

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 34 Alden Circle		Owner: Hannigan, Robert & Jane		Phone:	Permit No: 960896
Owner Address:		Leasee/Buyer's Name:		BusinessName:	
Contractor Name: James Piacentini		Address: 9 Grafton St Ptd, ME 04101		Phone: 775-2148	
Past Use: 1-fam		Proposed Use: Same		COST OF WORK: \$ 20,000.00	PERMIT FEE: \$ 120.00
Proposed Project Description: Construct attached (27 x 24) garage==		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>A-3 Type 5B</i>	
		Signature:		Signature: <i>[Signature]</i>	
Permit Taken By: Mary Gresik		Date Applied For: 06 September 1996			

PERMIT ISSUED
SEP 10 1996
CITY OF PORTLAND

Zone: *R-3* CBL: 182-A-A-011
Zoning Approval: *ok - 9/9/96*
Special Zone or Reviews:
 Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: *9/6/96*

[Signature]

CEO DISTRICT **4**
A. Powers

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

James Piacentini
SIGNATURE OF APPLICANT James Piacentini ADDRESS: *9 Grafton St Ptd 04101* DATE: *06 September 1996* PHONE:

Same
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

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Owner Address:		Leasee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: James Piacentini		Address: 9 Grafton St. Portland, ME, 04101		Phone: 775-2148		Permit Issued: SEP 10 1996	
Past Use: 1-fam		Proposed Use: Same		COST OF WORK: \$ 20,000.00		PERMIT FEE: \$ 120.00	
Proposed Project Description: Construct attached (27 x 20) garage== 27x24		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: A3 Type 5B Signature: [Signature]		Zone: CBL: 187-A-A-001	
		Signature:		Signature:		Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>		Signature:		Date:	
Permit Taken By: Mary Gresik		Date Applied For: 06 September 1996				Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

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SIGNATURE OF APPLICANT James Piacentini ADDRESS: DATE: 06 September 1996 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

4

A. B. B.

COMMENTS

9-17-96 Framg. poured, appears to be a considerable amount of standing water due to ground condition.

10-10-96 Contractor on site, Framing Inspection -
no

11-7-96 Electric heat added, smoke in breezeway. OK. to close out.

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

BUILDING PERMIT REPORT

DATE: 10/Sept/96 ADDRESS: 34 Alden Circle

REASON FOR PERMIT: To Construct a 24'x27' attached garage.

BUILDING OWNER: Hannigan

CONTRACTOR: Placentini, J.

PERMIT APPLICANT: ↓ APPROVAL: *4*/

~~DENIED:~~ _____

CONDITION OF APPROVAL OR DENIAL

1. Before concrete for foundation is placed, approvals from the Development Review coordinator and Inspection Services must be obtained. (A24 hour notice is required prior to inspection)
2. Precaution must be taken to protect concrete from freezing.
3. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
4. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 section 407.0 of the BOCA/1996)
5. Guardrail & Handrails-A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A,B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
6. Headroom in habitable space is a minimum of 7'6".
7. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise.
8. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
9. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue, they shall

have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. feet.

10. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
 11. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with selfclosers.
 12. The boiler shall be protected by enclosing with on (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
 13. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, Section 19, 919.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 1. In the immediate vicinity of bedrooms
 2. In all bedrooms
 3. In each story within a swelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)
14. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
 15. The Fire Alarm System shall be maintained to NFPA #72 Standard.
 16. The Sprinkler System shall maintained to NFPA #13 Standard.
 17. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. of the City's building code. (The BOCA National Building Code/1996)
 18. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
 19. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
 20. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 MRSA refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
 21. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's Office.


P. Samuel Hoffes, Chief of Inspection Services

Applicant: James P. Ancentuni
Address: 34 Alden Circle

Date: 9/9/96
C-B-L: 182A-A-011

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing 1959

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - construct attached GARAGE 27x24 in proposed mud room & deck

Sewage Disposal -

Lot Street Frontage -

Front Yard - N/A

Rear Yard - 25' req - 37' from rear of Deck shown

Side Yard - 8' req - 8' shown

Projections -

Width of Lot -

Height -

Lot Area -

7,500 sq ft

Lot Coverage/ Impervious Surface -

25%

= 1875 sq ft

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

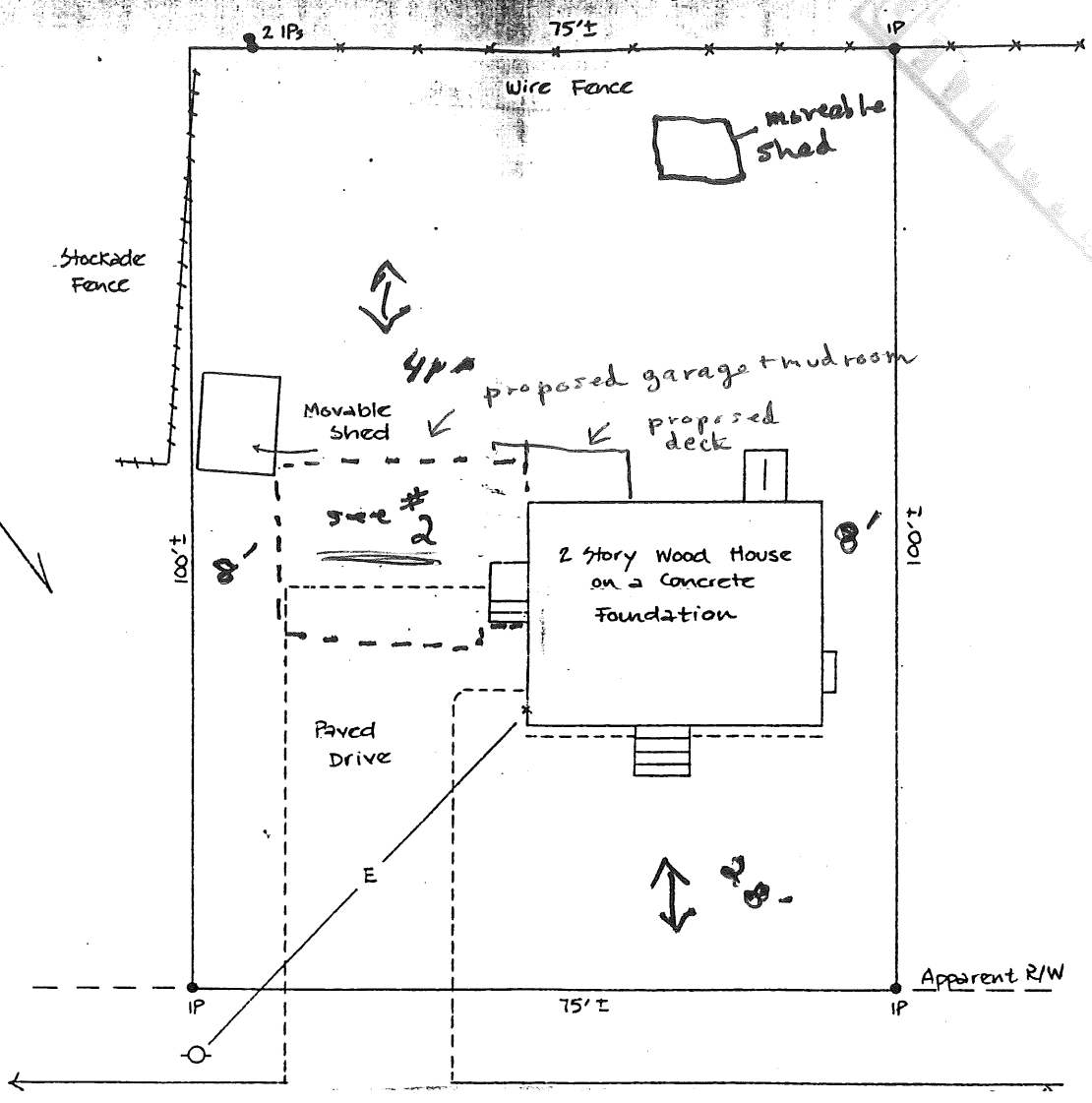
Flood Plains -

garage: 25 x 32 = 800
mud room: 24 x 27 = 648
deck: 6 x 15 = 90

1538

OK

①



1" = 20'

proposed attached garage + mudroom for
 Hannigan Residence 34 Alden Circle
 contractor James Placentini Tel 775-2148
 9 Graddon Street
 Rock ME 04103

16x10
actual
finish
size
2' DN

11'
↓

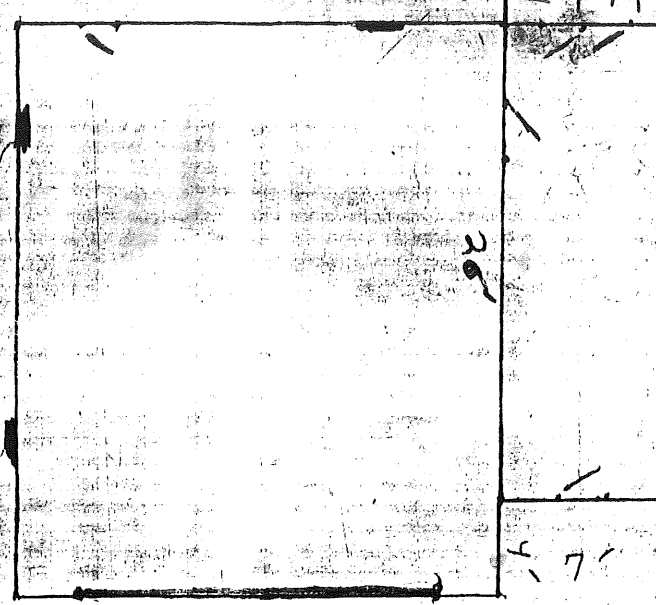
37'
↓

24' 2 STEPS DN NO SONO TUBES

19'
2x10
Pek

10'

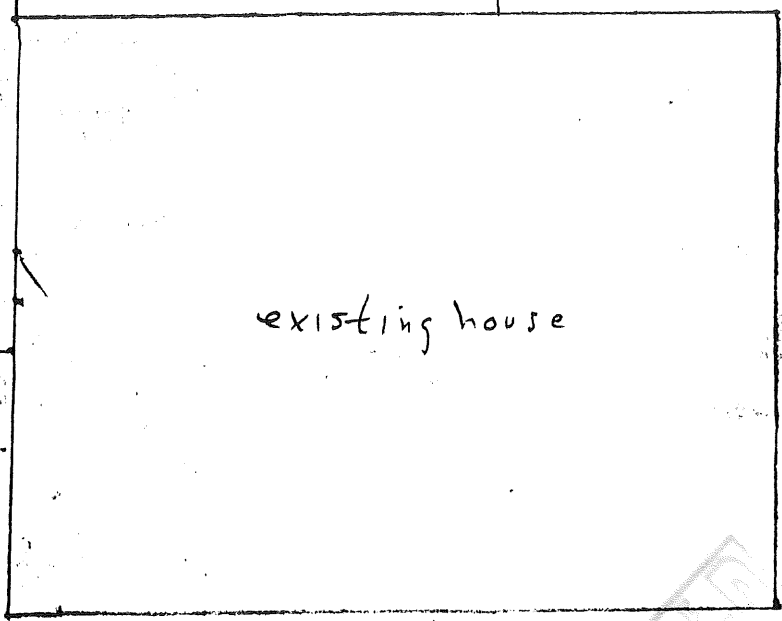
back
24'



20'

26'

7'



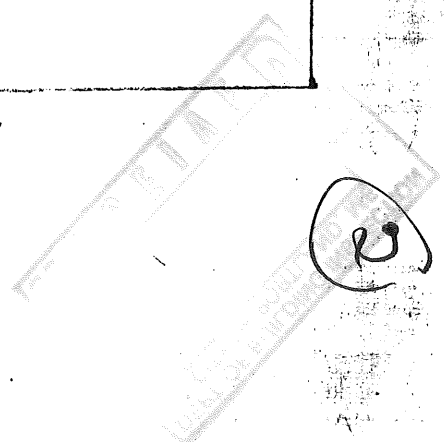
existing house

100'
5e
↓

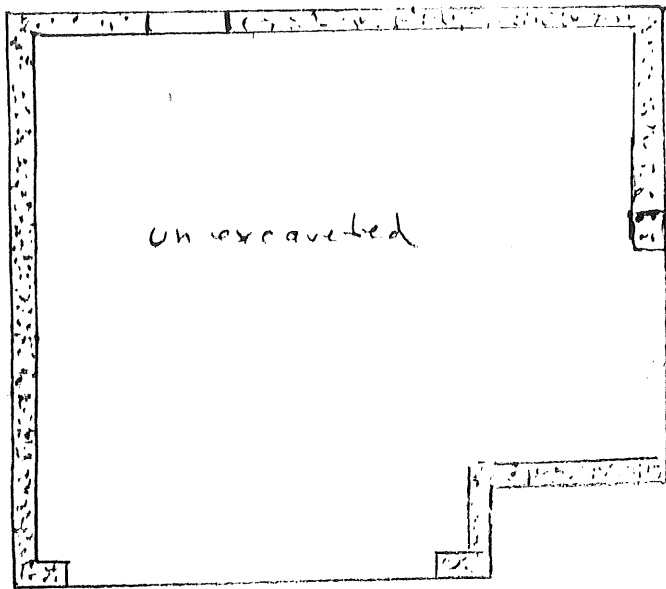
1/2" = 1'

28'
32'
↓

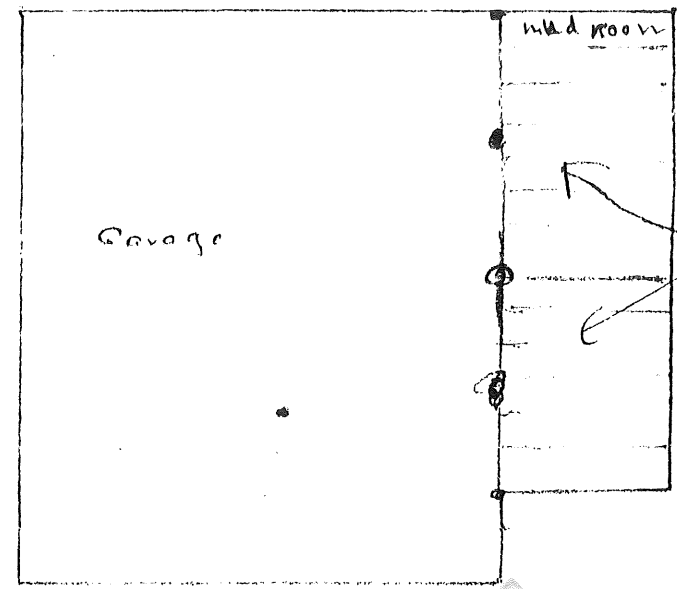
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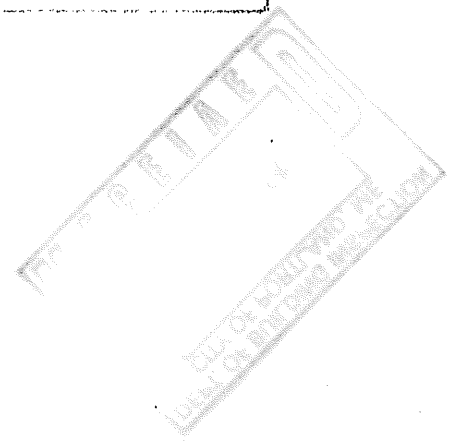
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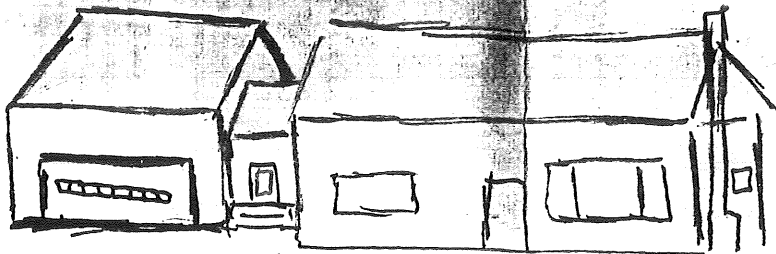
FOUNDATION
8" concrete Crest wall 4' deep
Floor 4" fiber mesh concrete



mud room
2x8
joists 16" oc
7' span
4" steel lally
column with
concrete
center
6'8" oc
3/4 T.G. plywood
floor
in mud room

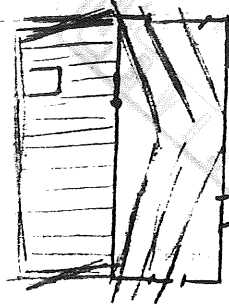


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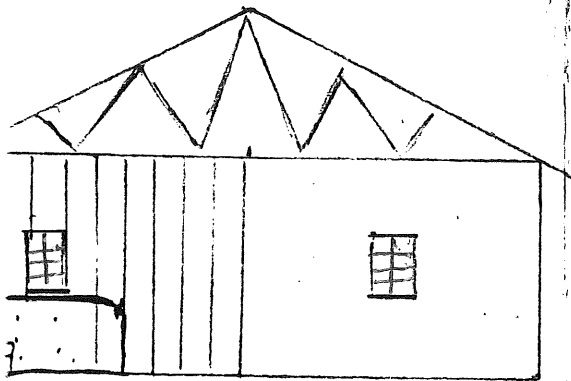


Front view

mud room framing section



8' x 6 16" oc
ext walls 1/2 CDX
with cedar shingle
int wall 1/2 gypsum
sine wall 5/8 Gie...
with sine door

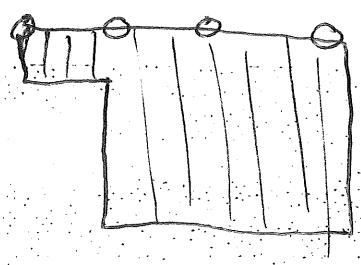


Side view

12' 2x8 rafters 16 oc
1/2 CDX felt paper
and asphalt shingles
6/12 pitch

garage framing section

10' 2x4 16" oc
1/2 CDX plywood walls
cedar shingles
24' ^{engineered} roof trusses 6/12 2' oc
1/2 CDX roof with clips
felt paper and asphalt shingles



Deck
8" sonotubes 4' deep concrete filled 7' o.c.
2x8 joists 10' span