

Form # P04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

**BUILDING INSPECTION**

**PERMIT**

Please Read Application And Notes, If Any, Attached

**PERMIT ISSUED**  
Permit Number: 041861  
**JAN 25 2005**  
**CITY OF PORTLAND**

This is to certify that Zoulamis Gregory & Laura Home owner

has permission to rehab existing garage outside footprint

AT 34 Edgeworth Ave

183 B009001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Deanne Bourke 1/24/05*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>PERMIT ISSUED</b>	
Permit No: 04-1861	Issue Date: <b>JAN 25 2005</b>
Owner Address: 34 Edgeworth Ave Portland	CEB: 183 B009001 Phone: <b>CITY OF PORTLAND</b>
Contractor Name: Home owner	Permit Type: Alterations - Dwellings
Zone: <b>R3</b>	Permit Fee: \$174.00
Cost of Work: \$17,000.00	CEO District: 5
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group <b>R3</b> Type: <b>SB accessory</b> <b>IRC-2003</b> Signature: <b>JMB 1/24/05</b>
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Location of Construction: 34 Edgeworth Ave	Dwner Name: Zoulamis Gregory & Laura Jts
Business Name:	Contractor Name: Home owner
Lessee/Buyer's Name	Phone:
Past Use: residential 2 unit	Proposed Use: residential 2 unit rehab existing garage outside footprint <i>add 9' x 20'6"</i>
Proposed Project Description: rehab existing garage outside footprint <i>add x 20'6"</i>	

Permit Taken By: dmartin	Date Applied For: 12/28/2004	<b>Zoning Approval</b>
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Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>OK</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>JMB 1/24/05</b>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>JMB</b>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE	

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-1861	<b>Date Applied For:</b> 12/28/2004	<b>CBL:</b> 183 B009001
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<b>Location of Construction:</b> 34 Edgeworth Ave	<b>Owner Name:</b> Zoulamis Gregory & Laura Jts	<b>Owner Address:</b> 34 Edgeworth Ave	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Home owner	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Duplex	

residential 2 unit rehab existing garage outside footprint	rehab existing garage outside footprint
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 01/11/2005**Note:** 1/11/05 Spoke w/Greg Z. To confirm that the existing garage is remaining. They will raise it to provide a slat as there is none. I advised it will now have to be frost protected. He will submit a plan for sona tubes & beams. **Ok to Issue:** 

1) This garage shall remain accessory to the residential use.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 01/24/2005**Note:** 1/24/05 received revised plans, left vm w/Greg about increasing the size of the sill beam. Greg left vm that he would make the change. **Ok to Issue:** 

1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

2) This permit DOES NOT certify the use of the building. It only authorizes the construction activities.

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

(9)		
Total Square Footage of Proposed Structure <u>660</u>	Square Footage of Lot <u>9,100</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>183</u> Block# <u>B-9</u> Lot# <u>10</u>	Owner: <u>GREGORY HAVZEVIA ZOUZAMIS</u>	Telephone: <u>207.329-1695 C</u> <u>207.775-5810 H</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>GREGORY ZOUZAMIS</u> <u>32 EDGEWORTH AVENUE.</u> <u>04103</u> <u>HOME 7755810 CELL 329-1695</u>	Cost Of Work: <u>\$17,000 --</u> Fee: \$ <u>174.00</u>
Current use: <u>GARAGE</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>GARAGE</u>		
Project description: <u>REHAB EXISTING GARAGE</u> <u>ADDITION OF 20'6" x 12' TOWARD DRIVEWAY</u>		
Contractor's name, address & telephone: <u>GREG ZOUZAMIS</u>		<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: auto;"> <p style="margin: 0;">DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME</p> <div style="border: 1px solid black; padding: 5px; width: 80%; margin: 5px auto;"> <p style="margin: 0; font-size: 1.2em;">DEC 27 2004</p> </div> <p style="margin: 0; font-weight: bold; font-size: 1.2em;">RECEIVED</p> </div>
Who should we contact when the permit is ready: <u>GREG ZOUZAMIS</u>		
Mailing address: <u>SAME AS ABOVE</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.    PHONE: <u>329-1695</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Signature of applicant:	Date: <u>12/20/04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.**  
If you are in a **Historic District** you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	I of 1
Parcel ID	183 B009001
Location	34 EDGEWORTH AVE
Land Use	TWO FAMILY
Owner Address	ZOULAMIS GREGORY & LAURA JTS 34 EDGEWORTH AVE PORTLAND ME 04103
Book/Page	14722/72
Legal	183-B-9-10 EDGEWORTH AVE 32-38 9100 SF

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**Valuation Information**

Land	Building	Total
\$32,970	\$103,430	\$136,400

**Property Information**

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1908	Old Style	2	2640	0.209	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
6	2		12	None	Full

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1920	20X22	C	F

**Sales Information**

Date	Type	Price	Book/Page
05/03/1999	LAND + BLDING	\$144,000	14722-075

**Picture and Sketch**

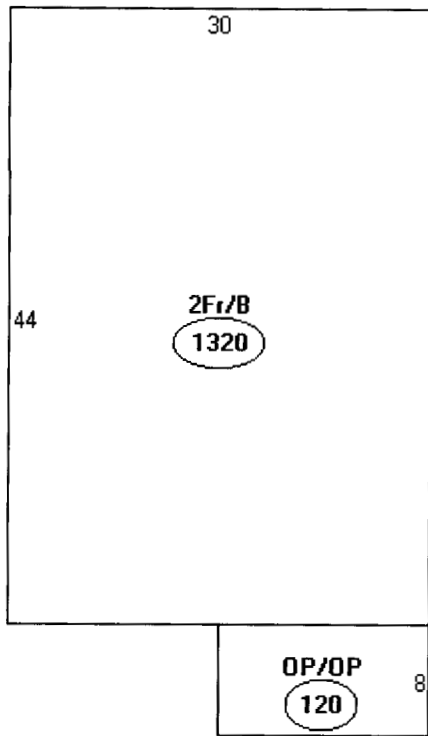
Picture      Sketch      Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**





Descriptor/Area

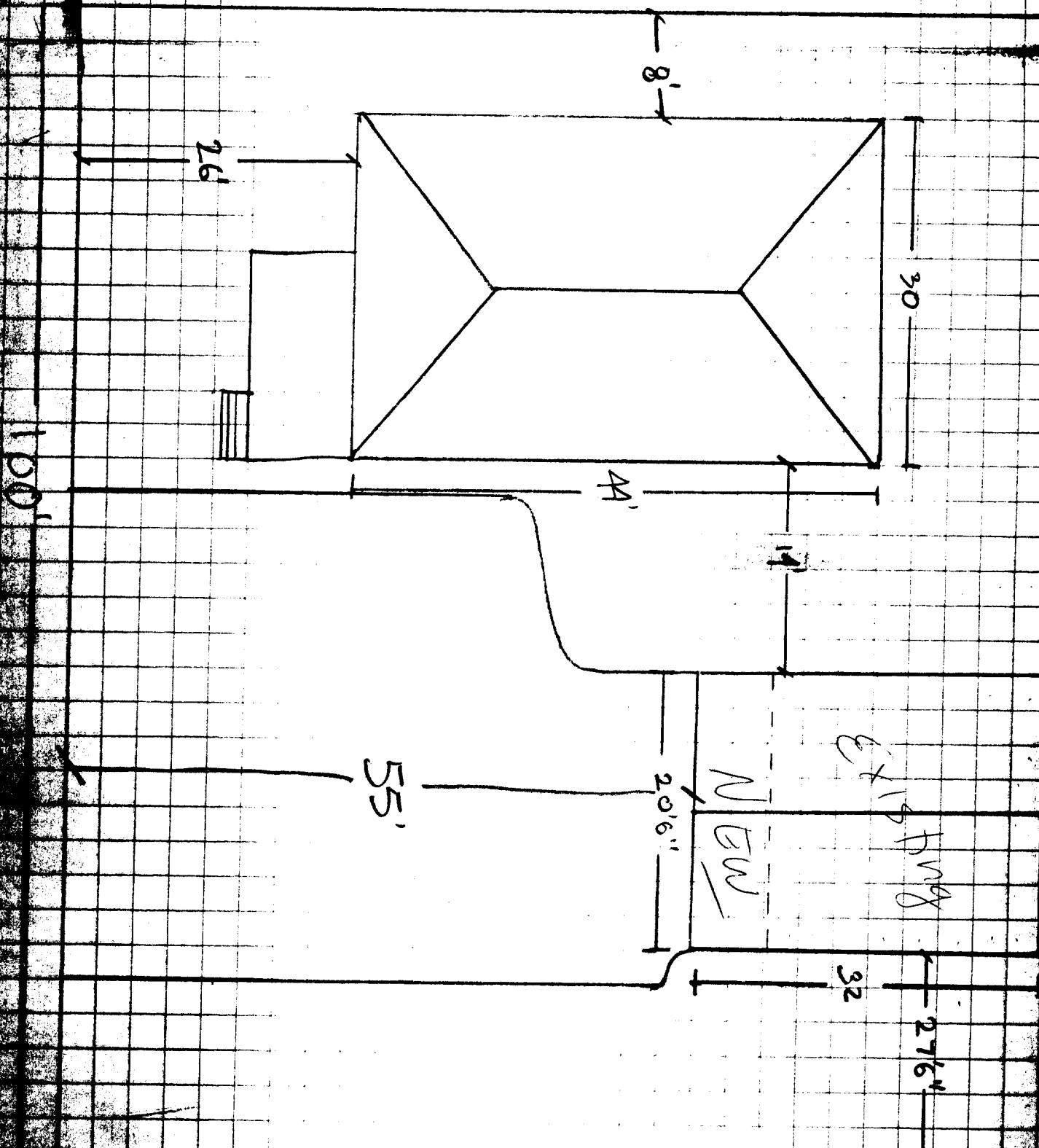
A: 2Fr/B  
1320 sqft  
B: OP/OP  
120 sqft

> 1440  
460 Garage  
1900 SF  
246 New

R3 (2,146 SF)

OK

Lot = 9,100 SF  
x 35%  
(3,185 SF)



20'6" X 32'

PROPOSED GARAGE

OLD GARAGE GABLE

R3 Zone

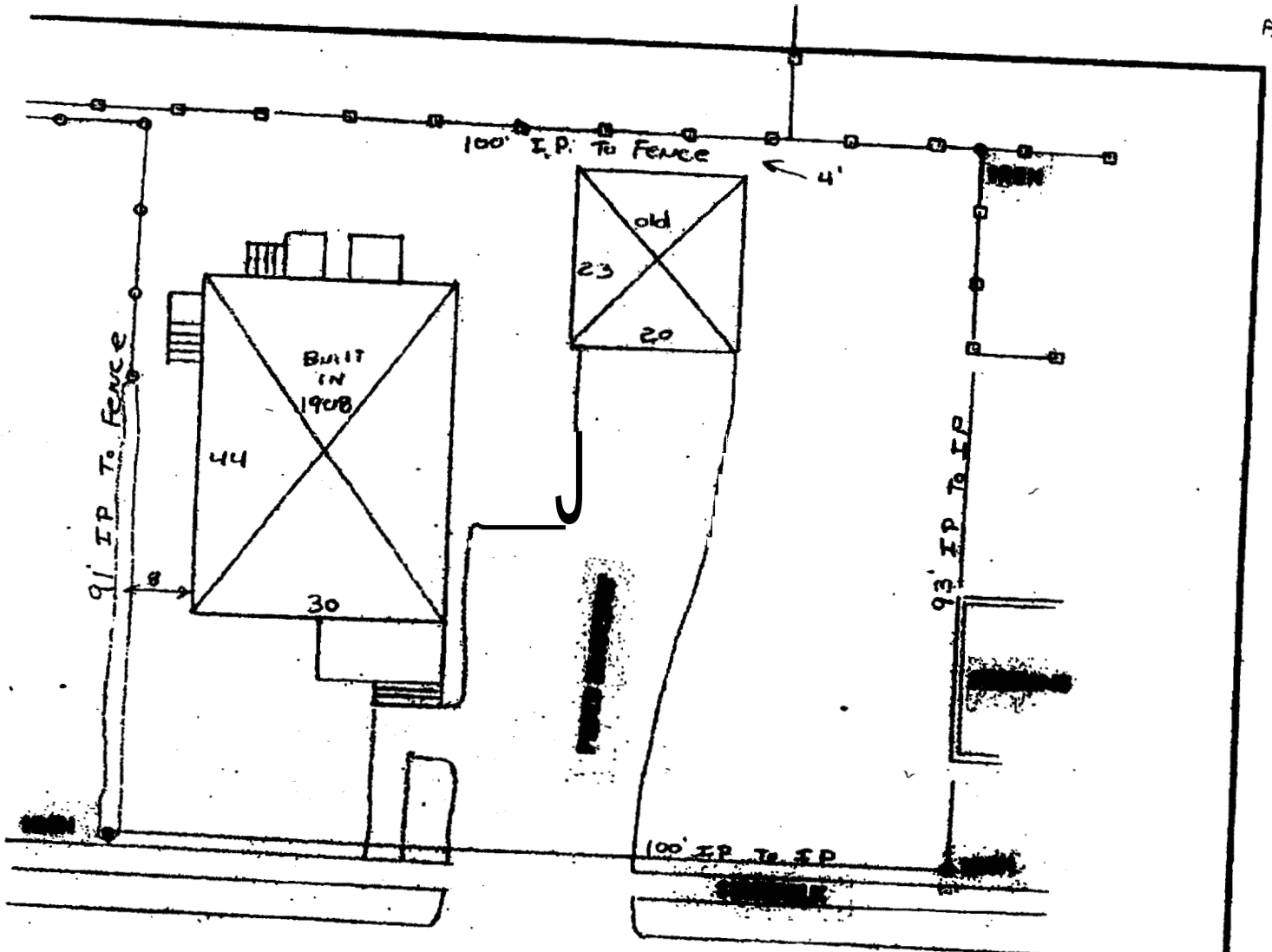
Front 25' Req

55' Shown

Side 8' Req

27'6" Shown





**MORTGAGE CERTIFICATION DRAWING**

PROPERTY OF

ANTHONY E. QUATRANO  
32-34 Edgeworth Ave., Portland

SCALE: 1" = 20'

INSTITUTION

DRAWN BY: P.A.W.

DATE: Sept 28, 1989

FILE NO.: 939

FOR:

James P. & Julie A. McCarron

SURVEYOR Peter A. Webber, R.L.S. 0829  
Scarborough, Maine

DRAWING NUMBER  
19890928A

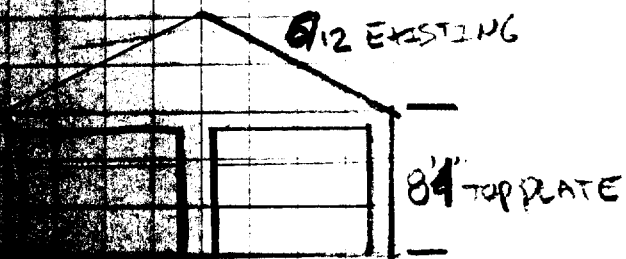
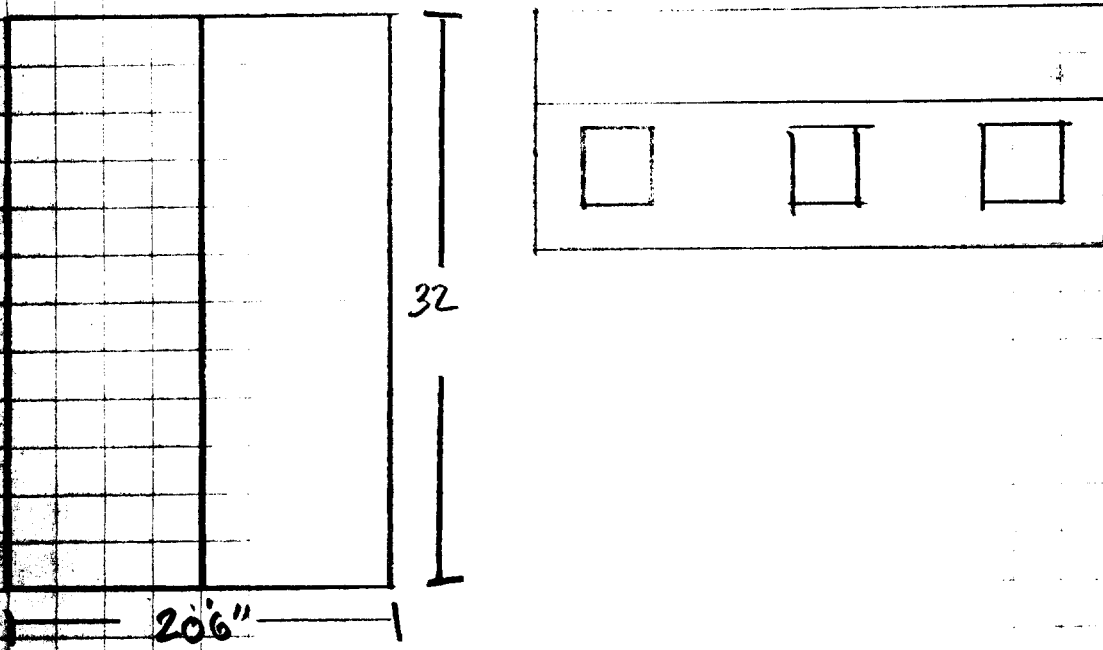


GREGORY + LAURENIA ZOULAMIS  
32-39 EDGEWORTH AVENUE  
LOT # 183-B-9-10

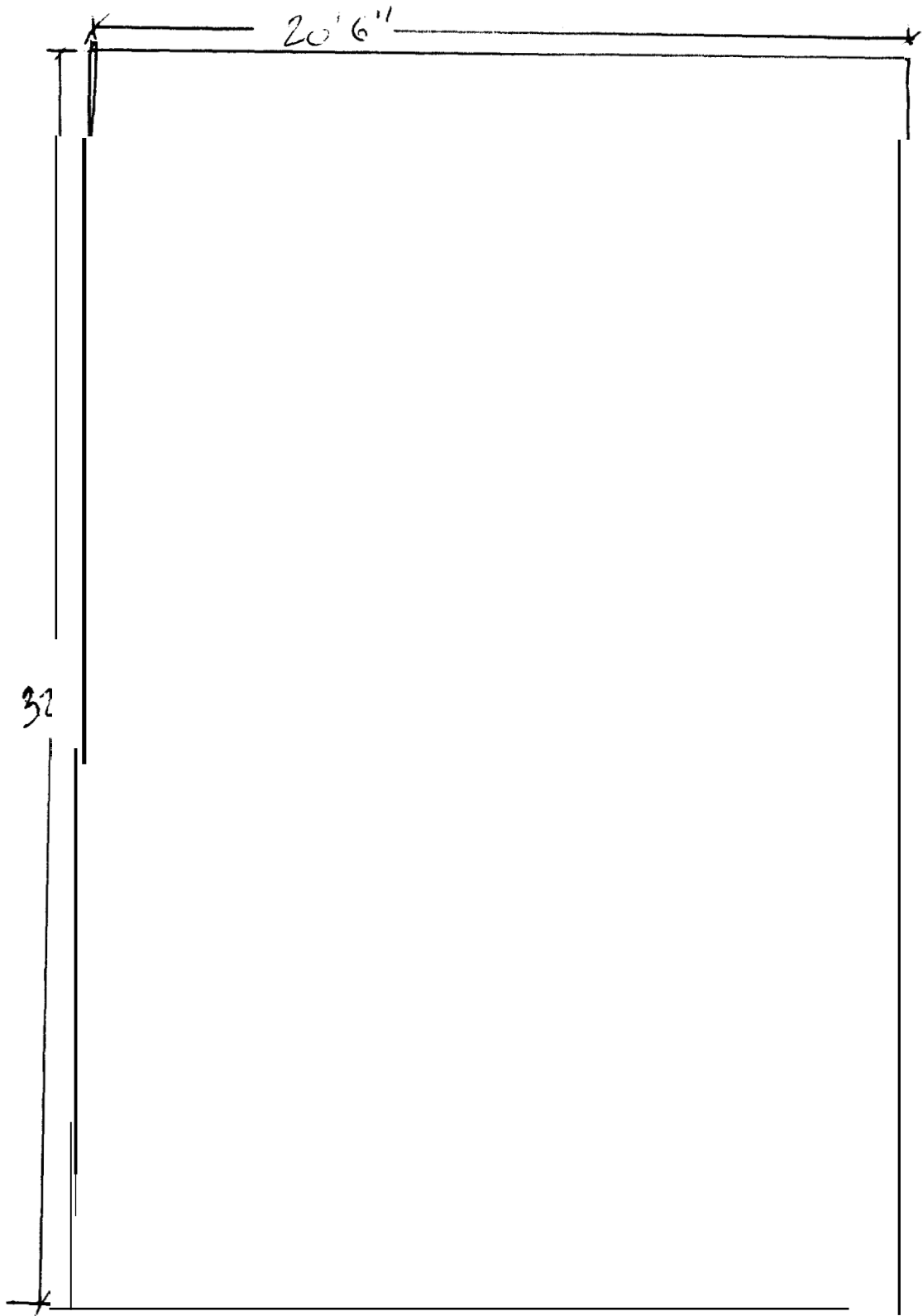
REHAB EXISTING STRUCTURES

- NEW SILLS
- NEW WINDOWS
- NEW VINYL SIDING TO MATCH HOUSE
- NEW ROOF SHINGLES
- NEW GARAGE DOORS
- NEW EXTERIOR LIGHT

ADDITION OF 20'6" + 12'  
NEW SLAB + VUDO PORTION OF DRIVEWAY TO MEET GARAGE



FOUNDATION PLAN



## MATERIAL SCHEDULE

WINDOWS - 5 EA. 30" X 56"

AMERICAN CRAFTSMAN DBL HUNG VINYL SERIES 1000

SIDE DOOR - 1 EA.

STAULEY EXTERIOR 32" X 80"

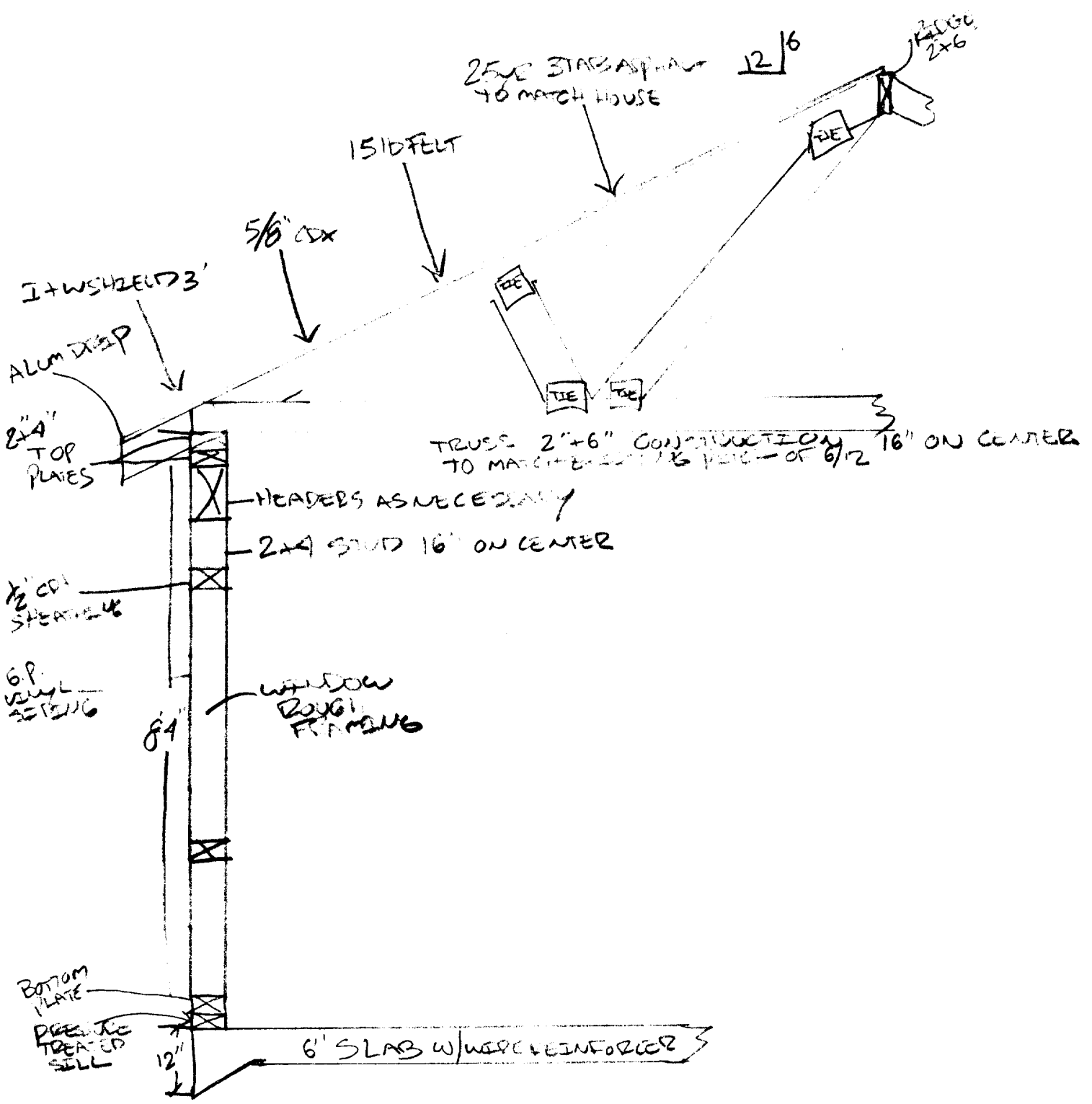
GARAGE DOORS - 2 EA.

CLOPLY INSULATED FIBERGLASS 9' X 7'

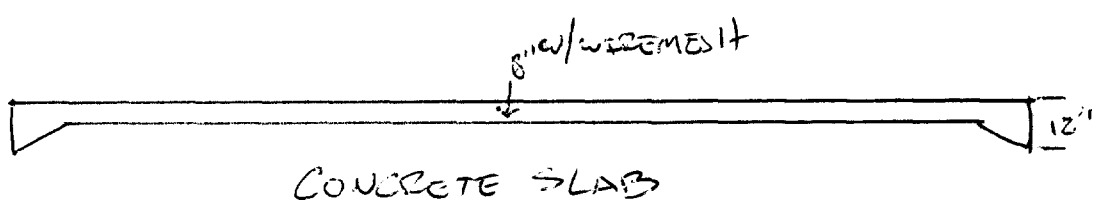
TIMBERLINE 3 TAB ASPHALT SHINGLES  
TO MATCH HOUSE

GEORGIA PACIFIC WHITE VINYL SIDING  
TO MATCH HOUSE

# TYPICAL WALL SECTION - GARAGE

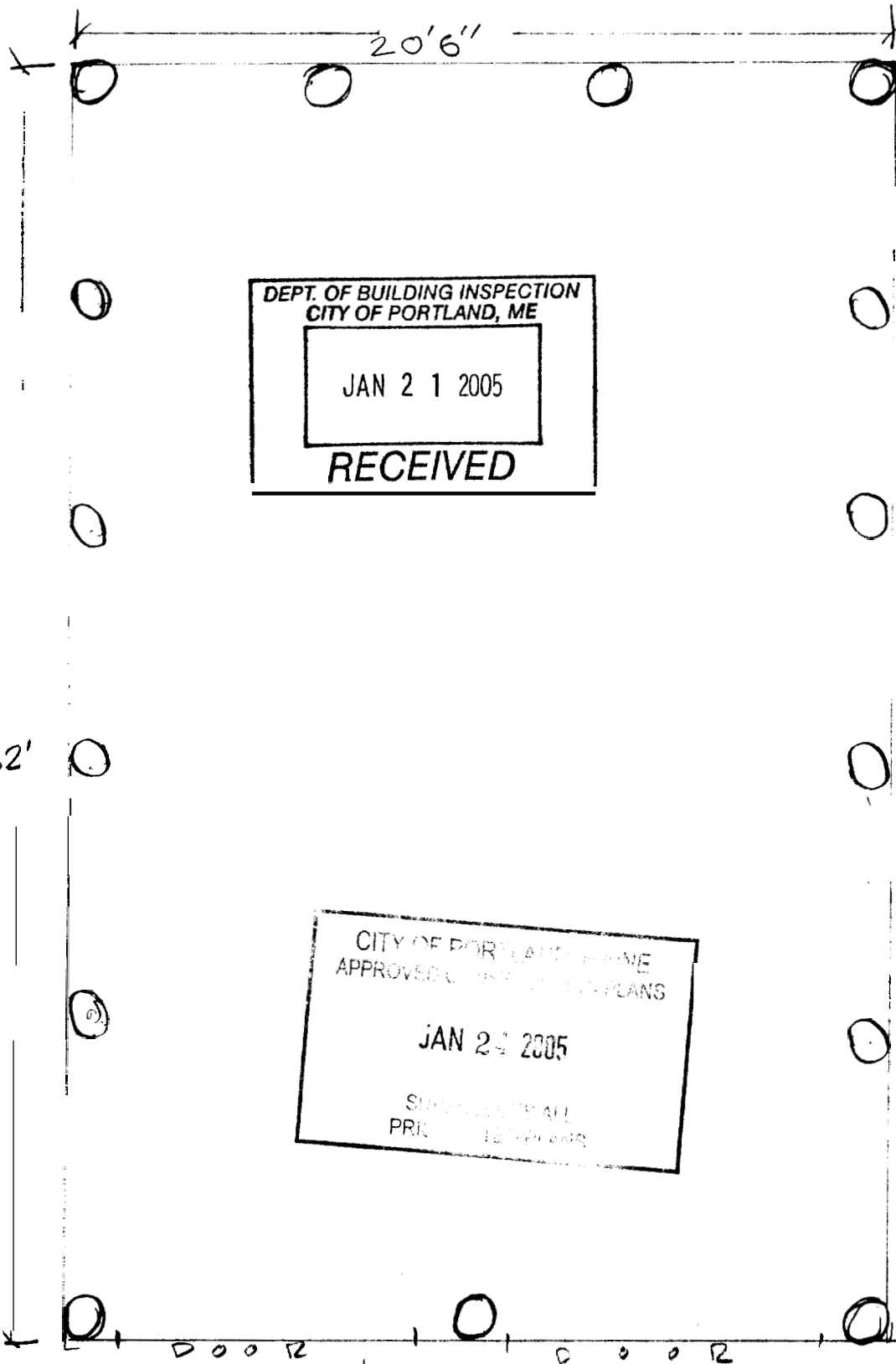


FOUNDATION WALL SECTION - GARAGE



ZOUAMIS 32-34 EDGEWORTH AVENUE

SONAR TUBE LAYOUT 6' ON CENTER



7'5" span allowed bearing

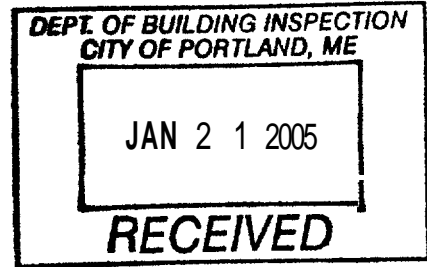
12' span allowed ends

GABLE END

1/4" = 12'

ZOULAMIS 32-34 EDGEWORTH AVENUE

SONAR TUBE CROSS SECTION W/SLAB + MUD SILL



PER Greg Z. 1/24/04  
will change to 6x8  
allows 7'5" span

SEE WALL SECTION FOR FRAMING DETAILS

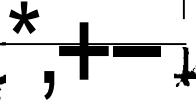
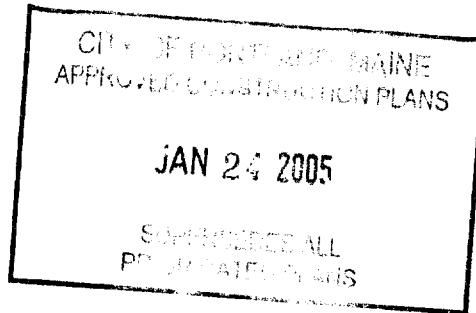
GROUND

6x6 P.T. SILL TIED TO SLAB + SONAR TUBE

4" REINFORCED SLAB TIED TO SONAR TUBES  
W/REBAR

← SONAR TUBE

40'



1" = 12"