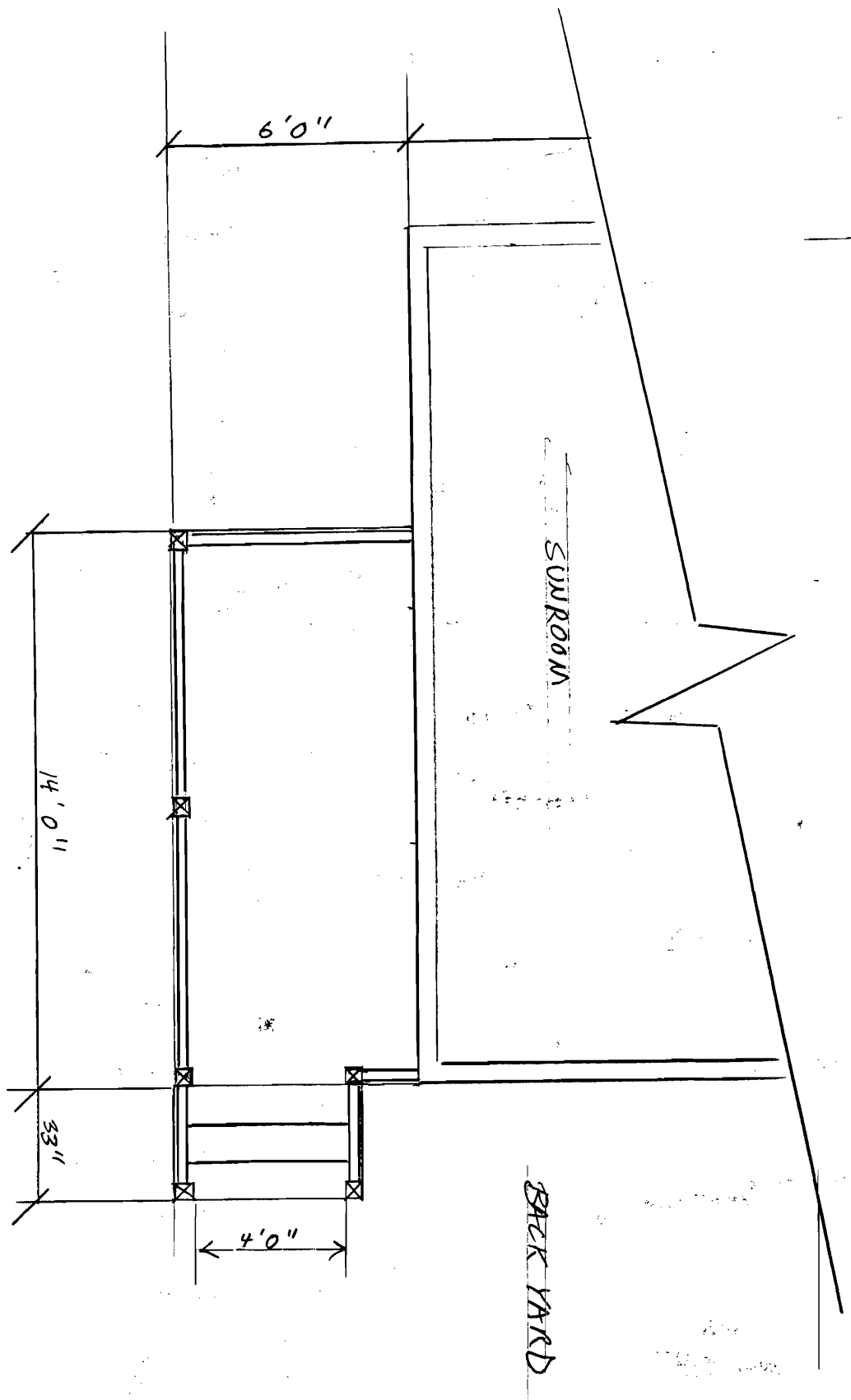
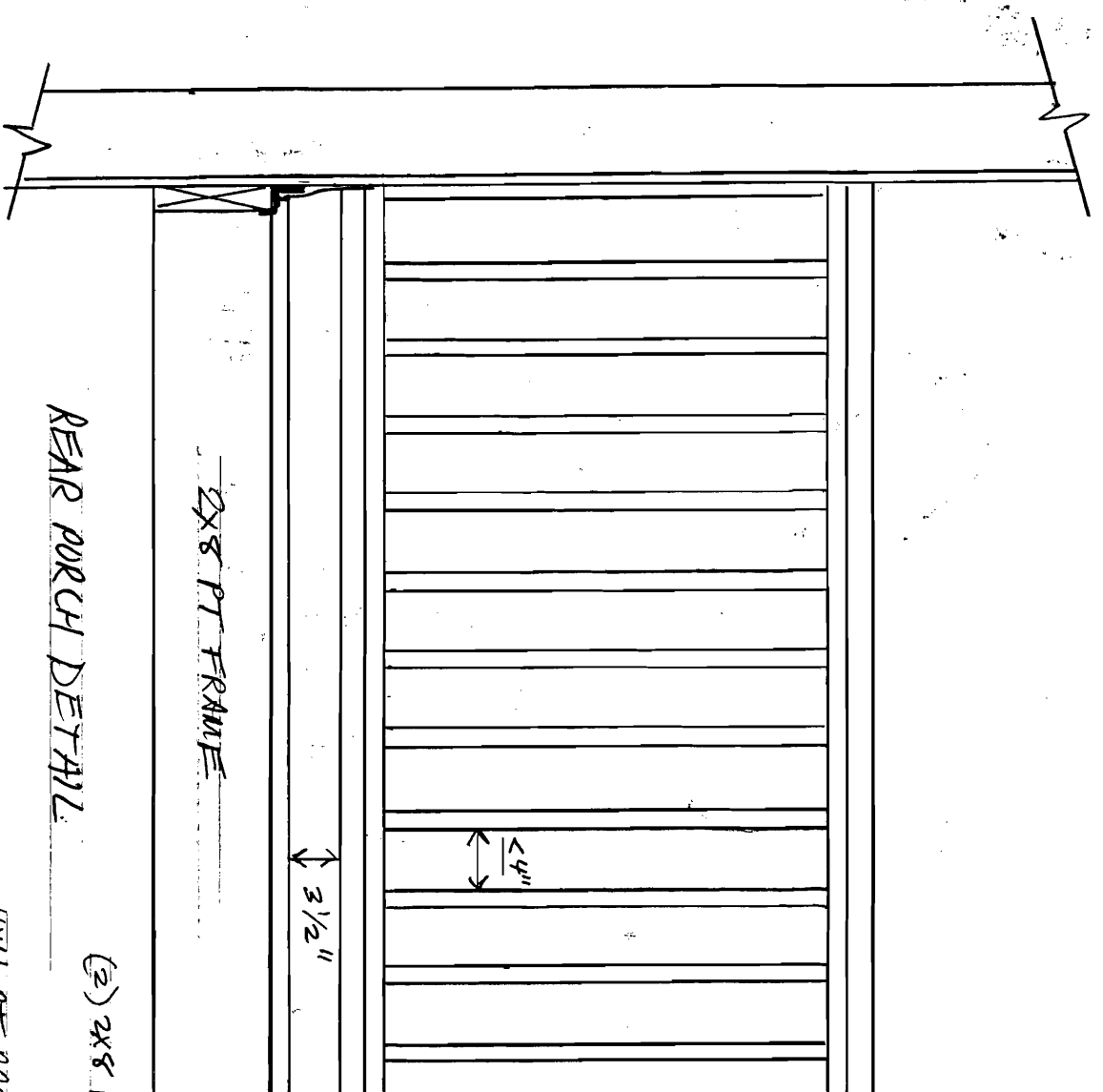
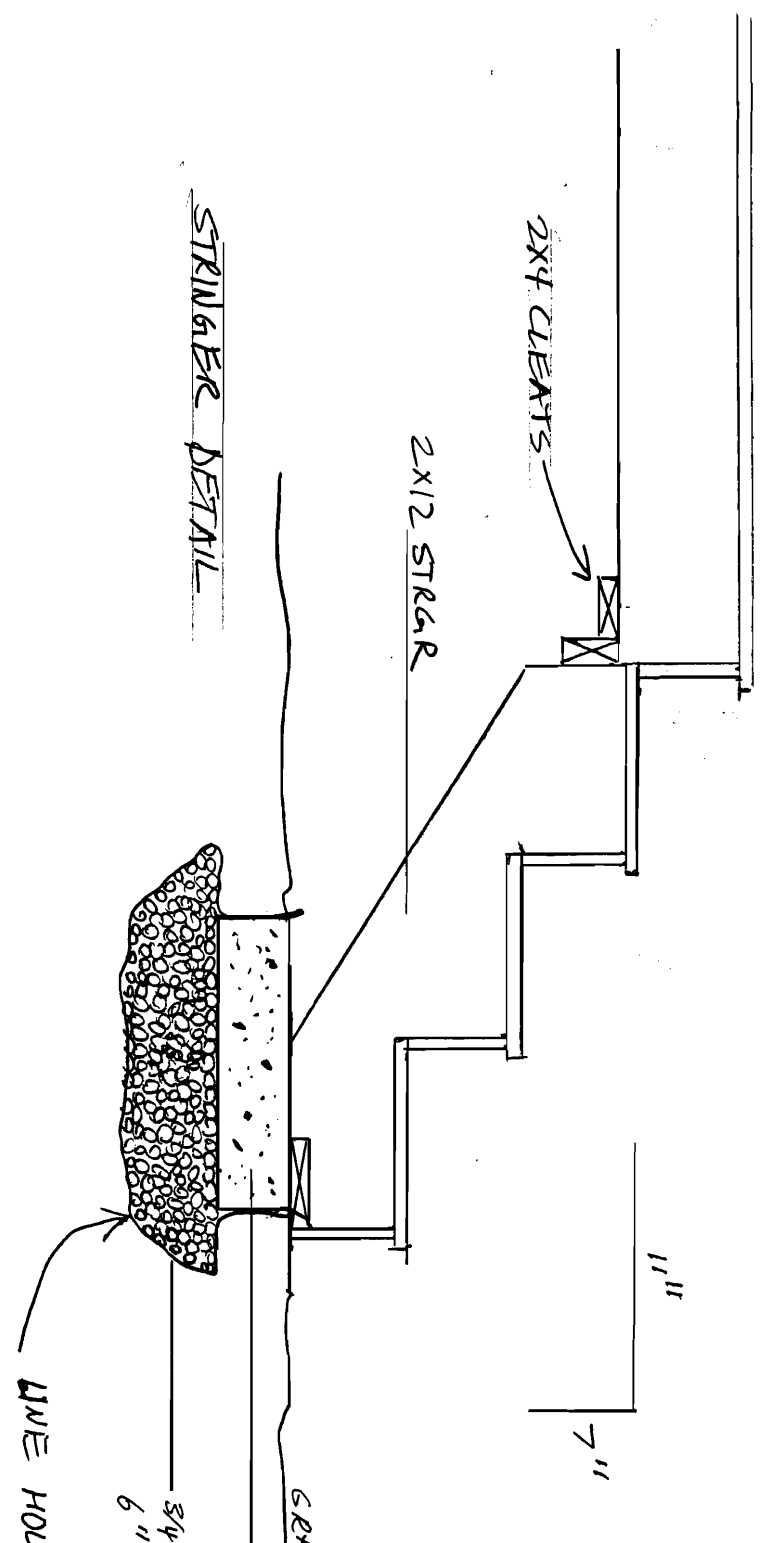


VARNNEY ADDITION: REAR PORCH
 6/6/09 EMPIRE BUILDERS
 DRAWN BY JMY TACHIBANA



REAR PORCH

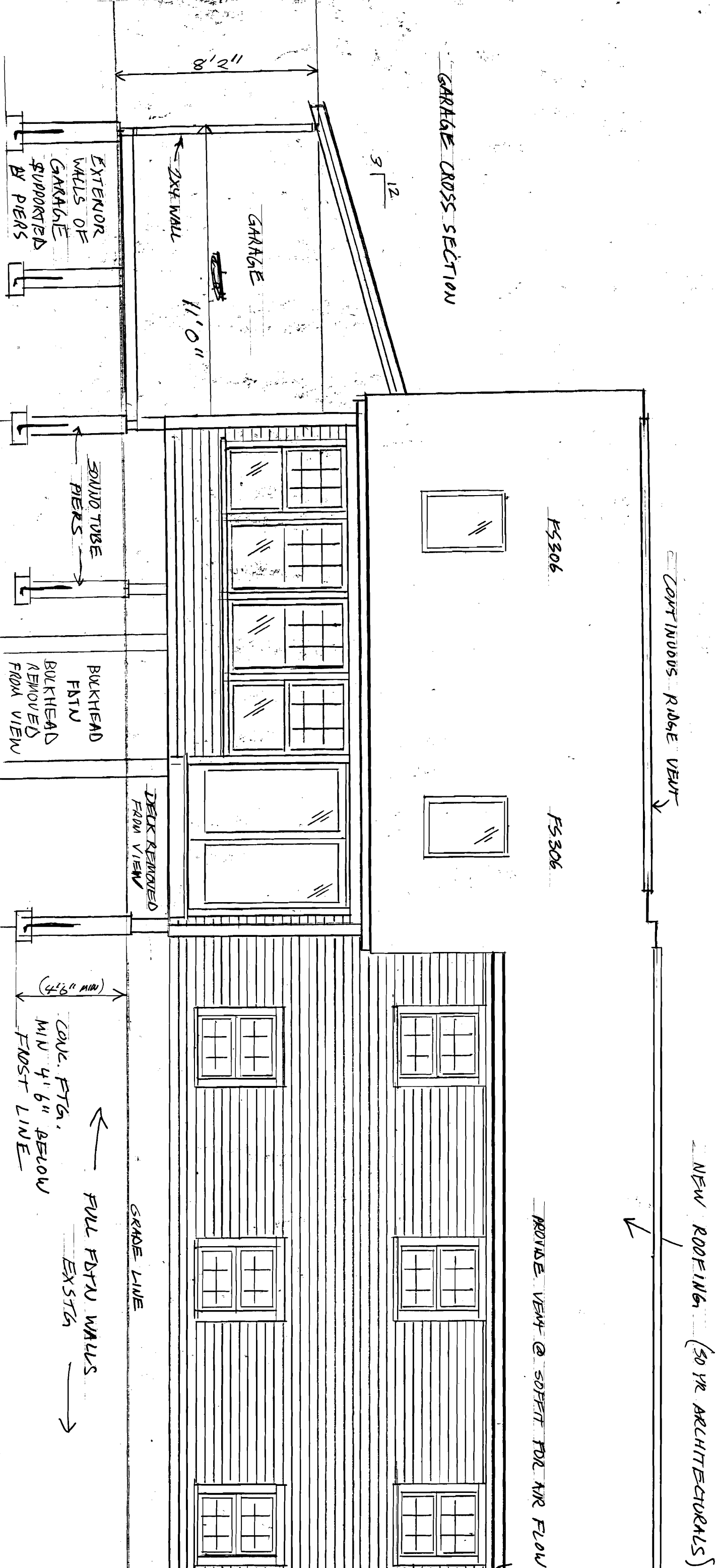


REAR PORCH DETAIL

(2) 2X8
 4X4 PT PDS

VARNNEY ADDITION: ELEVATION
 6/1/89 EMPIRE BUILDERS
 DRAWN BY JAY TACHIBANA

REAR ELEVATION



GARAGE CROSS SECTION

8'2"

3'12"

GARAGE

2X4 WALL

11'0"

EXTERIOR WALLS OF GARAGE SUPPORTED BY PIERS

SOUND TUBE PIERS

BUCKHEAD FASTN REMOVED FROM VIEW

DECK REMOVED FROM VIEW

FS306

FS306

CONTINUOUS RIDGE VENT

NEW ROOFING (50 YR ARCHITECTURALS)

PROVIDE VENT @ SOFFIT FOR AIR FLOW

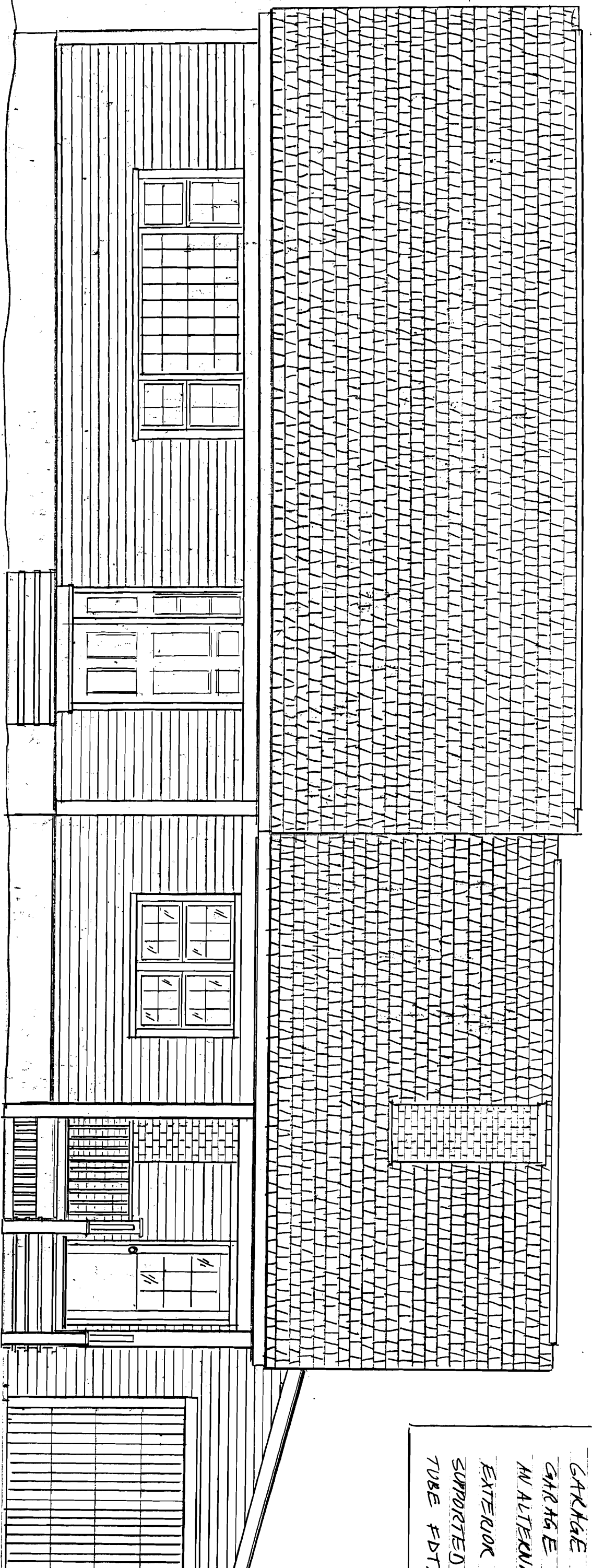
GRADE LINE

FULL FSTN WALLS EXSTG

CONC. FTG. MIN 4'6" BELOW FIRST LINE

VARNER ADDITION: ELEVATION
 6/4/09 EMPIRE BUILDERS
 DRAWN BY JAY TACHIBANA

- SIDING & TRIM SHOWS:
- 1) RED CEDAR, CVG 1/2"X6" HORIZONTAL-BEVELED
 - 2) 1X8 FASCIA & RAKE TRIM: CVG RED CEDAR
 - 3) 1X6 CORNER BOARDS CVG RED CEDAR
 - 4) 1X6 FRIEZE BOARD CVG RED CEDAR



FRONT ELEVATION

GARAGE
 GARAGE
 AN ALTERNATE
 EXTERIOR
 SUPPORTED
 TUBE FEET

OVERHEAD DOOR
 CONTINUE PAH
 INTO GARAGE

WARNER ADDITION

PLOT PLAN

70 JEANNE ST
PORTLAND, MAINE

SEE

CHANGES TO
RIGHT SIDE
SET BACK &
STRUCTURE/BUILDING
WIDTHS THROUGHOUT.

for R-2
6/22/09

R23

lot size 10,041
front 25' min - 34' sidewalk
rear 25' min - 46' min (8'4")
side - 10 1/2' min need 12 on right
- 2 story - 14' min on left ok
need 14' on rear
lot coverage 31% = 3514.35 sq ft
1923 existing footprint

45
5x4 = 18 sq ft

steps are left
project 4'

N46°07'E

PROPERTY LINE

84.06'

46' to rear porch
52' TO ADDITION

ENL PROPERTY

ADDITION ON 6/22/09

see drawn-in changes

PLOT PLAN

not permitted

123'

N42°35'W

MOVE GARAGE 2 additional
feet away from property line
(shrink garage width to 11' &
shrink mudroom addition width
to 8')

DECK

EXISTG
FT PRT

EXISTING
FOOTPRINT

STEP

DRIVEWAY
(PAVED)

MUDROOM
WIDTH CHANGED TO
8'0" FROM 9'0"

for R-2: 6/22/09



= NEW STRUC

PROPERTY LINE

144.921

N43°43'W

10'0"

34' TO SIDEWALK

60.21'

21.79'
N25°04'E

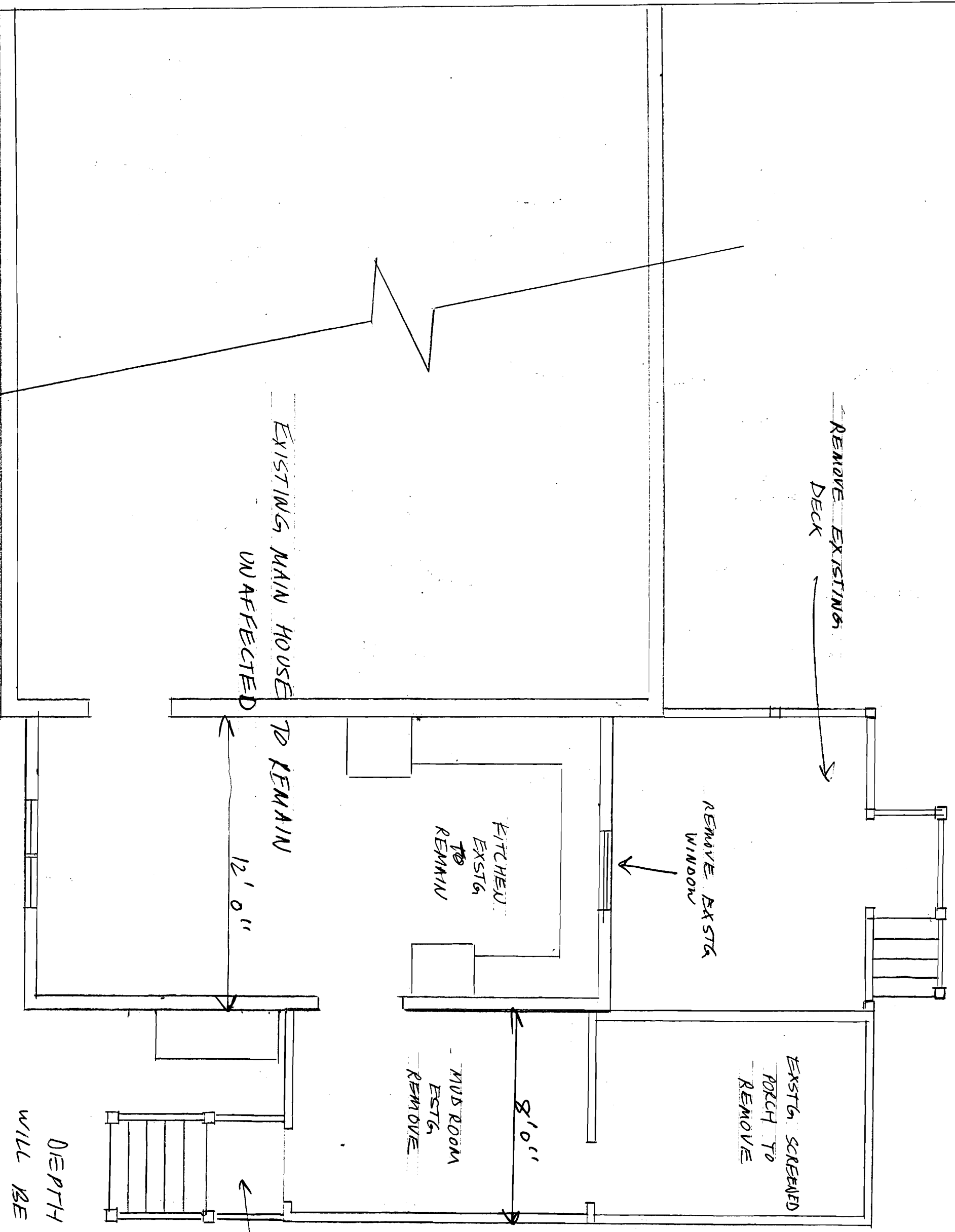
14" = 1'

VARNER ADDITION
EXISTING COND,
&
DEMOLITION PL
6/10/09 EMPIRE B

LEAVE EXISTING PIER
FOUNDATION INTACT
FIELD VERIFY SPUR AB
AS FROST PROTECTED F
PROVIDE MINIMUM 4" G
BELOW GRADE,

REMOVE EXISTING STEPS
GENERAL NOT
EXISTING CONC. PIER
TO REMAIN INTACT.
TEST TO DETERMINE

DEPTH BELOW GRADE TO TH
WILL BE PERFORMED BEFORE
NEW STRUCTURES ON PIERS, I
IS LESS THAN 4'0" BELOW GRAD
FILL & CORN AS NECESSARY - TRAMP
6"



REMOVE EXISTING DECK

REMOVE EXISTG WINDOW

EXISTG SCREENED PORCH TO REMOVE

MUD ROOM EXISTG REMOVE

FITCHED EXISTG TO REMAIN

EXISTING MAIN HOUSE UNAFFECTED

TO REMAIN

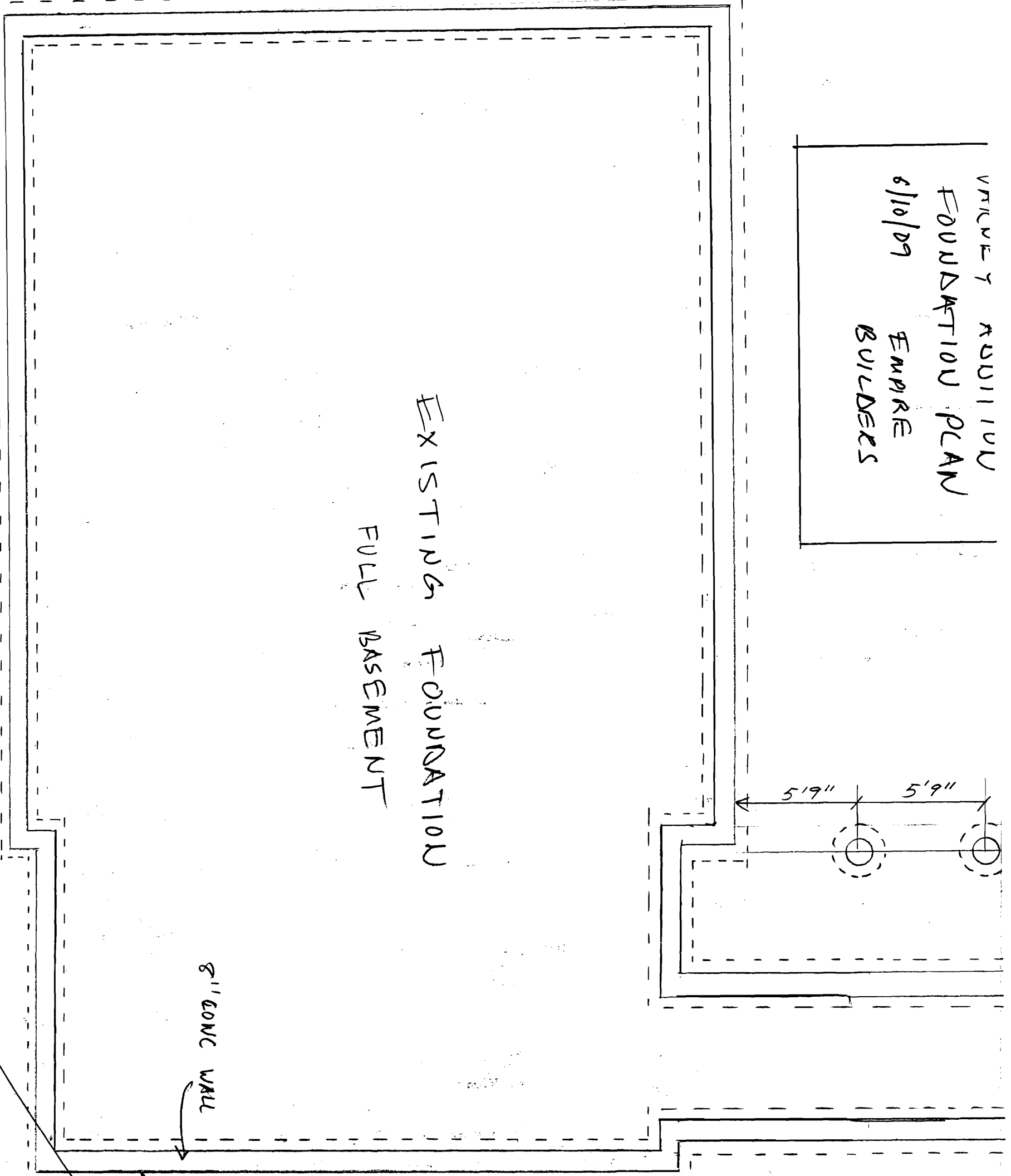
12'0"

8'0"

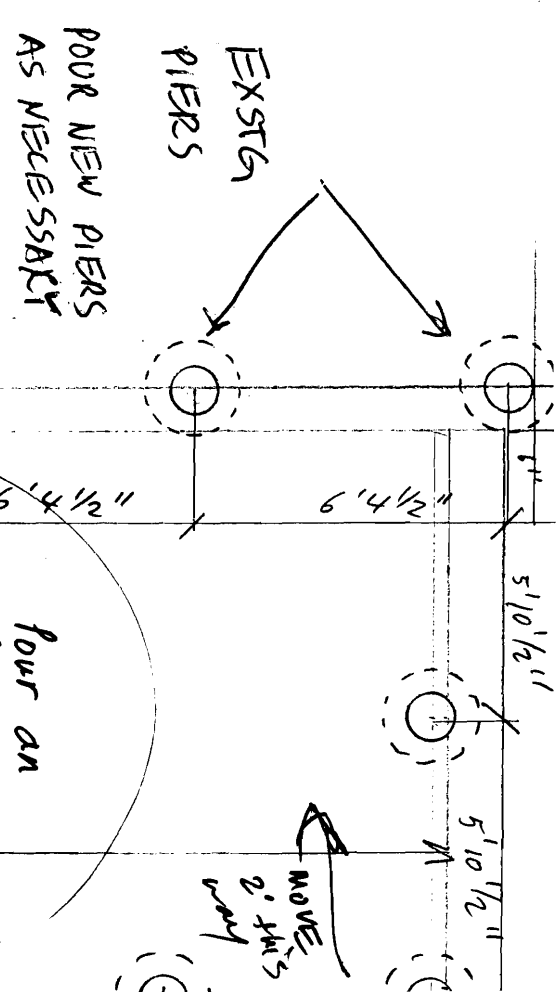
REMOVE EXISTING STEPS

VICTORY BUILDING
 FOUNDATION PLAN
 6/10/09
 EMPIRE
 BUILDERS

EXISTING FOUNDATION
 FULL BASEMENT



CHANGE LOCATION
 OF PIERS TO ACCOMMODATE
 NEW CHANGES AS NOTED HEREIN



SEE
 ADDITIONAL
 EDITD NOTES
 ON DEMOLITION
 PLAN.

Pour an
independent
 conc slab
 4" thick
 pitched 2" toward
 OH. Doors. (do not connect w/ frost protected piers or ftgs.)

FOUNDATION PLAN

w/ CHAN

12" SQ
 EDTN -
 FROST

VARNER ADDITION: FLOOR PLAN
5/31/09 EMPIRE BUILDERS
DRAWN BY JAY TACHIBANA

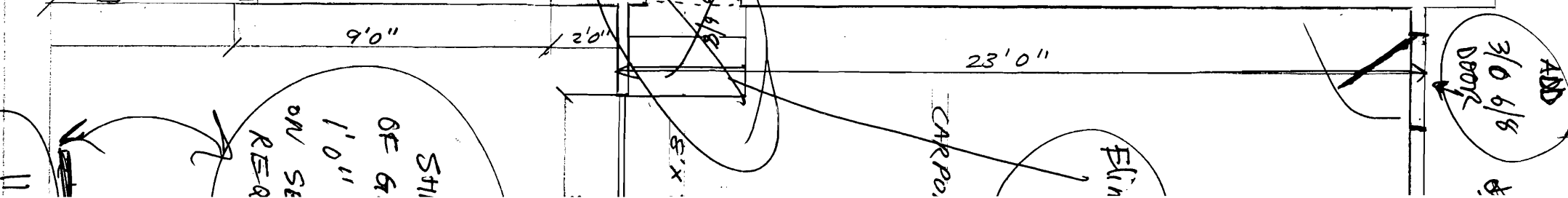
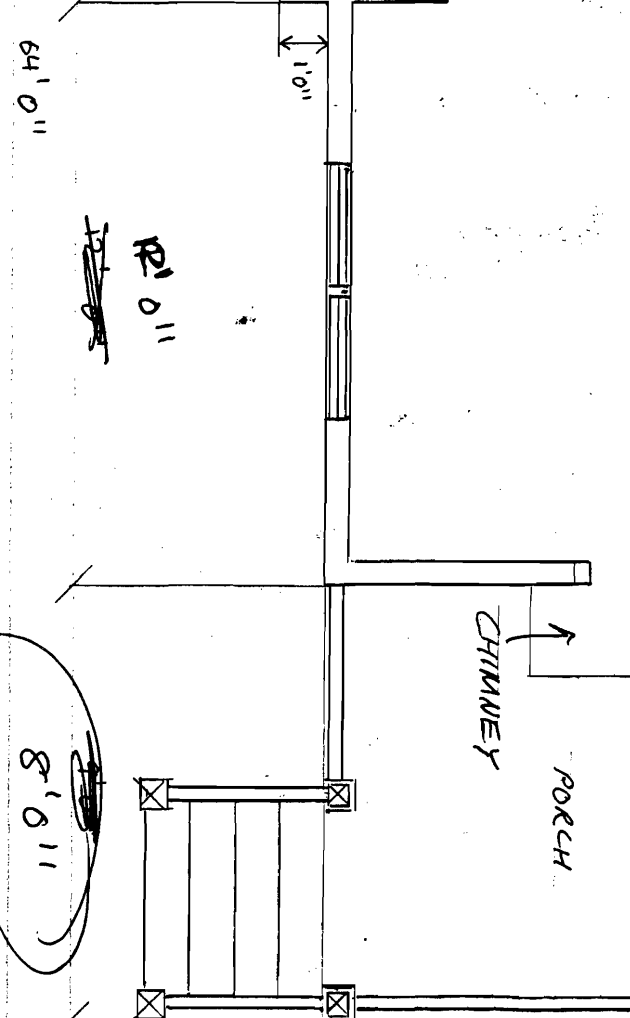
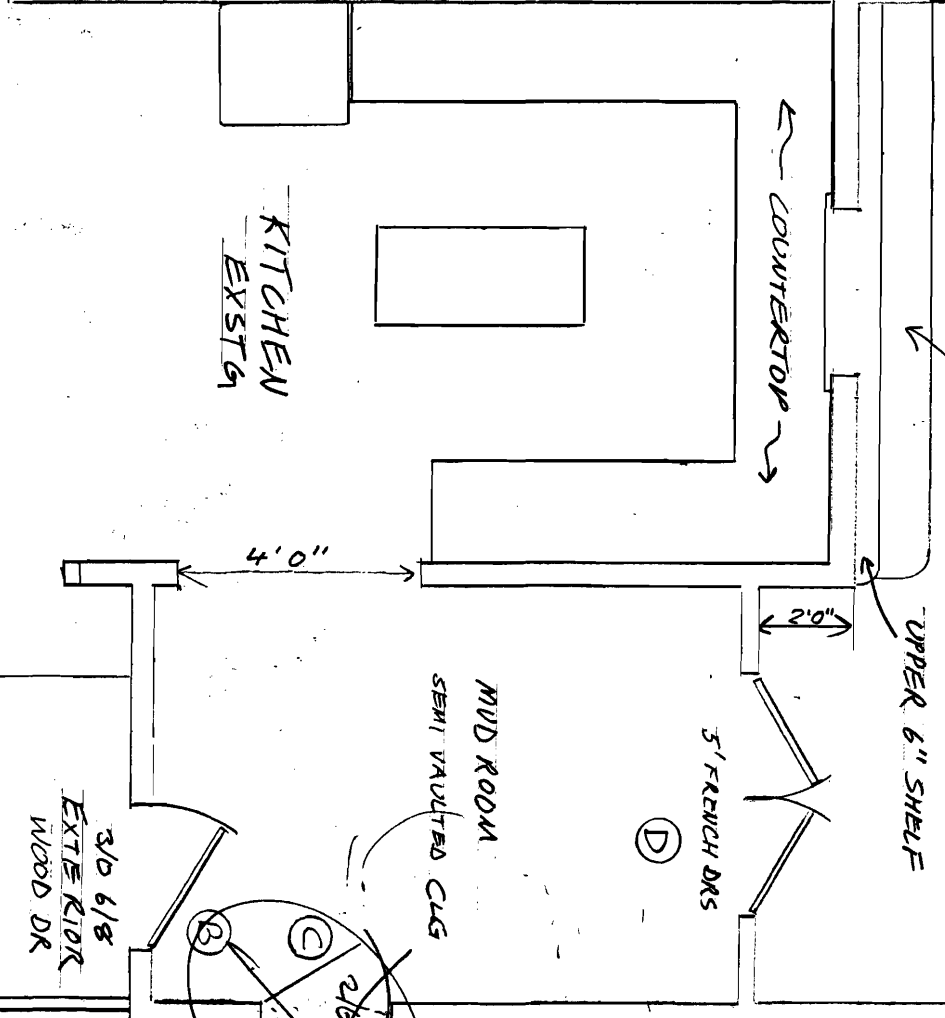
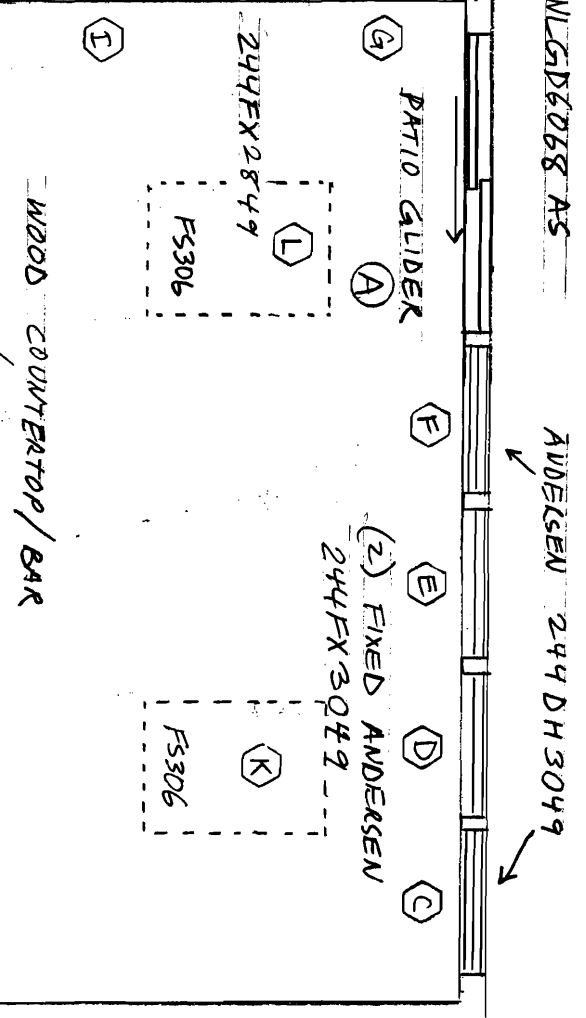
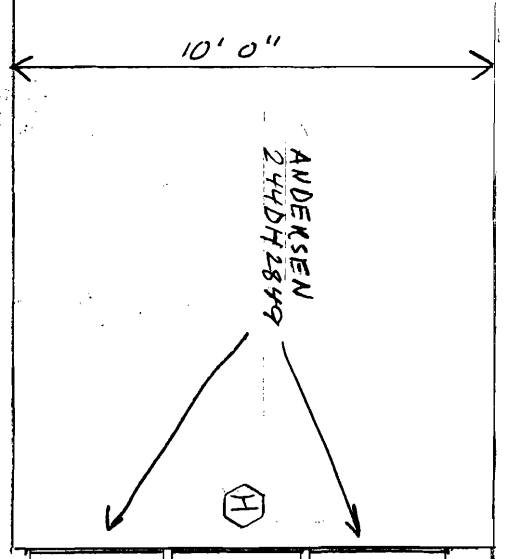
1ST FLOOR PLAN
WITH CHANGES

SUBMITTED ON

6/22/09 by

Jay Tachibana

EXISTING MAIN HOUSE



WGD6068 AS

ANDERSEN 244 DH3049

31'0"

64'0"

21'0"

8'0"

VARNEY ADDITION 2ND FLOOR PLAN
 6/6/09 EMPIRE BUILDERS
 DRAWN BY JAY TACHIBANA

SOURROOM CATHEDRAL SPACE

← DEMO EXTERIOR WALL
 RETAIN BEARING
 WALL BELOW

• Hand made for
 Smoke Detector
 w/ Bottom Building

ATTIC/EAVE SPACE

ACCESS PANEL
 36" WIDTH OPEN

20' 5 1/2"

2x6 INSULATED WALL

EGRESS WINDOWS
 (2) ANDERSEN 244DH26310

GARAGE ROOF
 BELOW

4'0" KNEE WALL
 2x6 16" O.C.

24' 0"

CHANGED PROPOSED
 WIDTH

20' 0"

2ND FLOOR RENOVATION

WINDOW SCHEDULE:

- (A) ANDERSEN 200 24310A
 - (B) ANDERSEN 200 24310A
 - (C) ANDERSEN 244DH304
 - (D) ANDERSEN 244FX304
 - (E) ANDERSEN 244FX304
 - (F) ANDERSEN 244DH304
 - (G) ANDERSEN 244DH28
 - (H) ANDERSEN 244FX28
 - (I) ANDERSEN 244DH28
 - (J) ANDERSEN (2) 244H
 - (K) VELUX FS306
 - (L) VELUX FS306
 - (M) Alternate FIXED
 - (N) Alternate FIXED
 - (O) Alternate FIXED
- DOOR SCHEDULE
- (A) ANDERSEN NLGD6068
 - (B) 3/0 6/8 SELDWIN
 - (C) 3/6 6/8 SELDWIN
 - (D) JELVEN 130126 5
 - (E) 8'x7' OVERHEAD 0001

VARNNEY ADDITION: CROSS SECTION
 6/1/09 EMPIRE BUILDERS
 DRAWN BY JAY TACHIBANA

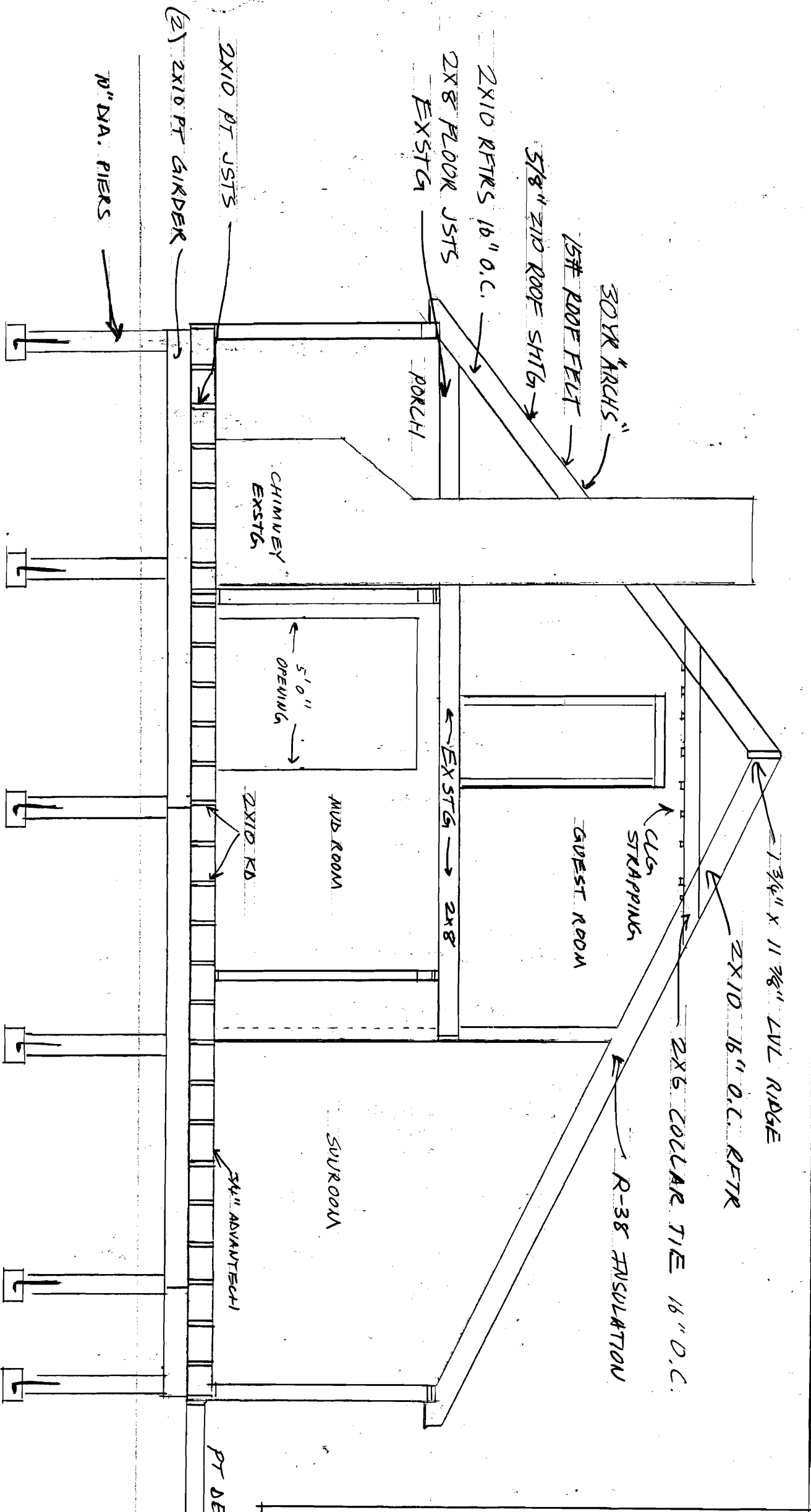
GENERAL SPECIFICATIONS:

EXTN.:

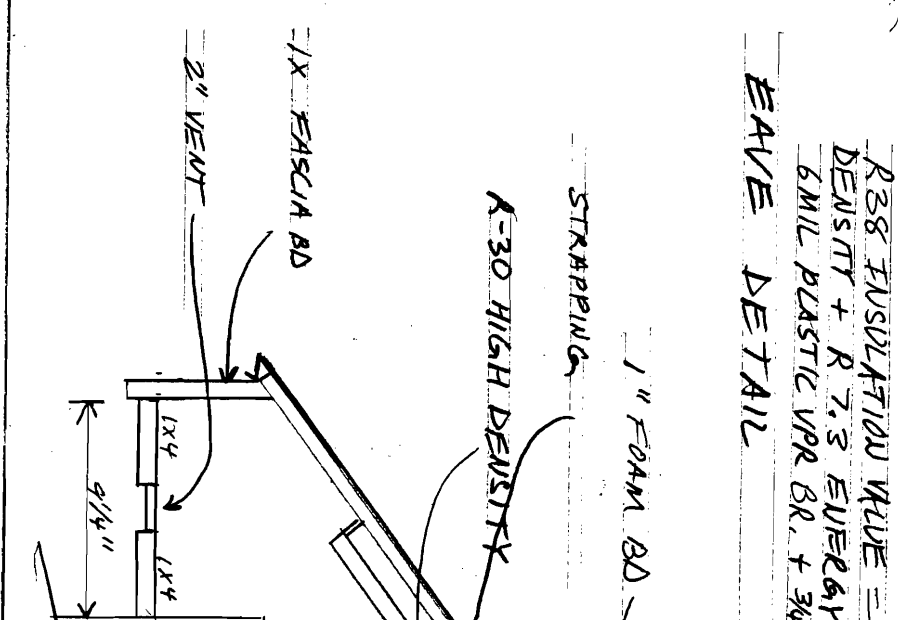
- 1) 3,500 lb. CONCRETE
 - 2) 1/2" STEEL REBAR REINFORCEMENTS
 - 3) MINIMUM 4'6" DEPTH FOOTINGS
- FRAMING:
- 1) 2X6 STUD WALLS @ EXTERIOR 16" O.C.
 - 2) 2X10 FLOOR JOISTS, 16" O.C. w/HUGERS
 - 3) 2X10 RAFTERS 16" O.C.
 - 4) 1X3 STRAPPING @ CLS(S)

ROOFING:

- 1) ICE & WATERSHIELD, MIN 3' FROM EAVES
- 2) NEW CHIMNEY FLASHING
- 3) 15# FELT UNDERLAMENT
- 4) 30YR ARCHITECTURAL SHINGLES



EAVE DETAIL



PT DECK ← RAILINGS REMOVED
 GRADE LINE
 10" DIA. TUBES
 MIN 4'6" DEPTH C
 ← 8" X 20" DIA. FTGS.
 w/REBAR

VARNNEY ADDITION: CROSS SECTION

5/31/09 EMPIRE BDRS
DRAWN BY STAY TACHIBANA

GARAGE REMOVED

