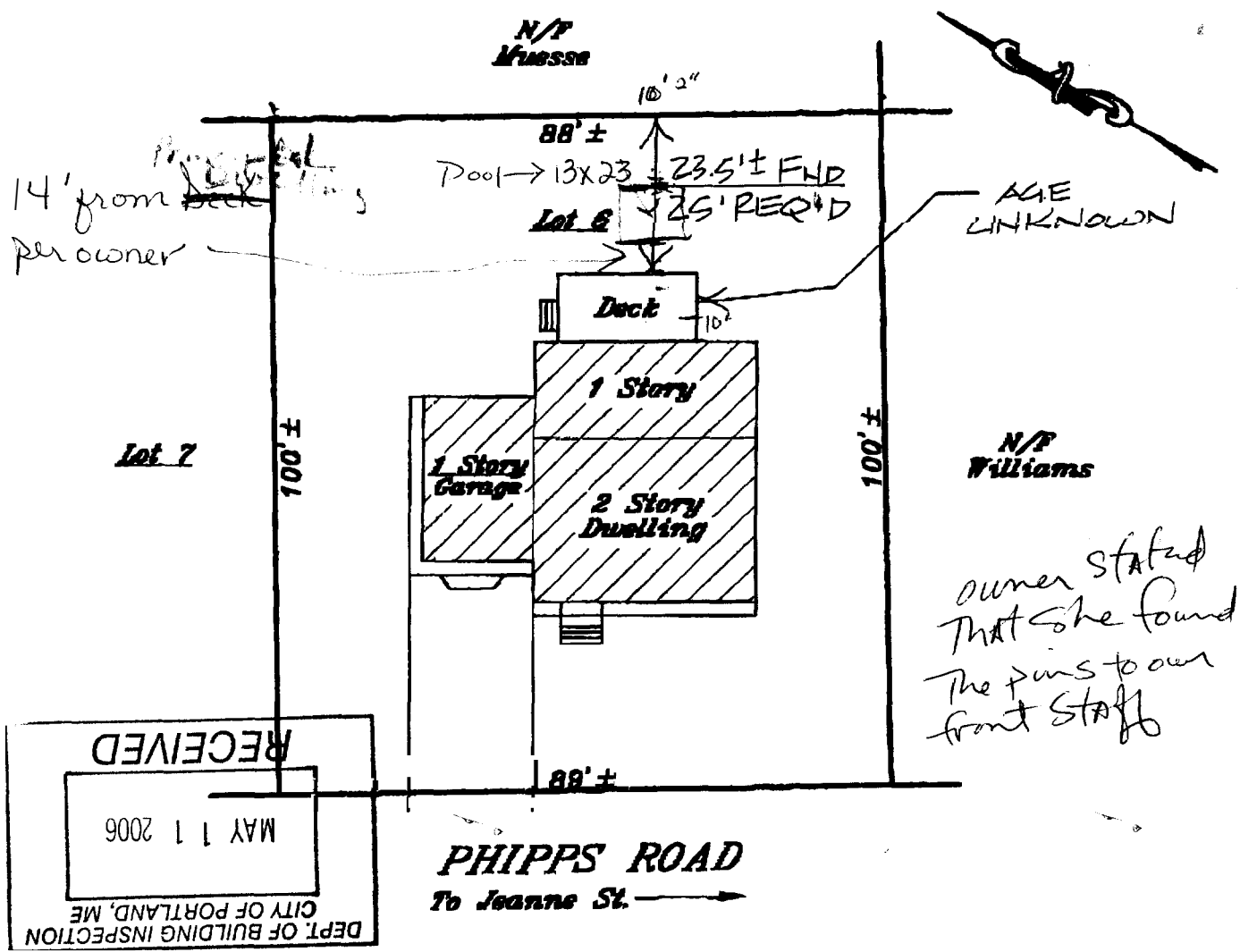
11 Phipps Rd

# FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FOUND BARE DETERMINATION BY HORIZONTAL SCALING ON AERIAL PHOTOGRAPHS FROM MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND IS NOT TO BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCROACHMENTS, AND/OR ENCROACHMENTS.

## THIS SKETCH IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

ADDRESS: 11 PHIPPS ROAD INSPECTION DATE: FEBRUARY 14, 2005  
PORTLAND, MAINE SCALE: 1" = 25'



INSP. BY: TPB

SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: VINCENT R. CALIENDO REQUESTING PARTY: ATLANTIC TITLE CO.  
 OWNER: THOMAS P. HOGAN ATTORNEY: \_\_\_\_\_  
 LENDER: BANK OF AMERICA FILE No. 20517127 FIELD BOOK: 330

TITLE REFERENCES: YOUR FILE #: 1001032

DEED BOOK: 13785 PAGE: 1  
 PLAN BOOK: 117 PAGE: 64 LOT: 6

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS



## Pool Installation/ Construction Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

- A plot plan showing the shape and dimension of the lot, footprint of the pool and its distance from the actual property lines, and the principal structure. Include any decks or accessory structures
- A complete set of plans that include structural details, size and dimensions and a cross section showing the slope and depth ratios, or for above ground pool, design specifications. Often this information can be obtained from the manufacturer.
- A complete set of construction details for any accessory structures or decks including: pier or foundation layout, framing, fastenings, guards/handrails, baluster spacing and stair dimensions
- Details of required barrier protection including the design of fencing, gates, latches, ladders, or audible alarms (if applicable). Please show where they will be located and how they are constructed. This information can often be obtained from the manufacturer
- Proof of ownership is required if it is inconsistent with the assessors records

**All pool installations must be conducted in compliance with the  
IRC 2003 Building Code Appendix G**

**Separate permits are required for HVAC, and electrical installations.**

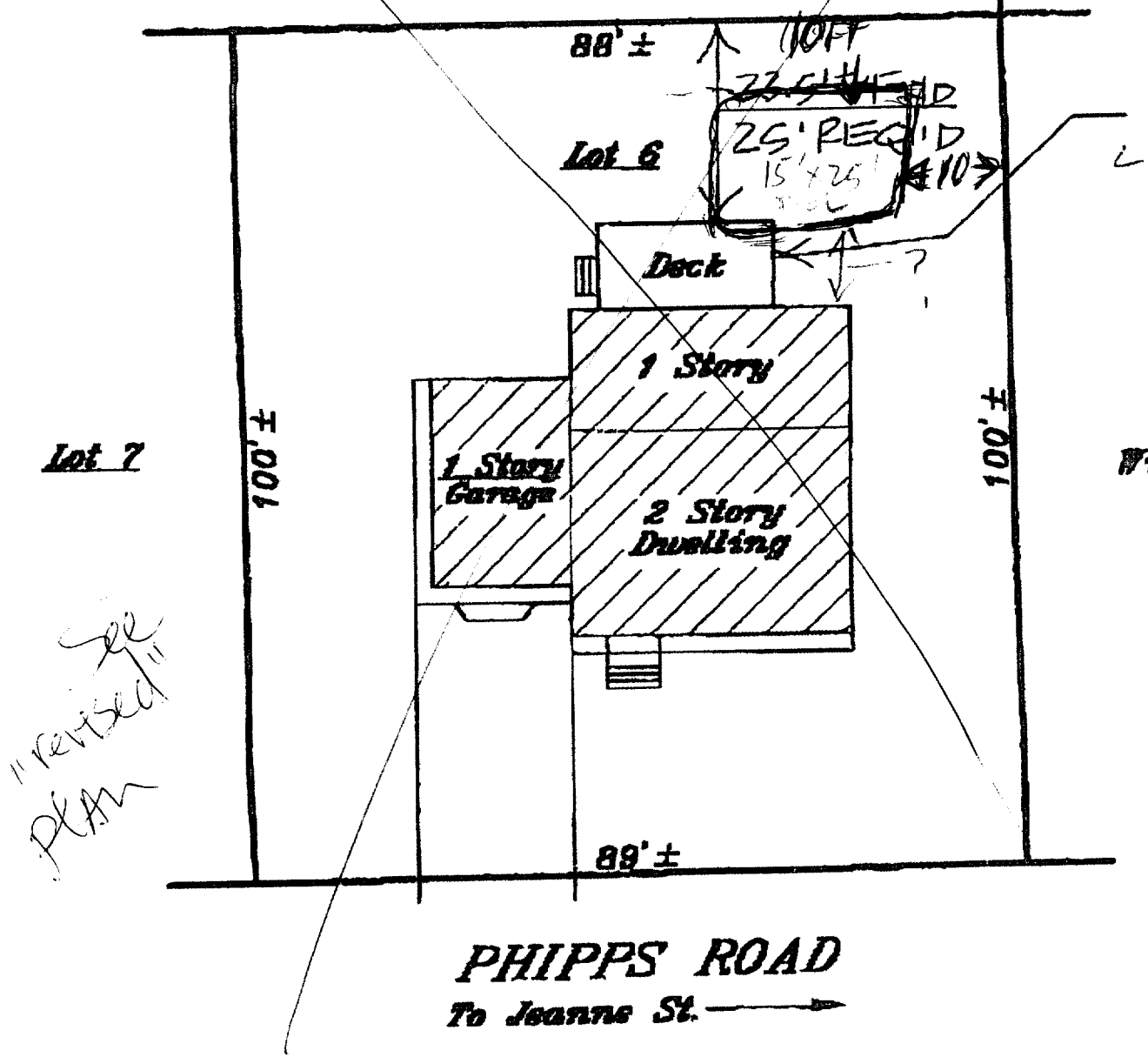
Permit Fee: **\$30.00** for the first **\$1000.00** construction cost, **\$0.00** per additional **\$1000.00** cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

ADDRESS: 11 PHIPPS ROAD INSPECTION DATE: FEB  
PORTLAND, MAINE SCALE: \_\_\_\_\_

N/P  
Muesse

23.5  
-15.0  
8.5



SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF

APPLICANT: VINCENT R. CALIENDO REQUESTING PARTY: ATLAN  
OWNER: THOMAS P. HOGAN ATTORNEY: \_\_\_\_\_  
LENDER: BANK OF AMERICA FILE No. 20517127 FIELD

TITLE REFERENCES: \_\_\_\_\_ YOUR FILE



## SECTION AG105 BARRIER REQUIREMENTS

**AG105.1 Application.** The provisions of this chapter shall control the design of barriers for residential swimming pools, spas and hot tubs. These design controls are intended to provide protection against potential drownings and near-drownings by restricting access to swimming pools, spas and hot tubs.

❖ This section describes the provisions for barriers around residential swimming pools, hot tubs, and spas. A swimming pool or similar facility creates an attractive temptation to children, including very young children and infants who do not know how to swim. The installation of an effective barrier can help reduce the number of children who die or are injured as the result of open access to a swimming pool, spa, or hot tub.

**AG105.2 Outdoor swimming pool.** An outdoor swimming pool, including an in-ground, aboveground or on-ground pool, hot tub or spa shall be provided with a barrier which shall comply with the following:

1. The top of the barrier shall be at least 48 inches (1219 mm) above grade measured on the side of the barrier which faces away from the swimming pool. The maximum vertical clearance between grade and the bottom of the barrier shall be 2 inches (51 mm) measured on the side of the barrier which faces away from the swimming pool. Where the top of the pool structure is above grade, such as an aboveground pool, the barrier may be at ground level, such as the pool structure, or mounted on top of the pool structure. Where the barrier is mounted on top of the pool structure, the maximum vertical clearance between the top of the pool structure and the bottom of the barrier shall be 4 inches (102 mm).
2. Openings in the barrier shall not allow passage of a 4-inch-diameter (102 mm) sphere.
3. Solid barriers which do not have openings, such as a masonry or stone wall, shall not contain indentations or protrusions except for normal construction tolerances and tooled masonry joints.
4. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45 inches (1143 mm), the horizontal members shall be located on the swimming pool side of the fence. Spacing between vertical members shall not exceed 1.75 inches (44 mm) in width. Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.
5. Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is 45 inches (1143 mm) or more, spacing between vertical members shall not exceed 4 inches (102 mm). Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1.75 inches (44 mm) in width.
6. Maximum mesh size for chain link fences shall be a 2.25-inch (57 mm) square unless the fence is provided

with slats fastened at the top or the bottom which reduce the openings to not more than 1.75 inches (44 mm).

7. Where the barrier is composed of diagonal members, such as a lattice fence, the maximum opening formed by the diagonal members shall not be more than 1.75 inches (44 mm).
8. Access gates shall comply with the requirements of Section AG105.2, Items 1 through 7, and shall be equipped to accommodate a locking device. Pedestrian access gates shall open outward away from the pool and shall be self-closing and have a self-latching device. Gates other than pedestrian access gates shall have a self-latching device. Where the release mechanism of the self-latching device is located less than 54 inches (1372 mm) from the bottom of the gate, the release mechanism and openings shall comply with the following:
  - 8.1. The release mechanism shall be located on the pool side of the gate at least 3 inches (76 mm) below the top of the gate, and
  - 8.2. The gate and barrier shall have no opening greater than 0.5 inch (12.7 mm) within 18 inches (457 mm) of the release mechanism.
9. Where a wall of a dwelling serves as part of the barrier one of the following conditions shall be met:
  - 9.1. The pool shall be equipped with a powered safety cover in compliance with ASTM F1346; or
  - 9.2. All doors with direct access to the pool through that wall shall be equipped with an alarm which produces an audible warning when the door and its screen, if present, are opened. The alarm shall sound continuously for a minimum of 30 seconds immediately after the door is opened and be capable of being heard throughout the house during normal household activities. The alarm shall automatically reset under all conditions. The alarm system shall be equipped with a manual means, such as touchpad or switch, to temporarily deactivate the alarm for a single opening. Such deactivation shall last for not more than 15 seconds. The deactivation switch(es) shall be located at least 54 inches (1372 mm) above the threshold of the door; or
  - 9.3. Other means of protection, such as self-closing doors with self-latching devices, which are approved by the governing body, shall be acceptable so long as the degree of protection afforded is not less than the protection afforded by Item 9.1 or 9.2 described above.
10. Where an aboveground pool structure is used as a barrier or where the barrier is mounted on top of the pool structure, and the means of access is a ladder or steps, then:
  - 10.1. The ladder or steps shall be capable of being secured, locked or removed to prevent access, or
  - 10.2. The ladder or steps shall be surrounded by a barrier which meets the requirements of Section AG105.2, Items 1 through 9. When the ladder or steps are secured, locked or removed, any opening created shall not allow the passage of a 4-inch-diameter (102 mm) sphere.

❖ This section provides prescriptive requirements for the construction of the swimming pool barrier.

1. The barrier height requirement of 48 inches (1219 mm) above the ground is based on reports that document the ability of children under the age of 5 to climb over barriers that are less than 48 inches (1219 mm) in height. The basis for the 4-inch (102 mm) criterion for an opening between the barrier and the top of the pool frame is the same as for guard construction as addressed in Section R312. Refer to Commentary Figure AG 105.2(1).
2. The general provision is applicable only when one of the conditions addressed in Items 4, 5, 6, and 7 is not present. For example, a chain-link fence would be regulated by the requirements of Item 6, which reduces the general opening criterion of 4 inches (102 mm) to 2.25 inches (57 mm). The basis for the 4-inch (102 mm) criterion is the same as for guard construction per Section R312. It is based on studies of the body measurements of children 13 to 18 months old.
3. This provision reduces the potential for gaining a foothold and climbing the barrier.
4. The more stringent 1.75-inch (44 mm) provision for spacing between vertical members applies when the spacing between horizontal members is less than 45 inches (1143 mm). It acknowledges the potential for a child to gain both a handhold and a foothold on closely spaced horizontal members and reduces the potential for a child to gain a foothold by limiting the space between the vertical members on the same barrier. If the horizontal members are spaced less than 45 inches (1143 mm) apart, they must also be located on the swimming pool side of the fence as shown in Commentary Figure AG 105.2(2) so that they are not available to be used to climb the barriers.
5. This requirement is the counterpart to Item 4 in that it permits the opening in the barrier to be 4 inches (102 mm) provided the vertical spacing of the horizontal members equals or exceeds 45 inches (1143 mm) as illustrated in Commentary Figure AG 105.2(2). It is consistent with Item 2, which limits openings in the barrier to a 4-inch (102 mm) diameter. The spacing of horizontal members 45 inches (1143 mm) apart precludes them from being used by small children to climb the barrier.
6. The 2<sup>1</sup>/<sub>4</sub>-inch (57 mm) dimension is intended to reduce the potential for a child to gain a foothold [see Figure AG 105.2(3)]. The mesh size is permitted to be larger than 2<sup>1</sup>/<sub>4</sub>-inches (57 mm) square if slats are used to reduce the mesh opening to 1<sup>3</sup>/<sub>4</sub> inches (44 mm) in order to decrease

the potential for a child to obtain a foothold or handhold.

7. A slightly larger opening is permitted for barriers composed of diagonal members other than chain link fences, on the basis that such barriers would be more difficult to gain a foothold and handhold on than a chain link fence. The 1.75-inch (44 mm) dimension is consistent with Items 4, 5 and 6.
8. A gate represents the same potential hazard relative to climbing as do the other portions of the barrier: therefore, it must be constructed in accordance with applicable Items 1 through 7. Additionally, since the gate also represents a potential breach of the barrier because the gate can be opened, the code provides prescriptive details for the construction and operation of the gate. A self-closing pedestrian gate must open away from the pool because if the latch fails to operate, a child pushing on the gate will not gain immediate access to the pool. Pushing on the gate may also engage the latch. Large, non-pedestrian gates are not required to be self-closing because of prohibitive cost and maintenance concerns coupled with the fact that these gates are typically operated by persons other than small children. The 54-inch (1372 mm) latch height requirement limits the potential for small children to reach and activate the latch. If the latch is located lower than 54 inches (1372 mm), the code's prescriptive location requirements preclude the latch from being activated by small children who are not on the pool side of the gate.
9. Many residential settings with backyard pools use the dwelling as a portion of the barrier required around the pool, such as where the fence bounding the property terminates at the dwelling. This limits access to the pool by unsupervised children around the perimeter of the fence, but there is still a potential for children to access the pool from within the dwelling. Indeed, almost half the children involved in drowning or near-drowning accidents gained access to the pool from the dwelling.

The provisions of this section restrict such access by small children and are applicable to all doors in walls that form a portion of the barrier required around swimming pools.

Protection of such door openings to pool areas can be achieved in any one of the methods described in Items 9.1 through 9.3. The first alternative does not require protection of the exterior door itself but limits access to the pool by means of a power safety cover. The performance criteria specified when this option is selected assures that the power safety cover is an adequate and

reliable barrier to the pool. In Item 9.2, the alarm is configured to allow adults who are accessing the house to open the door, enter the house, and deactivate the system to prevent a false alarm. The touchpad permitted to deactivate the system is required to be mounted 54 inches (1372 mm) above the floor, which is presumed to be beyond the reach of small children.

Item 9.3 permits doors to pool areas to be protected by devices that render the door self-closing and self-latching. Any other requirements would be performance based, as the code only requires equivalency with Items 9.1 or 9.2. One possible criterion could require the release mechanism for the latching device to be located a minimum of 54 inches (1372 mm) above the floor, which is presumed to be beyond the reach of small children. In addition, doors protected by the methods specified in item 9.3 should probably open away from the pool area. This is so that if the door failed to latch, a child outside the pool area pushing against the door would cause it to close and not swing to an open position.

10. The code permits the wall of the pool itself to serve as the barrier to the pool, provided that the wall extends at least 48 inches (1219 mm) above the finished ground level around the perimeter of the pool. Unless capable of being secured, locked, or removed, the ladder must be surrounded by a complying barrier to limit access to the ladder.

**AG105.3 Indoor swimming pool.** All walls surrounding an indoor swimming pool shall comply with Section AG105.2, Item 9.

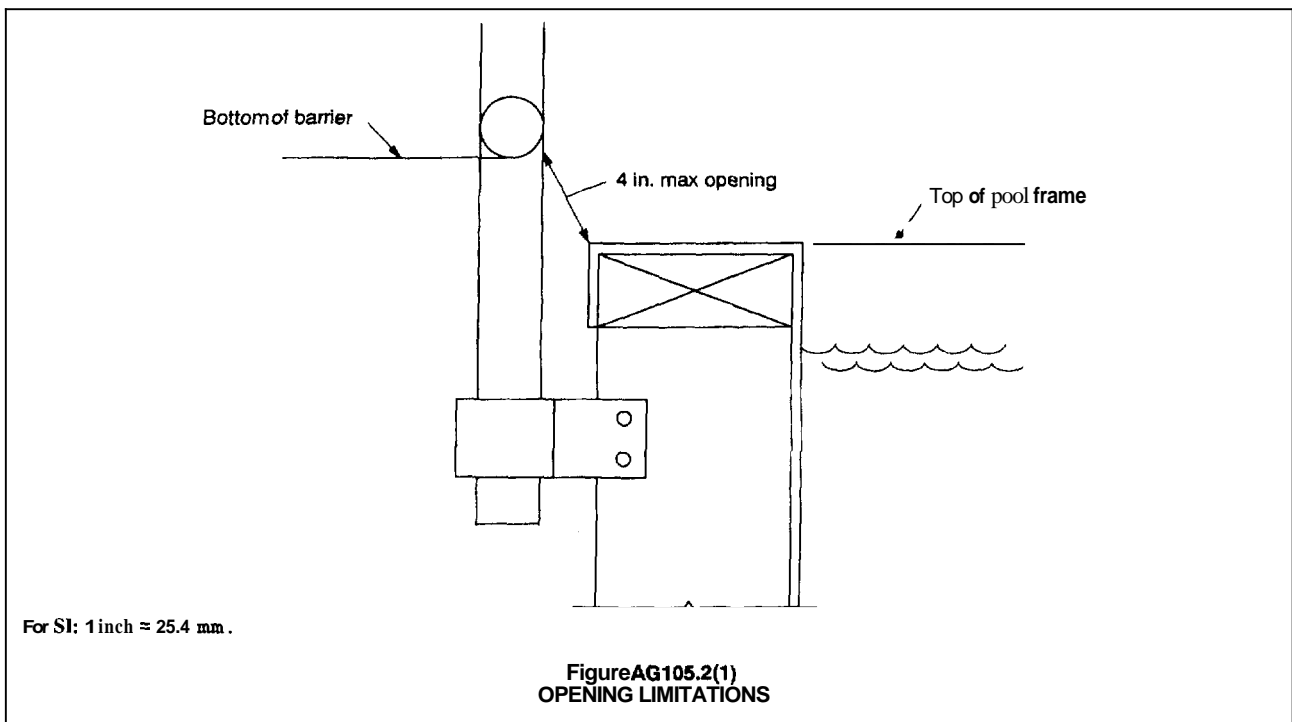
- 4 Indoor pools represent the same hazards as outdoor pools. For this reason, the walls and doors surrounding an indoor swimming pool are regulated in the same manner as an exterior wall of a dwelling where the wall is used as a barrier for an outdoor pool. The provisions of Section AG105.2, Item 9 apply in their entirety.

**AG105.4 Prohibited locations.** Barriers shall be located so as to prohibit permanent structures, equipment or similar objects from being used to climb the barriers.

- ❖ The purpose of a swimming pool barrier would be defeated if children could climb on benches, planters, pumps, and similar permanent features adjacent to the barrier and gain access to the pool area. Therefore, the area adjacent to the barrier must be carefully designed and constructed to avoid such a condition. This provision is performance in character and must be reviewed on a case-by-case basis.

**AG105.5 Barrier exceptions.** Spas or hot tubs with a safety cover which complies with ASTM F 1346, as listed in Section AG108, shall be exempt from the provisions of this appendix.

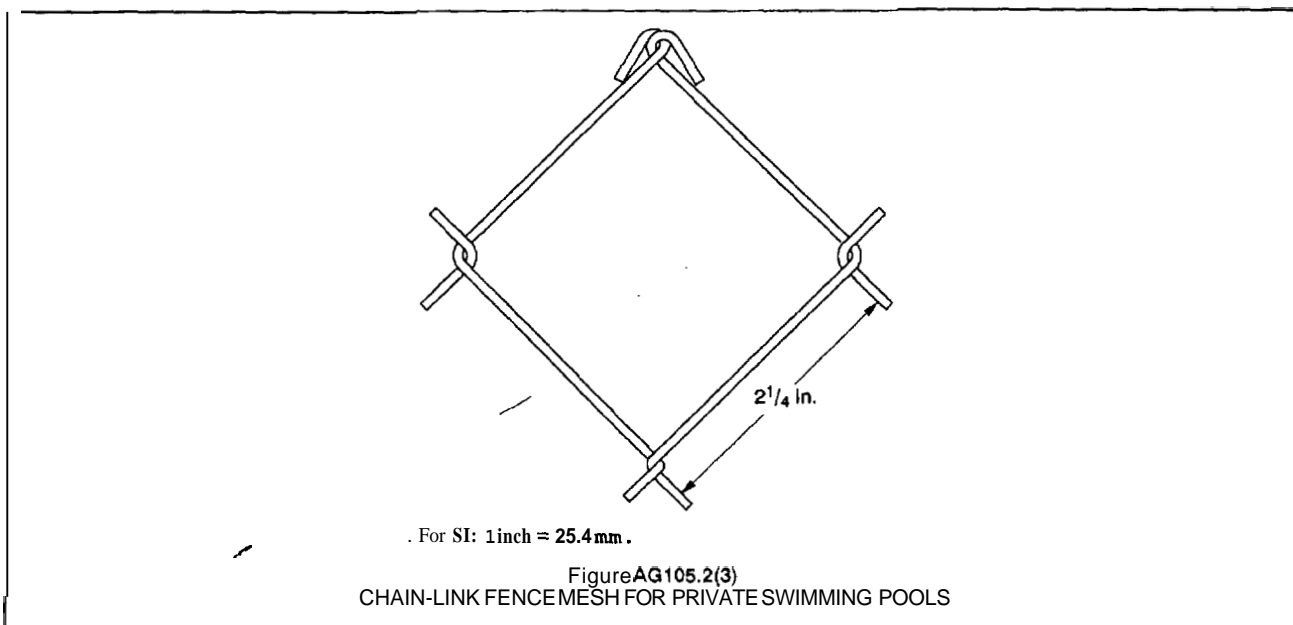
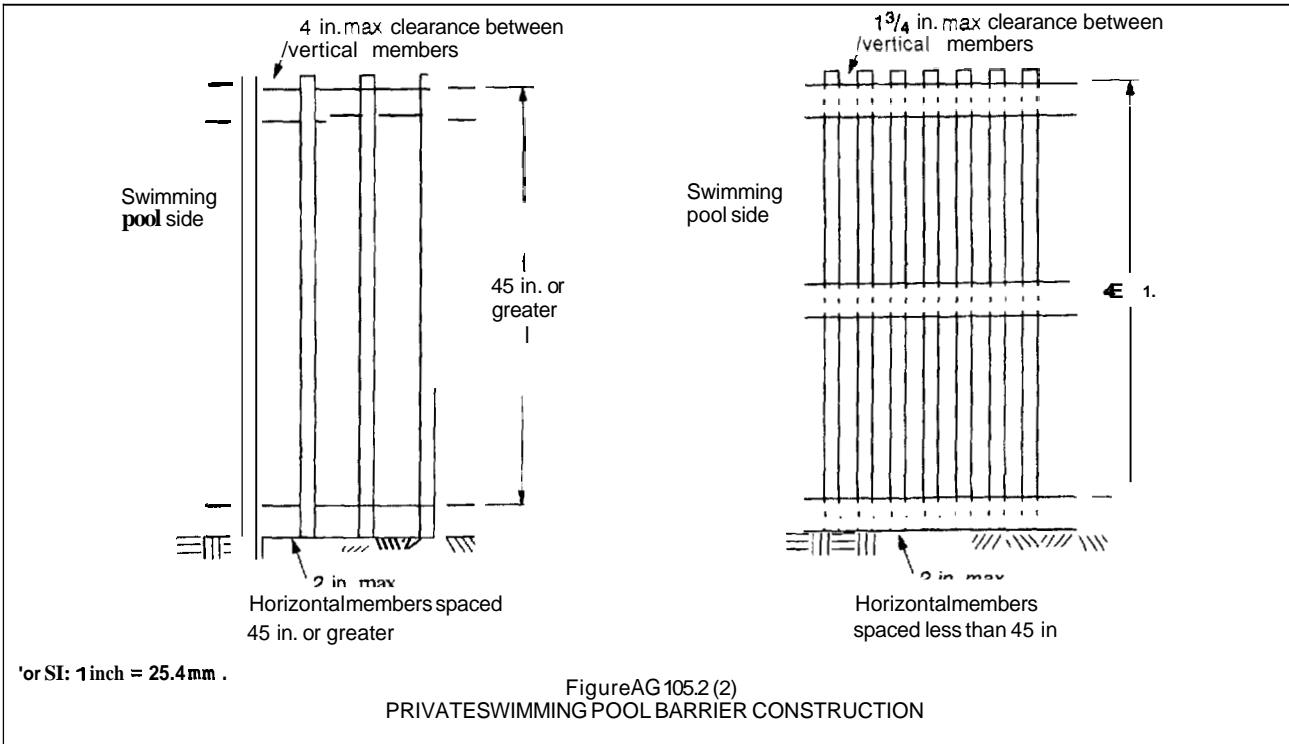
- ❖ The provisions of this appendix chapter are not applicable to spas and hot tubs where an approved safety cover serves as the protective barrier. The requirements of ASTM F 1346 contain a number of criteria so that the safety cover can provide an equivalent level of



protection as that provided by a swimming pool enclosure barrier. The following requirements are representative of several of the specifications found in the standard:

1. There should be a means of fastening the safety cover to the hot tub or spa, such as key locks, combination locks, special tools or similar devices that will prohibit children from removing or operating the cover. The fastening mechanism, design, and location are vital components that help prevent a child's entry to the water.

2. The safety cover should have a label that provides a warning and message regarding the risk of drowning. The label is also very important for



the transfer of information to second owners and temporary users.

3. The cover should have been tested to demonstrate that it is capable of supporting the weight of one child [50 pounds (23 kg)] and one adult [225 pounds (102 kg)] so an adult and a child can be supported during a rescue operation.
4. There should be no openings in the cover itself or at any point where the cover joins the surface of the hot tub or spa that would allow a child's head to pass through. The 4-inch (102 mm) spacing for guards in Section R312 and openings in pool enclosures of Section AG105.2 are also applicable.
5. Safety covers are to be installed in accordance with the manufacturer's instructions.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 183A A011001  
**Location** 11 PHIPPS RD  
**Land use** SINGLE FAMILY

**Owner Address** CALIENDO VINCENT R & AMY J STEBBINS  
 11 PHIPPS RD  
 PORTLAND ME 04102

**Book/Page** 23266/055  
**Legal** 183A-A-11  
 PHIPPS RD 11  
 8875 SF

**Current Assessed Valuation For Fiscal Year 2006**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$49,390	\$167,790	\$217,180

**Estimated Assessed Valuation For Fiscal Year 2007\***

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$65,800	\$205,000	\$270,800

\* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

**Property Information**

<b>Year Built</b> 1980	<b>Style</b> Garrison	<b>story Height</b> 2	<b>Sq. Ft.</b> 2408	<b>Total Acres</b> 0.204		
<b>Bedrooms</b> 5	<b>Full Baths</b> 2	<b>Half Baths</b> 1	<b>Total Rooms</b> 8	<b>Attic</b> None	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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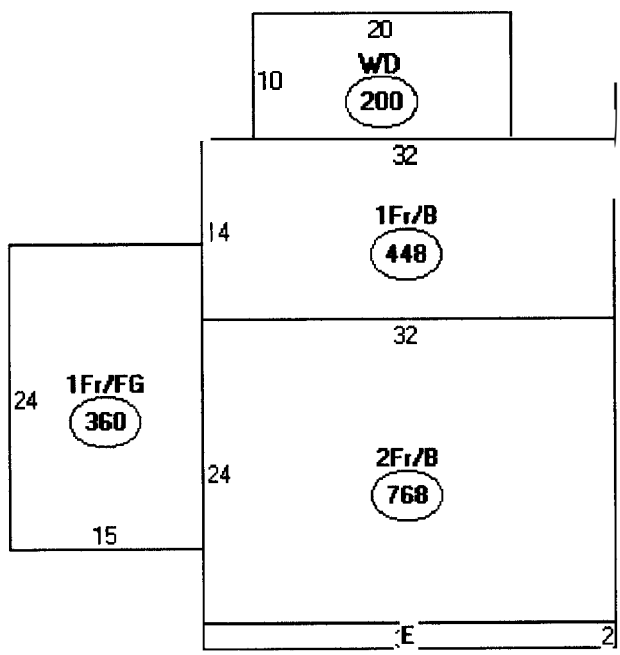
**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
10/14/2005	LAND + BLDING	\$15,000	23266-55
02/28/2005	LAND + BLDING	\$329,000	23262-31

**Picture and Sketch**

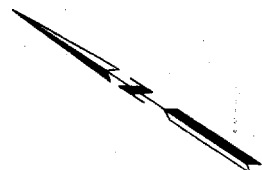
01/14/2006 10:00 AM 1 of 1

[Click here to view Tax Roll Information.](#)



Descriptor/Area

- A: 2Fr/B  
768 sqft
- B: 1Fr/FG  
360 sqft
- C: 1Fr/B  
448 sqft
- D: WD  
200 sqft
- E: FOH  
64 sqft





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# APPLICATION FOR PERMIT

JAN 18 1987

B.O.C.A. USE GROUP .....  
 B.O.C.A. TYPE OF CONSTRUCTION .....  
 ZONING LOCATION **R-3**, PORTLAND, MAINE Jan. 8, 1987, City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION **11 Phipps Street** Fire District **10-25**  
 1 Owner's name and address **Bruce Levinsky - same** Telephone .....  
 2 Lessee's name and address ..... Telephone .....  
 3 Contractor's name and address **Vernon H Libby & Sons - RR # 1** Telephone **839-6051**  
**Box 99 Gorham, Me.** No. of sheets .....

Proposed use of building **dwelling** No. families **1**  
 Last use **same** No. families .....

Material No. stories Heat Style of roof Roofing .....

Other buildings on same lot .....

Estimated contractual cost \$ **17,000** Appeal Fees \$ .....  
 Base Fee **105.00**

FIELD INSPECTOR - Mr. @ 775-5451  
 Late Fee .....  
 TOTAL \$ .....

To construct 1 story addition 14' x 31'8"  
 shed type ( roof) to ~~side~~ rear of dwelling  
 rear  
 to be used for recreation room as per  
 plans. 1 sheet of plans.

Stamp of Special Conditions

send permit to # 3 04038

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

### DETAILS OF NEW WORK

Is any plumbing involved in this work? **no** Is any electrical work involved in this work? **yes**  
 Is connection to be made to public sewer? If not, what is proposed for sewage?  
 Has septic tank notice been sent? Form notice sent?  
 Height average grade to top of plate Height average grade to highest point of roof  
 Size, front depth No. stories solid or filled land? earth or rock?  
 Material of foundation Thickness, top bottom cellar  
 Kind of roof Rise per foot Roofcovering  
 No. of chimneys Material of chimneys of lining Kind of heat fuel  
 Framing Lumber—Kind Dressed or full size? Corner posts Sills  
 Size Girder Columns under girders Size Max. on centers  
 Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.  
 Joists and rafters: 1st floor, 2nd, 3rd, roof  
 On centers: 1st floor, 2nd, 3rd, roof  
 Maximum span: 1st floor, 2nd, 3rd, roof  
 If one story building with masonry walls, thickness of walls? height?

### IF A GARAGE

No. cars now accommodated on same lot, to be accommodated number commercial cars to be accommodated  
 Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE MISCELLANEOUS  
 BUILDING INSPECTION—PLAN EXAMINER Will work require disturbing of any tree on a public street? **no**  
 ZONING: **O.K. N.D.T. Jan. 9, 1987**  
 BUILDING CODE: Will there be in charge of the above work a person competent  
 Fin. Dept.: to see that the State and City requirements pertaining thereto  
 Health Dept.: are observed? **yes**  
 Others: **A P 200**



B.O.C.A. USE GROUP .....

MAY 2 1918

B.O.C.A. TYPE OF CONSTRUCTION ..... 0310 .....

ZONING LOCATION *B-3* PORTLAND, MAINE, APR 11 25 1978

CITY of PORTLAND

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION Lot # 6 *YIPPS* Fire District #1  #2 
1. Owner's name and address Frank Morris - Box 72 Woodfords Station Telephone 773 08244
2. Lessee's name and address
3. Contractor's name and address Owner Telephone
4. Architect Specifications Plans No. of sheets
Proposed use of building dwelling No. families 1
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated contractual cost \$ 30,000. Fee \$ 120.00

FIELD INSPECTOR - Mr. Marge GENERAL DESCRIPTION

This application is for: @ 775-5451
Dwelling XX Ext. 234
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other
To construct single family dwelling
24 x 32 with attached garage 24 x 16
as per plans, 4 sheets of plans.
State of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1  2  3  4 
Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 1.7 ft. Height average grade to highest point of roof 21 ft.
Size, front 48 depth 30 No. stories 2 solid or filled land? solid earth or rock? earth
Material of foundation concrete Thickness, top 10in bottom 10in cellar yes
Kind of roof pitch Rise per foot 5/12 Roof covering asphalt
No. of chimneys 0 Material of chimneys & lining Kind of bat ~~brick~~ fuel
Framing Lumber - Kind spruce Dressed or full size? dressed Corner posts 4 x 6 electric
Size Girder 6 x 8 Columns under girders lally Size 3/4 Max. on centers 8 ft
Sills (outside walls and carrying partitions) 2x4-16" O.C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2 x 8 2nd 2 x 8 3rd roof
On centers: 1st floor 16 2nd 16 3rd roof
Maximum span: 1st floor 12 2nd 12 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated 1 - number - commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE

MISCELLANEOUS

BUILDING INSPECTION - PLAN EXAMINER
ZONING: *OK M. G. C. 5/11/78*
BUILDING CODE: *0.15 E. S. 5/11/78*
Fire Dept.:
Health Dept.:
Others:

Will work require disturbing of any tree on a public street?
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

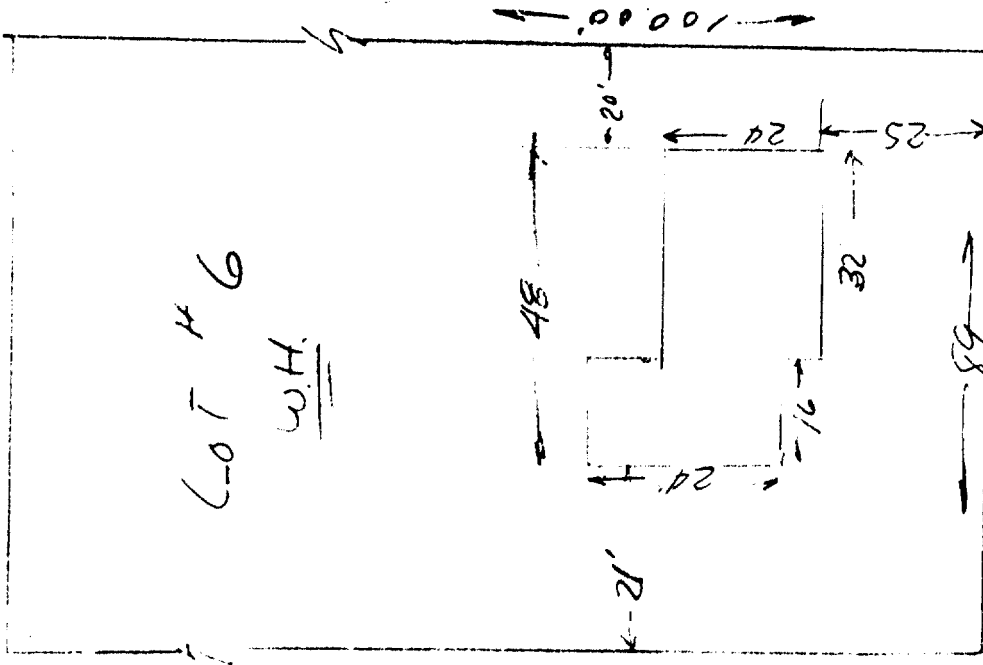
Signature of Applicant *Frank Morris* Phone # same
Type Name of above Frank Morris 1  2  3  4

100000 Addition

Zone R3

SUBTOWN  
WADSWORTH  
HEIGHTS

LOT #6



RECEIVED  
 APR 20 1968  
 DEPT. OF BLDG. INSP.  
 CITY OF PORTLAND

FRANK MORRIS BUILDER

*[Signature]*

RIPPS ROAD

PORTLAND, ME

APR 28 2006

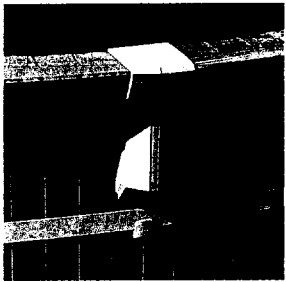
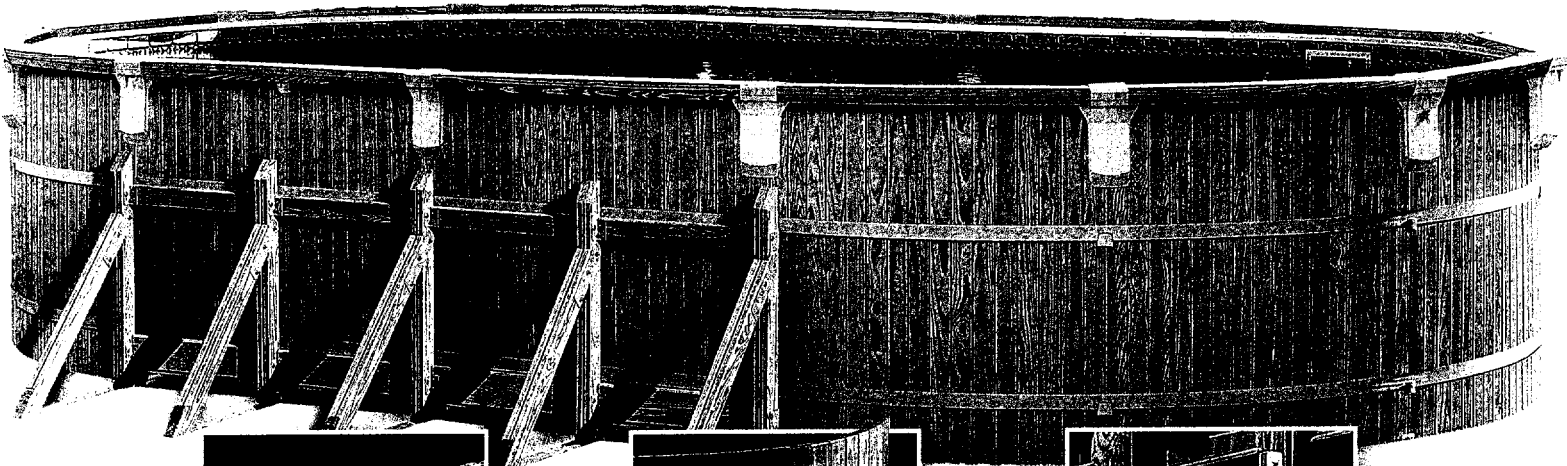
RECEIVED

# Montebello

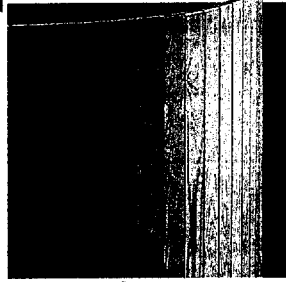
Streamlined for built-in appeal

11 Phipps

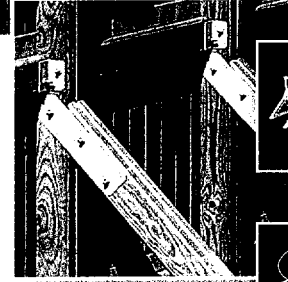
SELECTION OF WIDE TOP SEATS AND IMPOSING COLUMN-STYLE SEAT CAPS MAKE THE MONTEBELLO OVAL POOL THE IDEAL CHOICE FOR A STATELY GARDEN, WHETHER ITS ABOVEGROUND OR SEMI-INGROUND



Featuring 7-inch (17.8 cm) wide top seats with straight edges and elegant khaki coloured resin seat caps, the Montebello oval pool lends its traditional charm to the most refined garden settings.



Flexible, preassembled Southern yellow pine panels provide years of trouble-free enjoyment



A winning combination of cutting-edge engineering and design, the Montebello oval pool's standard model features side braces that provide it with strength and stability.

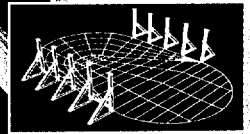


Fig. 1 - Semi-inground (with deep-end liner)

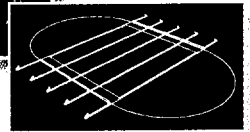


Fig. 2 - Aboveground (requires strap system)

## Specifications

TechnoBois pool kits include ready-to-install wood panels, resin and steel components.

- Flexible and rigid panels are pre-assembled and pre-perforated for easy installation
- Resin components include seat caps, strap clips, strap covers, columns and panel clips
- Beaded vinyl liner with decorative fringe; available with deep-end section for semi-inground pools (See fig. 1)
- Prime quality insulating foam
- Corrosion-treated fastenings
- The Montebello oval pool, with braces, may be installed aboveground (See fig.2) or semi-inground (See fig. 1)

**WARRANTY** Our treated Southern yellow pine is covered by a limited 15-year prorated warranty against all damages caused by deterioration making it unfit for proper usage. All resin components are covered by a full 30-year warranty.

**IMPORTANT** In order to comply with the manufacturer's warranty, top seats must be waterproofed immediately following installation. It is highly recommended to waterproof panels following installation. Please refer to warranty documents provided with pool.

## Heights available:

51 in (1.31 m)

## Dimensions:\*

10 ft x 20 ft.	3.1 m x 6.1 m
13 ft. x 23 ft.	3.9 m x 6.9 m
15 ft. x 25 ft.	4.7 m x 7.7 m
15 ft. x 30 ft.	4.7 m x 9.2 m
18 ft. x 33 ft.	5.4 m x 10 m

\*All dimensions approximate. Actual size of pool may vary.

## Resilience and reliability

In perfect harmony with your environment, TechnoBois wood pools offer the added advantage of solidity and durability. Their rigid structure makes them oblivious to bad weather and heavy snowfall. Properly treated, their finish will age beautifully, much like Nature intended it.

- TechnoBois uses only kiln-dried Southern yellow pine
- Pressure-treated against mildew and termites

\* Has removable ladder & locks up.  
\* No access from deck



JUMPING AND DIVING ARE PROHIBITED

# DISTRIBUTED BY

SEBAGO LAKE POOLS

Frost N' Flame  
629 MAIN STREET  
GORHAM, ME 04038  
(207) 856-1000 • (207) 856-7000

Find out more about our pools at  
[www.technobois.com](http://www.technobois.com)