

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 080440

PERMIT ISSUED

MAY 23 2008

This is to certify that MARSH DONALD R & LAURENCE A JONES Construction

has permission to Build 16 x 16 Deck

AT 54 ALDEN CIR 182A A015001

provided that the person or persons who perform or supervise the construction of this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is loaded or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

5/22/08 *CLR*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0440	Issue Date: 5/22/08	CBL: 182A A015001
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Location of Construction: 54 ALDEN CIR	Owner Name: MARSH DONALD R & LAURIE A	Owner Address: 54 ALDEN CIR	Phone: 282-2624
Business Name:	Contractor Name: Bruce Construction	Contractor Address: 20 Beacon Street, #2 Biddeford	Phone: 6179433700
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Build 16 x 16 Deck	Permit Fee: \$80.00	Cost of Work: \$5,746.00	CEO District: 5	Zone: R-3
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: OB IRC-2003 Signature: [Signature] 5/22/08
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Proposed Project Description:
Build 16 x 16 Deck

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

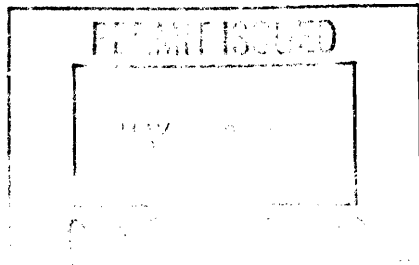
Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: lmd	Date Applied For: 05/01/2008	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>Stream Protection on property Deck is 7' from HWM</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: [Signature] 5/22/08</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: [Signature]</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0440	Date Applied For: 05/01/2008	CBL: 182A A015001
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Location of Construction: 54 ALDEN CIR	Owner Name: MARSH DONALD R & LAURIE A	Owner Address: 54 ALDEN CIR	Phone: () 282-2624
Business Name:	Contractor Name: Bruce Construction	Contractor Address: 20 Beacon Street, #2 Biddeford	Phone: (617) 943-3700
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Build 16 x 16 Deck	Proposed Project Description: Build 16 x 16 Deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/20/2008**Note:** **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 05/22/2008**Note:** **Ok to Issue:**

- 1) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.
- 2) Fastener schedule per the IRC 2003
- 3) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each.
- 4) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 5) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:

5/5/2008-mes: This property is within stream protection in the rear. I called the applicant to get met specific measurements from the HWM or edge of wetlands. He will revise the submitted drawings.

5/21/2008-mes: today I recieved a signed statement and drawing showing that the 16'x16' deck would be 77' from the HWM from Al Fick Associates.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: <u>54 Allen Cir. Portland ME.</u>		
Total Square Footage of Proposed Structure/Area <u>256</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Address City, State & Zip	Telephone: <u>282 2024</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5764.05</u> C of O Fee: \$ _____ Total Fee: \$ <u>80</u>
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>16x16 Deck</u>		
Contractor's name: <u>Bruce Const</u> Address: <u>20 Beacon Ave #2</u> City, State & Zip: <u>Bridgford, Me 04105</u> Telephone: <u>67-943-3700 call</u> Who should we contact when the permit is ready: <u>above</u> Telephone: <u>207-282-2624 office</u> Mailing address: _____		

APR 30 2008

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: April 30/08

This is not a permit; you may not commence ANY work until the permit is issue

Bruce Construction
S

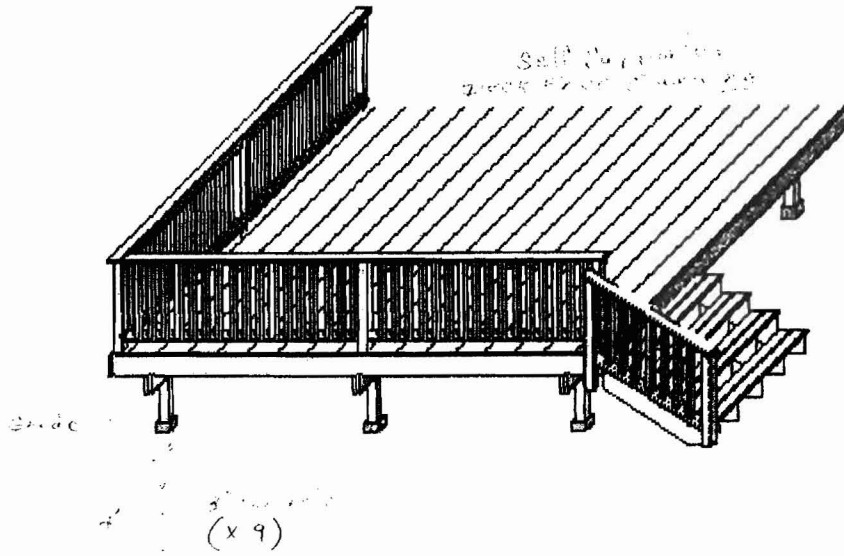
PROJECT MANAGEMENT

20 Beacon Ave #2

Biddeford ME 04005 - ^{Call} 617-943-3700 - office 207-282-2623

54 Alden Cir Portland, ME.

City of Portland
Permit
Application



54 ALDEN CIR. PORTLAND ME.

DON MARCH JOB

* BAUCE CONST. PROJECT MNGT.

PA → 282-2624 - 617-943-3700

R-3 Zone

Front: 25' min - N/A

Sides: 8' min - 32' & 37' shown
1st story shown

REAR: 25' min ≈ 180' shown

77' from HWM shown
(ok see letter AL Jack letter)

PLOT PLAN

ALDEN CIRCLE

54

4'1"

35'

Property Line

37'

10' x 9'

35'

Property Line

APPROX. 180'

How far from HWM are wetlands?

See Track Association Statement & Drawings shown over 75' from HWM

Small brook/stream

Construction Specifications

deck 1:

Construction Method = Beam on Top of Post ✓

Footing Type = Pier In-Ground ✓

Live Load = 40 ✓

Dead Load = 10 ✓

Decking Spacing = 0 1/4" ✓

Joist Spacing = 16" ✓

Beam Spacing = 84" ✓

Post Spacing = 84" ✓

Decking = ~~5/4X6 Thompsonized Southern Pine No. 2~~ Composite ✓

Beams = 2X8 Treated Southern Pine No. 1 ✓

Joists = 2X8 Treated Southern Pine No. 1 ✓

Posts = 4X4 Treated Southern Pine No. 2 ✓

Deck Height = 36" ✓

Diagonal Bracing = Yes ✓

Deck Skirt = No ✓

Joist Overhang = 12" ✓

Beam Overhang = 12" ✓

Decking Deflection Factor = 360 ✓

Joist Deflection Factor = 360 ✓

Beam Deflection Factor = 360 ✓

Pref Decking Size = ML5/4x6 ✓

Pref Joist Size = 2x8 ✓

Pref Beam Size = 2x8 ✓

Pref Post Size = ~~NONE~~ 4"x4" PT ✓

Diag Brace Height 1 = 24" in ✓

Diag Brace Height 2 = 24" in ✓

Railing 2: Composite ✓

Railing Height = 36" ✓

Baluster Spacing = 3 3/4" ✓

Toe Space = 3 3/4" ✓

Stair 1:

Step Width = 72" ✓

Step Height = 28 3/4" ✓

Step Rise = 7 3/16" ✓

Step Run = 11" ✓

Stringers = 2X12 Treated Southern Pine No. 2 ✓

Risers = 5/4X6 S/OWalnut Veranda Decking ✓

Treads = ~~5/4X6 Thompsonized Southern Pine No. 2~~ Composite ✓

Railing 3: Composite ✓

Railing Height = 36" ✓

Baluster Spacing = 3 3/4" ✓

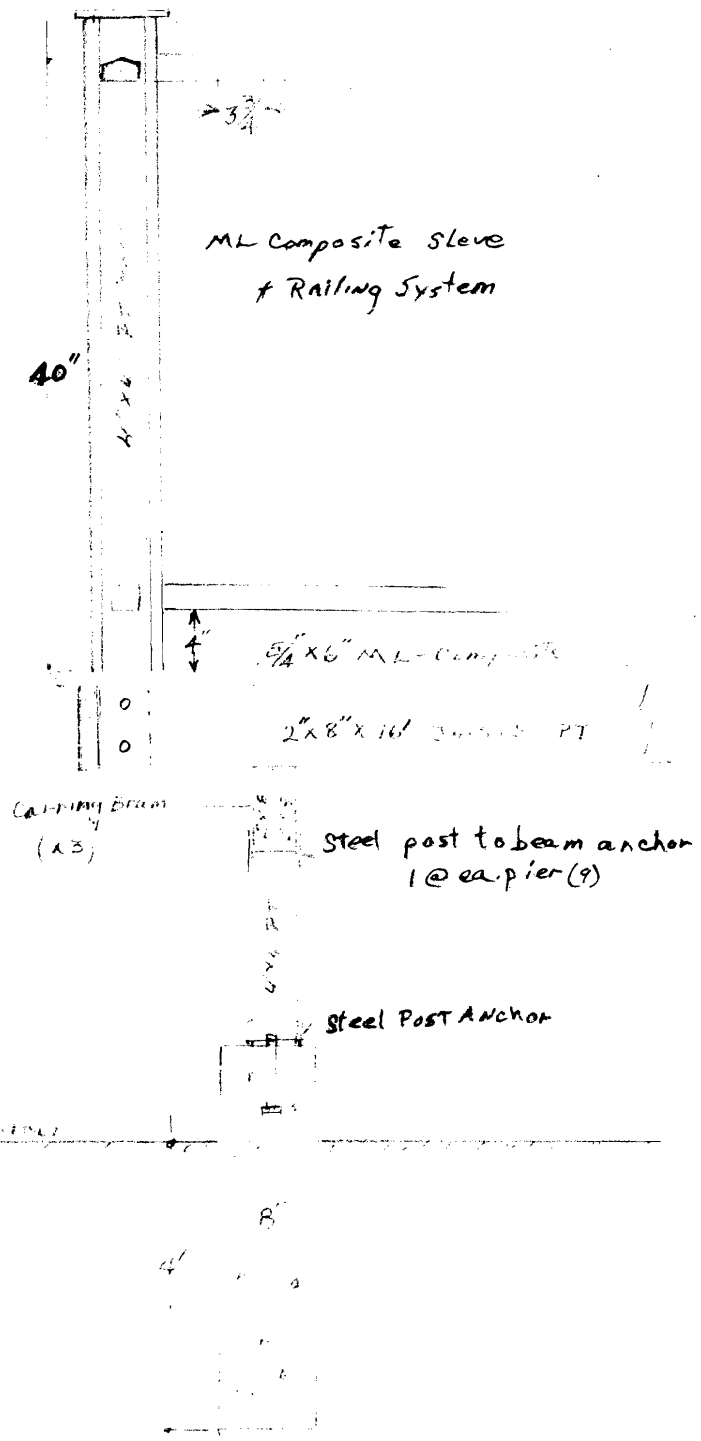
Toe Space = 3 3/4" ✓

Railing 1:

Railing Height = 36" ✓

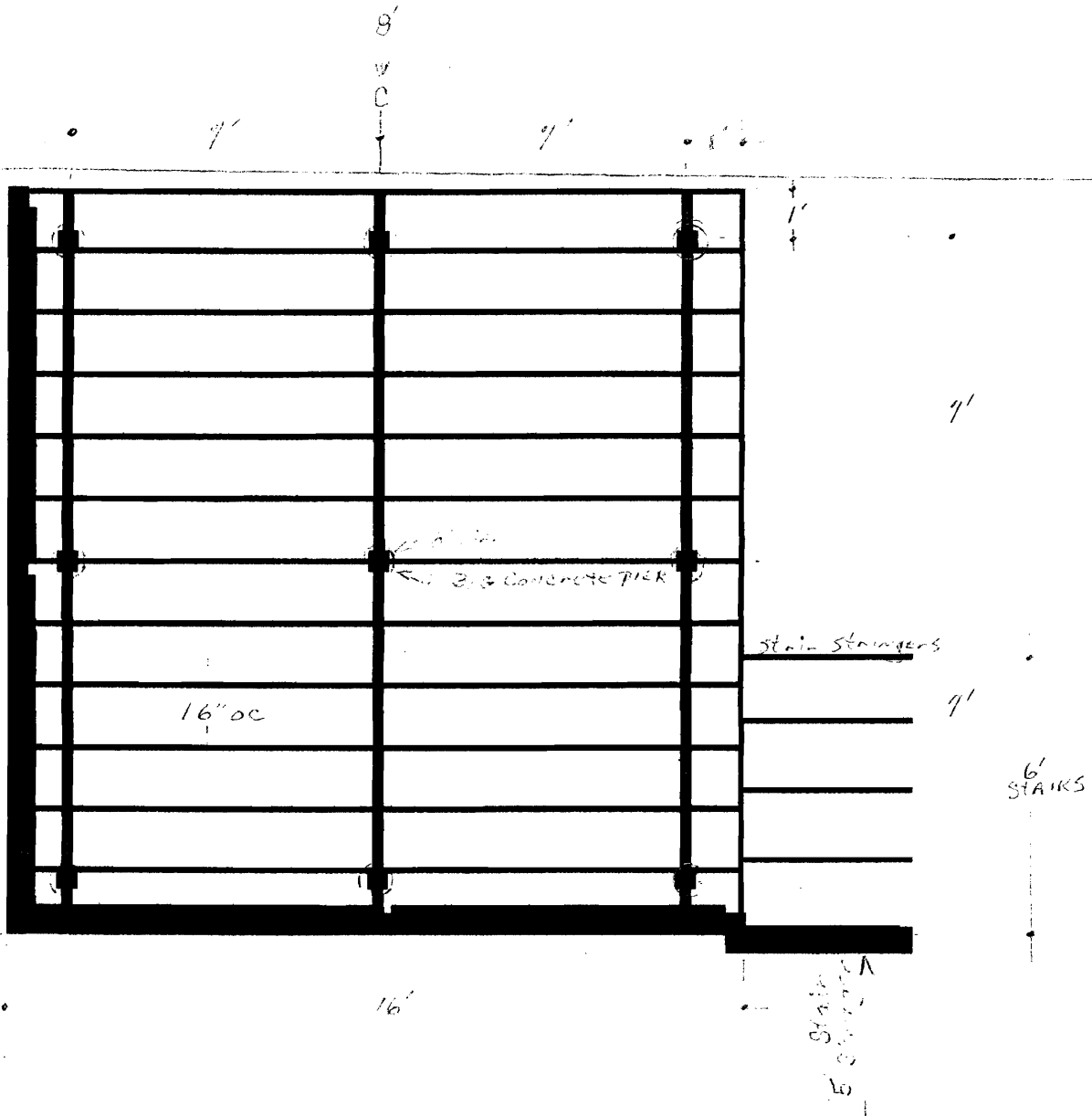
Baluster Spacing = 3 3/4" ✓

✓

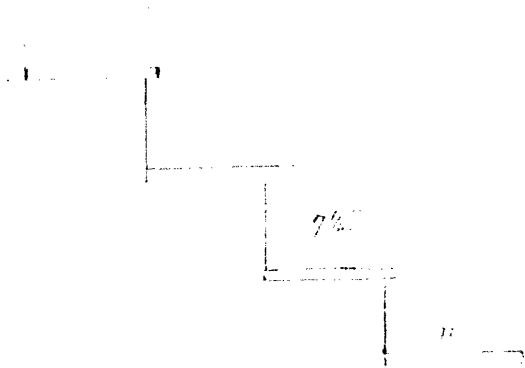


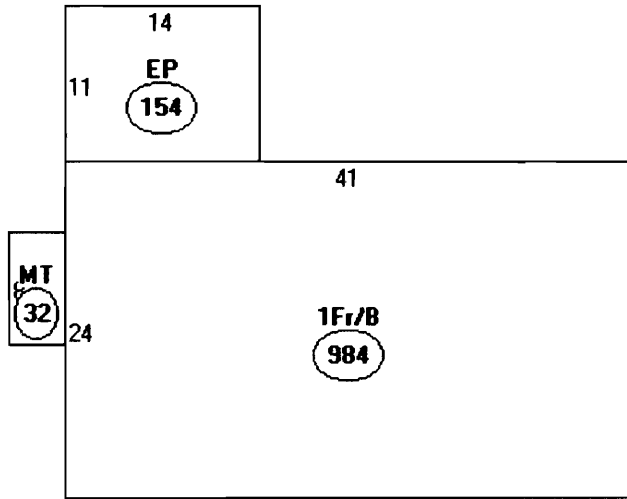
54 ALLEN CIR.

Framework + Foundation layout



STAIRS DETAIL





Descriptor/Area

A: 1Fr/B
984 sqft

B: MT
32 sqft

C: EP
154 sqft

$$\begin{array}{r}
 904 \\
 32 \\
 154 \\
 \hline
 256 \\
 \hline
 1426 \#
 \end{array}$$
 16' x 16' new Deck

$$23004 + 356 = 8051.4 \#$$
 max lot coverage

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	182A A015001
Location	54 ALDEN CIR
Land Use	SINGLE FAMILY
Owner Address	MARSH DONALD R & LAURIE A JTS 54 ALDEN CIR PORTLAND ME 04102
Book/Page	13868/129
Legal	182A-A-15 ALDEN CIRCLE 52-56 23004 SF

Current Assessed Valuation

Land	Building	Total
\$68,500	\$91,400	\$159,900

Property Information

Year Built 1961	Style Ranch	Story Height 1	Sq. Ft. 984	Total Acres 0.528		
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 4	Attic None	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

Picture	Sketch	Tax Map
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Albert Frick Associates, Inc.

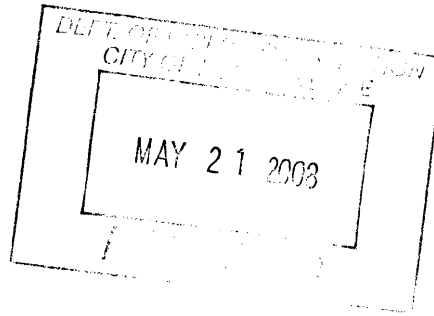
Soil Scientists & Site Evaluators

95A County Road Gorham, Maine 04038
(207) 839-5563 FAX (207) 839-5564

Albert Frick, SS, SE
James Logan, SS, SE
Matthew Logan, SE
Brady Frick, SE
Bryan Jordan, SE
William O'Connor, SE

May 19, 2008

Mr. Lorne Bruce
Bruce Construction
20 Beacon Avenue, Unit 2
Biddeford, ME 04005



Re: Marsh Property (Map 182A, Lot A015), 54 Alden Circle, Portland

Dear Mr. Bruce:

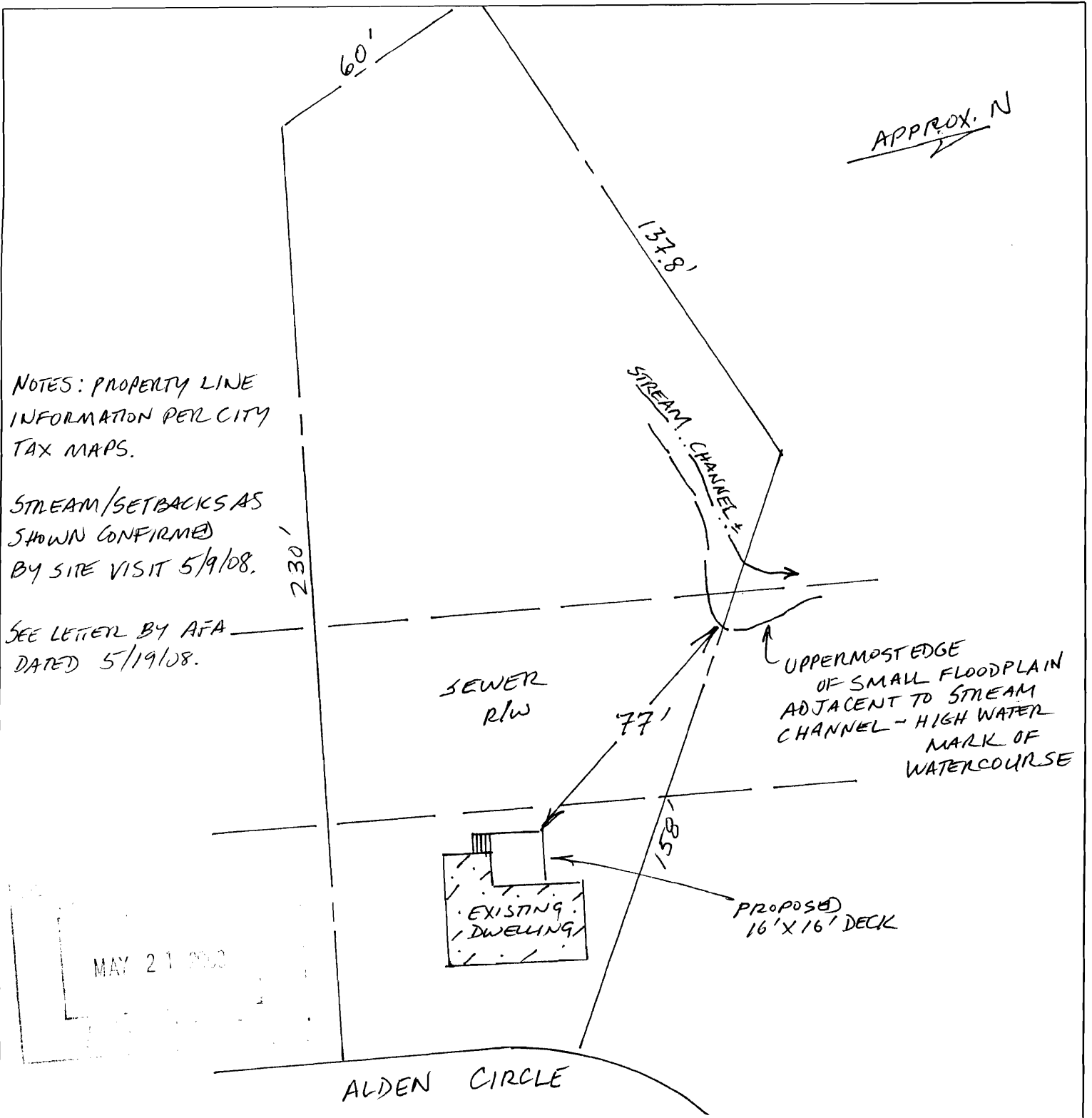
I investigated the above-referenced property on May 9, 2008, to determine the setbacks from a proposed 16' x 16' deck to the high water mark of a small watercourse in the rear portions of the site.

Enclosed is a sketch plan of the site, showing the location of the proposed deck and the nearest dimension of 77' to the uppermost edge of the small floodplain that is adjacent to the existing stream bank. Since the required setback is 75', per Maine Department of Environmental Protection (MDEP) and the City of Portland ordinance, the proposed project complies with minimum standards, as is shown on the plan.

I trust the enclosed information and above comments will assist you in completion of the new deck. Please do not hesitate to call should you have additional questions or matters for discussion regarding the site.

Sincerely,

James Logan
JL/nd



PROPOSED DECK SETBACK PLAN
 PREPARED FOR BRUCE CONSTRUCTION
 (MARSH PROPERTY)
 (MAP 182A, LOT A015)
 54 ALDEN CIRCLE
 PORTLAND, MAINE



Albert Frick Associates, Inc.
 Soil Scientists & Site Evaluators
 Gorham, Maine 04038

Date:	Revision Description	Drawn By: JL	Checked By: ML
		Date: 5/19/08	Scale: 1" = 40' ±

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

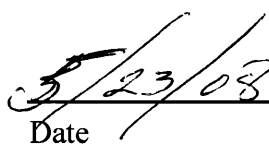
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



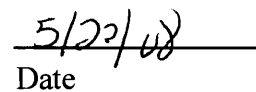
Signature of Applicant/Designee



Date



Signature of Inspections Official



Date