

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100748

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that Jackson Allen R & / Winter Green Solariums

has permission to Installing 12' 10" x 15' 8" new sunroom also adding 5' x 6 deck with stairs. JUL - 8 2010

AT 92 Jeanne St CBL 183 A014001

provided that the person or persons, firm or corporation accepting this permit **City of Portland** with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is set-in. 2 HOUSING NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0748	Issue Date:	CBL: 183 A014001
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Location of Construction: 92 Jeanne St	Owner Name: Jackson Allen R &	Owner Address: 92 Jeanne St	Phone:
Business Name:	Contractor Name: Winter Green Solariums	Contractor Address: 536 Riverside Street Portland	Phone 2077973778
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Installing 12' 10" x 15' 8" new sunroom also adding 5' x 6' deck with stairs.	Permit Fee: \$420.00	Cost of Work: \$40,000.00	CEO District: 5
Proposed Project Description: Installing 12' 10" x 15' 8" new sunroom also adding 5' x 6' deck with stairs.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>12-3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied				
		Signature:	Date:	

Permit Taken By: gg	Date Applied For: 06/25/2010	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/cond. has</i> Date: <i>6/29/10 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
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PERMIT ISSUED

JUL - 8 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

June 25 2015

Received from Winkgreen Solariums, Inc

Location of Work 92 Jeanne St.

Cost of Construction \$ 40,000. Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: \$ 420.00

Building (IL) _____ Plumbing (15) _____ Electrical (12) _____ Site Plan (12) _____

Other _____

CEL: 183-A-014

Check #: 11219 Total Collected: \$ 420.00

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: ARH

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0748	Date Applied For: 06/25/2010	CBL: 183 A014001
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Business Name:	Contractor Name: Winter Green Solariums	Contractor Address: 536 Riverside Street Portland	Phone (207) 797-3778
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Installing 12' 10" x 15' 8" new sunroom also adding 5' x 6' deck with stairs.	Proposed Project Description: Installing 12' 10" x 15' 8" new sunroom also adding 5' x 6' deck with stairs.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 06/29/2010
Note:	Ok to Issue: ✓		
<ol style="list-style-type: none"> 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 07/08/2010
Note:	Ok to Issue: ✓		
<ol style="list-style-type: none"> 1) 2 - 2" x 6"-s shall be used for the carrying beam. 2) The maximum rise on the stairs is 7 3/4". The treads must have a 3/4" - 1 1/4" nosing. 3) The guardrail must be 36" high. 4) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 			

PERMIT ISSUED

JUL - 8 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

JUL - 8 2010

City of Portland



General Building Permit Application

10 0748

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>92 JEANNE ST., PORTLAND, ME</u>		
Total Square Footage of Proposed Structure/Area <u>209 sq/ft</u>	Square Footage of Lot <u>9,800</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>183</u> <u>A</u> <u>20</u> <u>14.</u>	Applicant * must be owner, Lessee or Buyer* Name <u>ALLEN JACKSON</u> Address <u>92 JEANNE ST.</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>40,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>SUNROOM 12'10" X 15'8" ; 5' X 6' deck w/ stairs</u>		
Contractor's name: <u>WINZEL GREEN SOLARIUMS</u>		RECEIVED JUN 25 2010 Dept. of Building Inspections City of Portland Maine Telephone: <u>797-3778</u>
Address: <u>536 RIVERSIDE ST.</u>		
City, State & Zip: <u>PORTLAND, ME 04103</u>		
Who should we contact when the permit is ready: <u>DON GREEN</u>		
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Handwritten Signature] Date: 6/25/10

This is not a permit; you may not commence ANY work until the permit is issued

MORTGAGE LOAN INSPECTION PLAN

STATE TO
 MR. GARDNER & HENRY
 BETH AND TICOR
 RANCE COMPANY

BUILDING SETBACKS ARE
 IN ACCORDANCE WITH THE
 ZONING REQUIREMENTS
 IF SETBACKS DO NOT FALL
 WITHIN SPECIAL FLOOD
 ZONE AS DELINEATED BY

AND DOES NOT FALL
 WITHIN SPECIAL FLOOD
 ZONE AS DELINEATED
 ON COMMUNITY/
 230051 0006C

LOCUS ADDRESS

JEANNE STREET
 PORTLAND, MAINE

BUYERS: ALLEN & LYNNE JACKSON

SELLER: GREGORY PIRONE

NORTHEASTERN LA
 SURVEYING
 18 COLLEGE AVENUE
 GORHAM, MAINE 0
 PHONE (207) 839-
 FAX (207) 839-63

JOB NUMBER 201-
 INSPECTION DATE

6-20-07

SCALE: 1" = 30'

R-3 lot size 10,690 sq ft

* front of house faces Wingate Dr.

front 25' - slips lead to carport (permitted 1970) (24)

rear 25' - 25'5" side (24)

side - 8' min - 9'4" side (24)

lot coverage 35% = 3741.5 sq ft

house - 1758

carport 576

slip 201.5 (12.83 x 15.17)

30

11.54

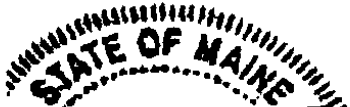
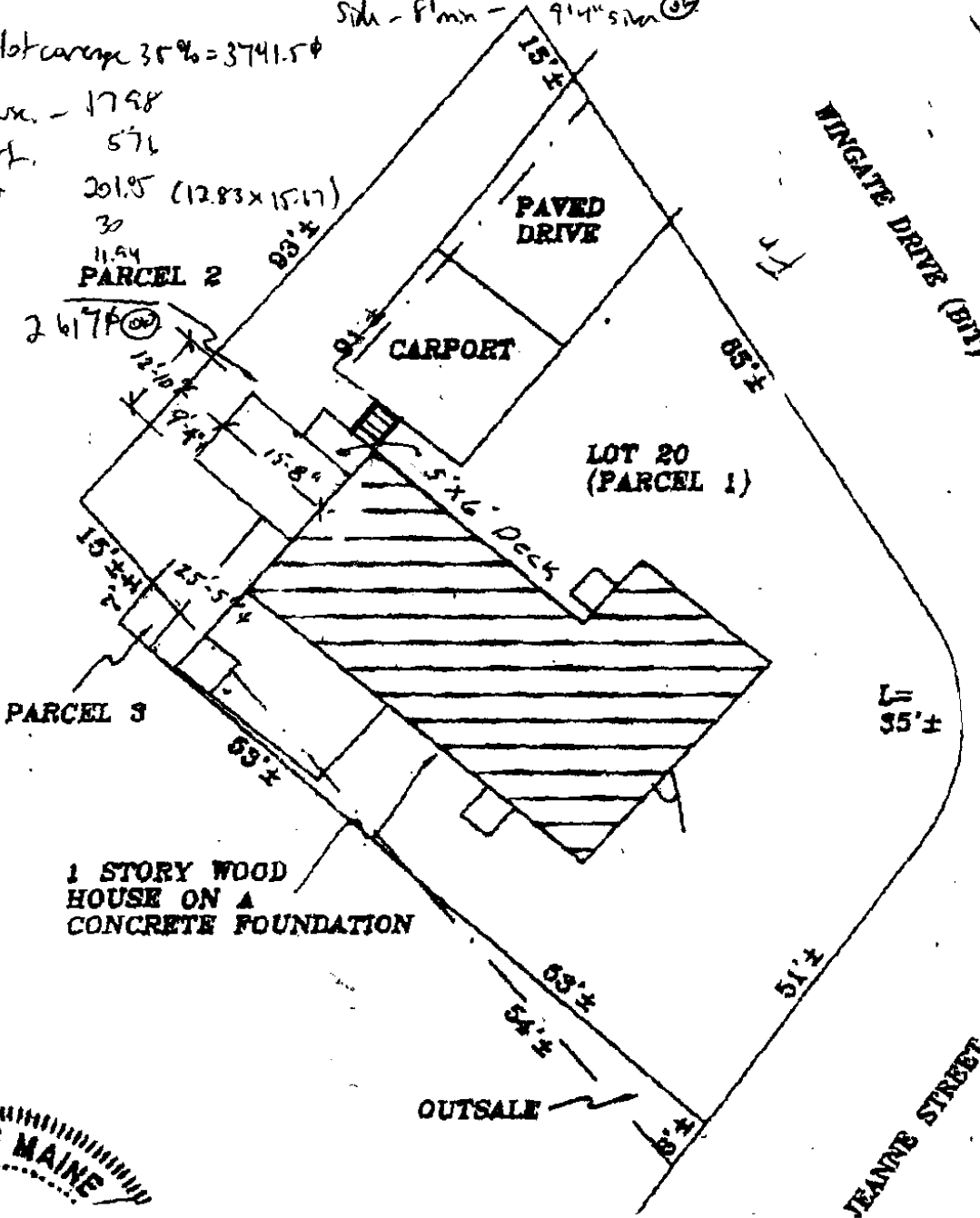
PARCEL 2

slip 40' x 45'

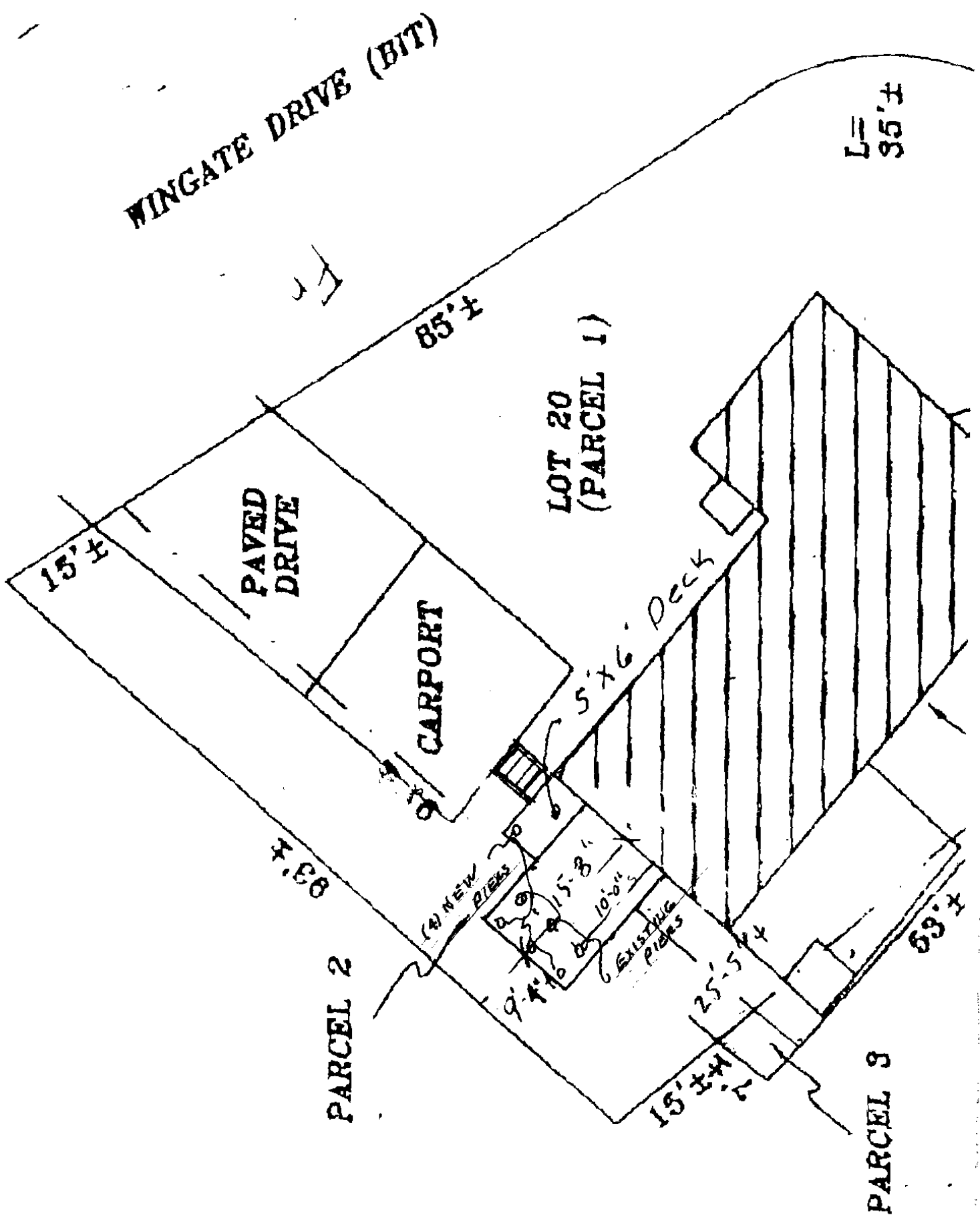
slip 40' x 45'

slip 40' x 45'

2 617 sq ft (24)



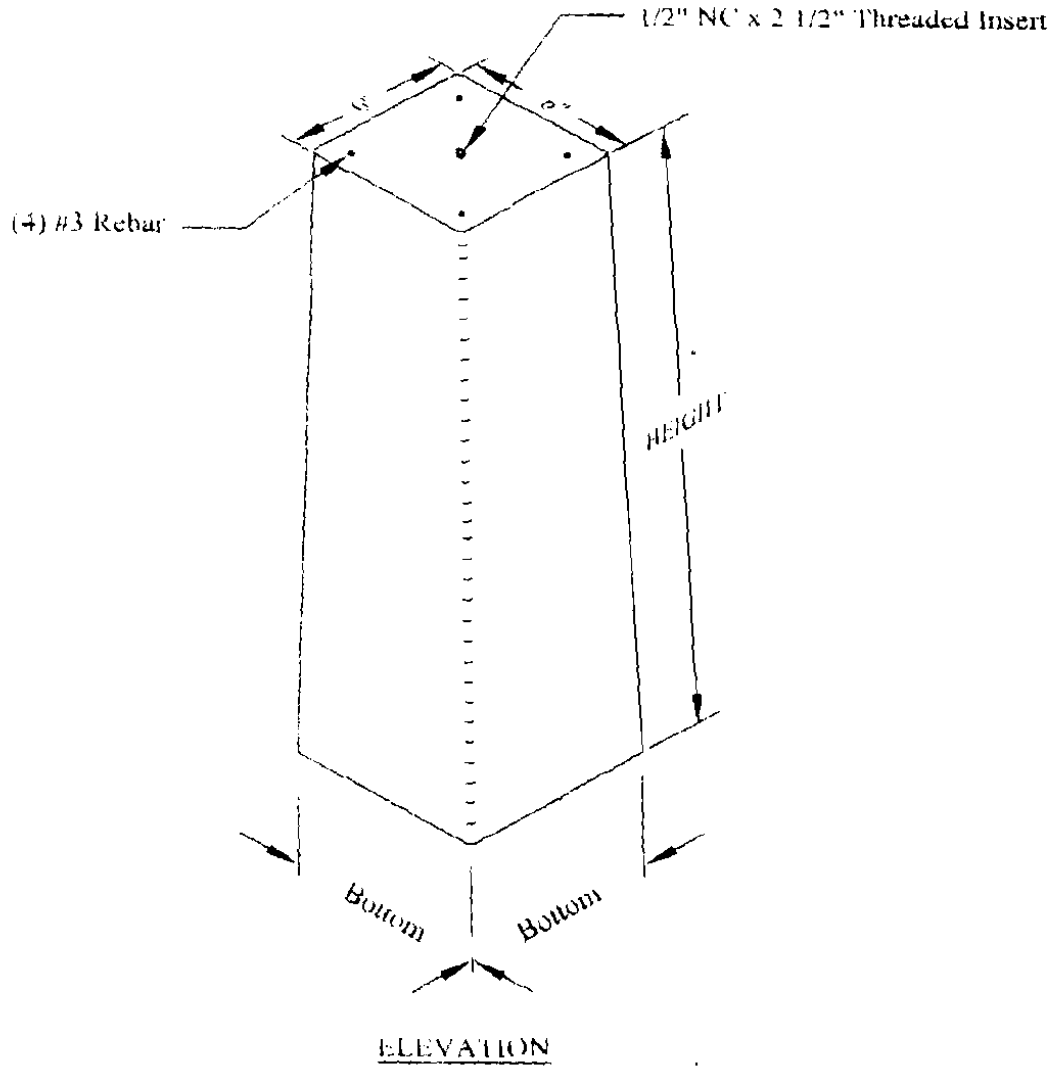
EA AS DELINATED
ON COMMUNITY/
230051 0006C





Gagne Precast
CONCRETE PRODUCTS

PRECAST CONCRETE PIERS



Height (Feet)	Bottom (Inches)	Item #	Weight
4'-0"	9"	21740	230 lbs
5'-0"	10"	21750	340 lbs
6'-0"	11"	21760	450 lbs

DESIGN NOTES:

- 1) Concrete Mix Design is 4,000 PSI standard at 28 days, Type 3 Cement.
- 2) Reinforcing Steel ASTM A 615, Grade 60
- 2) Smooth Finish on all exposed surfaces.

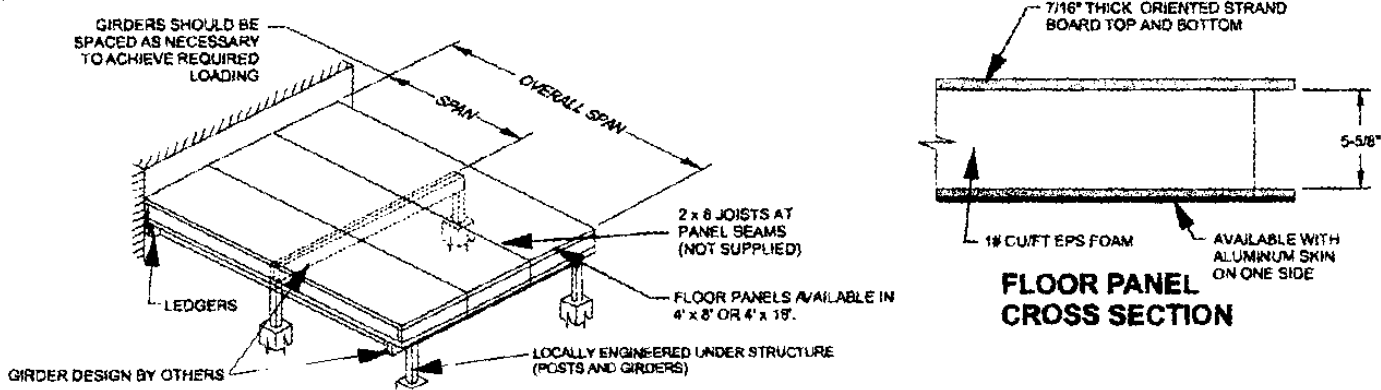


Four Seasons Solar Products LLC

CONSERVADECK™ INSULATED FLOORING SYSTEM ALLOWABLE LIVE LOADS

EFFECTIVE DATE 02-06 SL
REVISION: C

PANEL TYPE	SPAN	RECOMMENDED ALLOWABLE LIVE LOAD		MAXIMUM ALLOWABLE LIVE LOAD	
		DEFLECTION = L/600		DEFLECTION = L/360	
		PSF	KG/M ²	PSF	KG/M ²
7/16" OSB 5 5/8" EPS (1LB PER CU/FT) 7/16" OSB NOTE: FOR HARD SURFACE FLOORING WE RECOMMEND PLYWOOD, OR WONDERBOARD, BE STAGGERED ON TOP OF OSB SURFACE USING GLUE AND SCREWS USE L/600 DEFLECTION LOAD VALUES	7 FT [2.13 M]	159	776	174	849
	9 FT [2.74 M]	76	371	130	635
	11 FT [3.35 M]	41	200	71	347
	13 FT [3.96 M]	24	117	42	205
	15 FT [4.57 M]	14	68	27	132

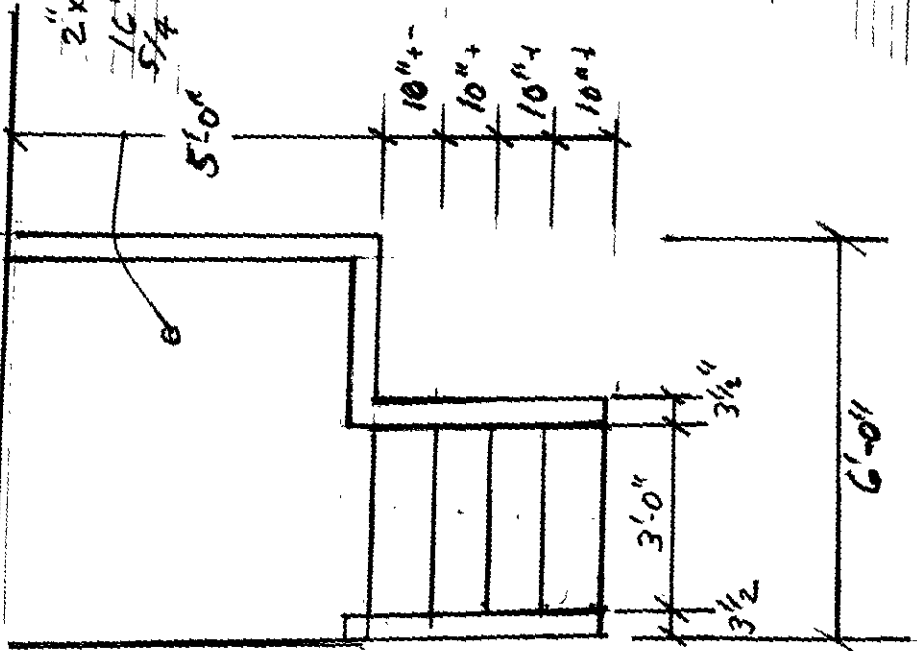


ALABAMA ARIZONA ARKANSAS CALIFORNIA COLORADO CONNECTICUT DELAWARE FLORIDA GEORGIA IDAHO ILLINOIS INDIANA IOWA KANSAS KENTUCKY LOUISIANA MAINE MARYLAND MASSACHUSETTS MICHIGAN MINNESOTA MISSISSIPPI MISSOURI MONTANA NEBRASKA NEVADA NEW HAMPSHIRE NEW JERSEY NEW MEXICO NEW YORK NORTH CAROLINA NORTH DAKOTA OHIO OKLAHOMA OREGON PENNSYLVANIA PUERTO RICO RHODE ISLAND SOUTH CAROLINA SOUTH DAKOTA TENNESSEE TEXAS UTAH VERMONT VIRGINIA WASHINGTON WEST VIRGINIA WISCONSIN WYOMING D.C.

MATERIALS:
POLYSTYRENE CORE:
 - TENSILE STRENGTH = 18 - 20 psi.
 - SHEAR = 18 - 22 psi.
 - SHEAR MODULUS (G₀) = 280 - 320 psi.
 - MODULUS OF ELASTICITY = 180 - 220 psi.
ORIENTED STRAND BOARD (OSB):
 - MODULUS OF RUPTURE = 644 psi.
 - MODULUS OF ELASTICITY = 723810 psi.
MOR-AD M-600 SERIES ADHESIVE:
 - TENSILE SHEAR BOND = 30 psi.

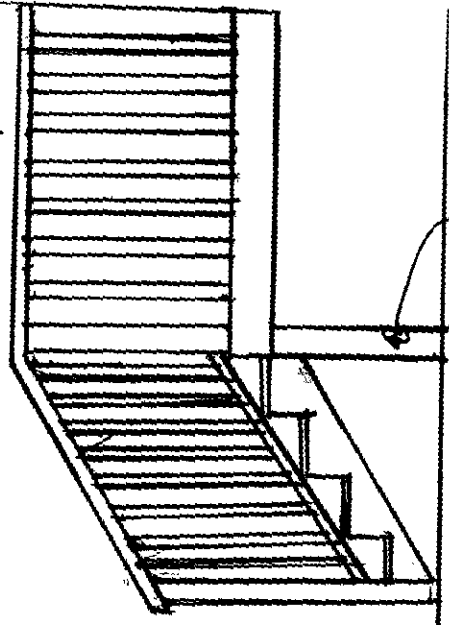
- NOTES:**
- ADDITIONAL LOADS APPLIED TO BEAM FROM WIND FORCES MUST BE EVALUATED SEPARATELY FOR EACH JOB.
 - ALUMINUM ALLOY FOR GLAZING BARS IS 6063-T6.
 - DEAD LOAD OF FLOOR SYSTEM IS 13.5 PSF PANEL CONSTRUCTION.
 - ALL UNITS SHOWN ON THIS PAGE ARE ACCEPTABLE FOR CONSTRUCTION IN SEISMIC DESIGN CATEGORY D-1 FOR ROOF LOAD LESS THAN OR EQUAL TO 30 PSF. FOR HIGHER ROOF LOADS, THE ROOM HAS TO BE EVALUATED FOR SEISMIC.
 - DEAD LOAD OF FLOORING MATERIALS MUST BE SUBTRACTED FROM LOADS SHOWN IN CHART ABOVE.
 - LOADS ARE BASED ON 2003 INTERNATIONAL BUILDING CODE.
 - THIS SUMMARY PERTAINS TO THE STRUCTURAL INTEGRITY OF OUR UNIT UP TO, BUT NOT INCLUDING THE CONNECTIONS TO THE EXISTING STRUCTURE AND/OR ANY NEW CONSTRUCTION. ALL SUBSTRUCTURE DESIGN REQUIREMENTS AND CONNECTIONS TO THE EXISTING STRUCTURE ARE NOT INCLUDED IN THE SCOPE OF WORK FOR THE FOUR SEASONS PRODUCT AND MUST BE DESIGNED BY OTHERS.
 - THE ENGINEERING DESIGN SCOPE FOR THE FOUR SEASONS PRODUCT DOES NOT ACCOUNT OR INCLUDE SPECIAL LOAD CONDITIONS CREATED BY ATTACHMENT TO THE EXISTING STRUCTURE. THESE MAY INCLUDE SNOW DRIFTING OR UNBALANCE SNOW LOADING. ANY SPECIAL LOADING CONDITIONS MUST BE EVALUATED BY OTHERS.
 - ENGINEER'S CERTIFICATION: I CERTIFY THAT THESE ENGINEERING SPECIFICATIONS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATES SHOWN.

UNROOM



2"x6" P.T. DECK FRAME
 16" ON CENTERS
 5/4"x6" DECK BOARDS

4"x4" P.T. POST
 2"x4" P.T. RAIL
 1"x1" BRACKET



7'-3"

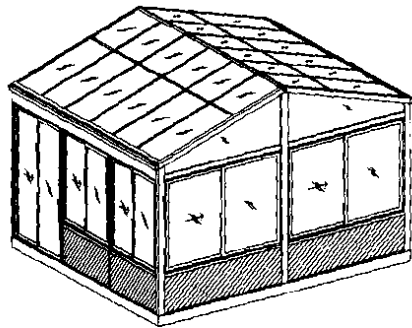
4"x4" POST SET ON
 PRECAST PIER 4' INGROUND

DECK FOR SUNROOM ENTRANCE

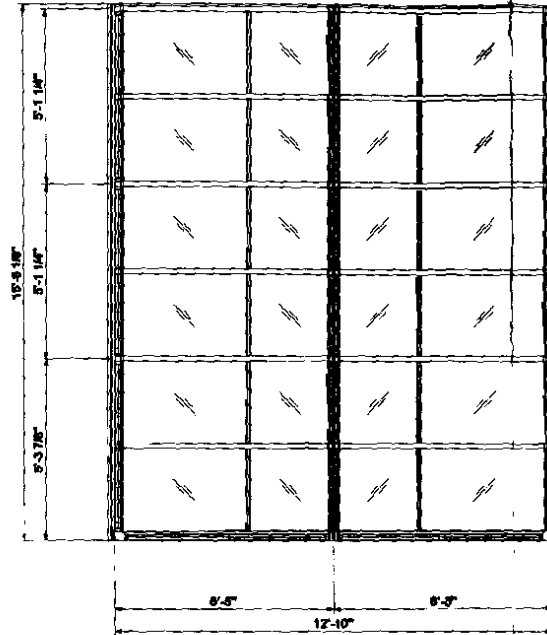
HOUSE

ENGINEERING NOTE

Four Seasons Solar Products LLC, is not responsible for the design of the connections of the room to the structure, or any associated foundations, which shall be designed by a Design Professional. The Design Professional is also required to take into account any additional design provisions required to satisfy snow drifting and wind loads or site specific structural concerns.



Axonometry



Plan

MODEL : 230 Sun & Stars 13 ft F.W. 16 ft PRO.

Frame color FS_White
 V.Glass code Code 7E ConservaGlass
 R.Glass code Code 78 MC16/Argon/Clear
 Live load 40

Account #: , PO #:

This is a Custom unit and deviates from standard designs, engineering and/or product. This may result in higher costs, additional engineering and longer lead times. Consult with Product Manager or Custom Department for price quote and delivery information.