

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 170 Wayside Road Ptld, ME 04102		Owner: *Gertrude Duncan, Trustee		Phone: *# 775-1533	Permit No: 990688
Owner Address: SAA	Lessee/Buyer's Name:	Phone:	BusinessName:		
Contractor Name: B/M Construction	Address: P.O. Box 5255 Augusta, ME	Phone: 207-495-2754	Permit Issued: JUN 28 1999		
Past Use: 1-Family	Proposed Use: Same	COST OF WORK: \$ 5,138	PERMIT FEE: \$ 45.00	CITY OF PORTLAND	
		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>A-3</i> Type <i>5</i> <i>BOC 986</i>		
Proposed Project Description: Standard 18 x 20 detached garage <i>15'</i>		Signature:		Zone: <i>R-3</i> CBL: 182-F-005	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zoning Approval: <i>OK - 5 - for Sebark</i>	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm	
Permit Taken By: <i>UB</i>		Date Applied For: June 24, 1999			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

****Please Call for Pick Up
Gertrude @ 775-1533

**PERMIT ISSUED
WITH REQUIREMENTS**

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

June 24, 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

3

COMMENTS

7/26/99 Contacted owner at site
measured side yard 5' to close to line
Issuing stop work order *Amulya*

7-26-99 called owner after consulting w/ Marge S. NA

7-26-99 Contacted B/m Construction in august 1985

7-27-99 Owner came in and is going to change
8' in rear set-back approved by Marge S.
told owner to call when ready to *Amulya*
owner

owner came in & strategized out
at curb line
OK to pass

rechecked setback OK now

8/10/99 checked framing OK to close out permit

~~182-F-005~~

182-F-005

990688

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

TAKES OR 1/24-1998

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 170 Wayside Road, Portland, ME 04102

Tax Assessor's Chart, Block & Lot Number Chart# <u>182</u> Block# <u>F</u> Lot# <u>005</u>	Owner: <u>Gertrude Duncan, Trustee</u>	Telephone#: <u>7751533</u>
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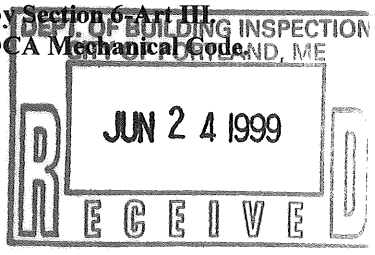
Owner's Address: <u>170 Wayside Road</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$ 5138</u>	Fee <u>\$ 45</u>
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Proposed Project Description:(Please be as specific as possible)
18'x20' standard detached GARAGE

Contractor's Name, Address & Telephone <u>B/m Construction, P.O. Box 5155 Augusta, ME, (207)495-2754</u>	Rec'd By: <u>UB R-3 Zone</u>
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Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.



You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

**CALL FOR PICKUP Gertrude*

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction: 7751533

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Gertrude Duncan</u>	Date: <u>June 24 1999</u>
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Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

0026924

BK14688PG004

WARRANTY DEED
Maine Statutory Short Form

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS, that JOHN A. RICHARDSON and PAMELA D. RICHARDSON of Portland, County of Cumberland, State of Maine, being husband and wife, for consideration paid, grant to GERTRUDE DUNCAN, TRUSTEE, or her successor in trust, under the GERTRUDE DUNCAN LIVING TRUST dated November 19, 1998, of St. Albans, County of New York, State of New York, whose mailing address is 116-05 194th Street, St. Albans, New York 11412, with warranty covenants that certain lot or parcel of land, with any buildings thereon, located at 170 Wayside Road, Portland, in the County of Cumberland and State of Maine, more fully described as follows:

A certain lot or parcel of land, with the buildings thereon, situated on Wayside Road, in the City of Portland, County of Cumberland and State of Maine and being Lot No. 59 as shown on the revised plan of Longfellow Woods, Section D, recorded in the Cumberland County Registry of Deeds in Plan Book 58, Page 9, to which reference is hereby made for a more particular description.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantors herein by deed of Richard E. Carlow dated November 15, 1996 and recorded in the Cumberland County Registry of Deeds in Book 12821, Page 228.

WITNESS our hands and seals this 16th day of the month of April, 1999.

SIGNED, SEALED AND DELIVERED
IN PRESENCE OF

Barbara Q. Vorkal

John A. Richardson

to both

Pamela D. Richardson

BK 14688PG005

STATE OF MAINE
CUMBERLAND, SS.

April 16, 1999

Then personally appeared the above named John A. Richardson and Pamela D. Richardson and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Barbara A. Vestal
Attorney at Law/Notary Public

Printed name: BARBARA A. VESTAL

Page two of two

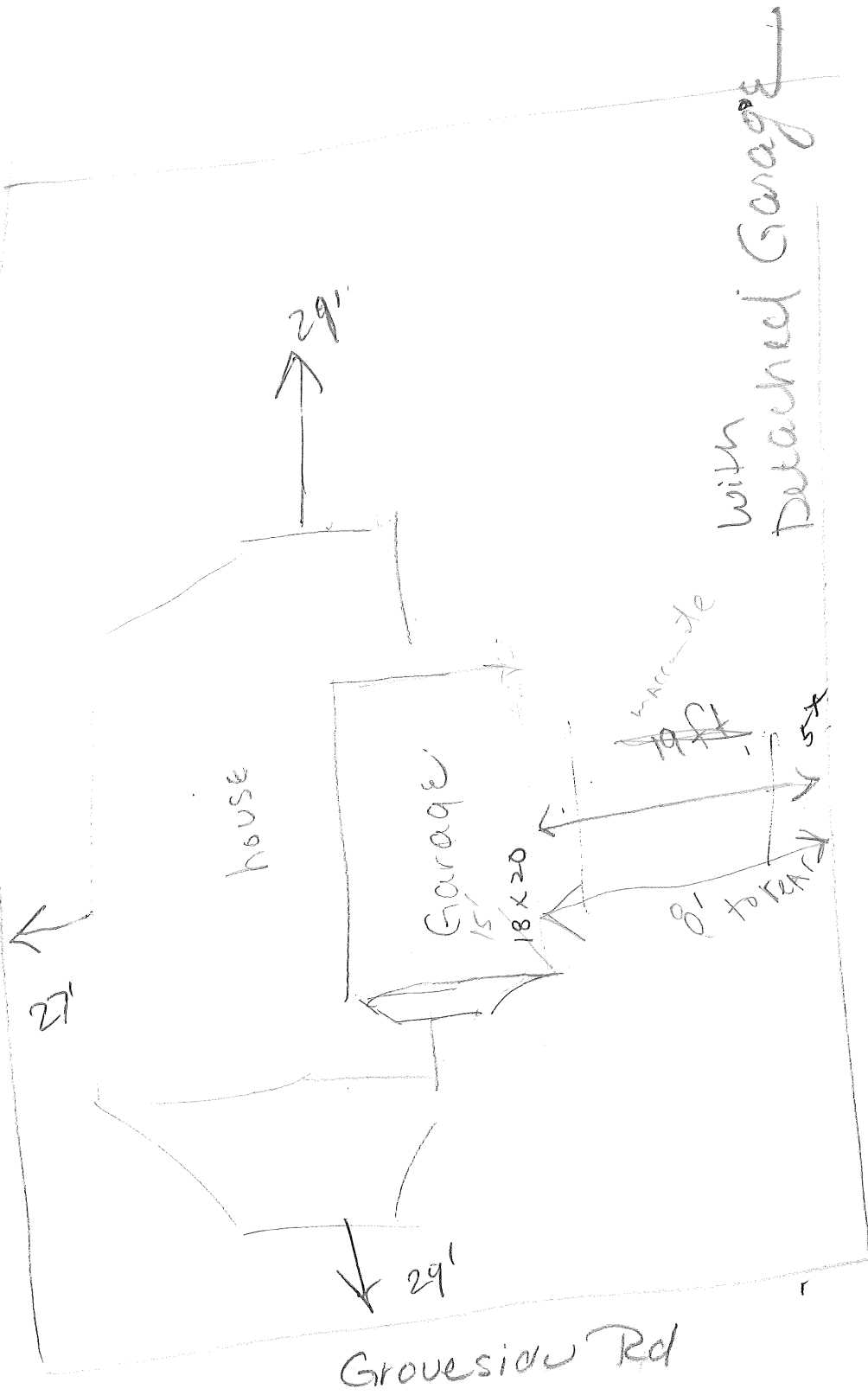
RECEIVED
RECORDED REGISTRY OF DEEDS

1999 APR 16 AM 11:49

CUMBERLAND COUNTY

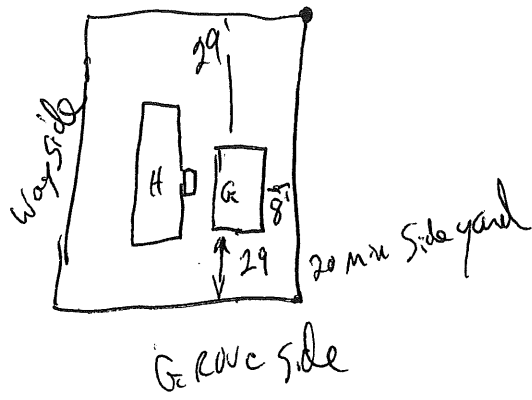
John B. O'Brien

170 Wawwise Rd



revised
7/27/99
with owner

setbacks per owner
6/28/99
by phone - to
The "lot lines"



Sec. 14-428. Corner lots.

In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.

(Code 1968, § 602.19.G)

existing with GARAGE

garage is 1 story
→ Groveside Rd

Existing facing long side- aggregate of yards

Required setbacks if facing on short side

Front yard	27 feet	Front yard	feet 25'
Rear yard	8' 19' feet	Rear yard	feet 25'
Side yard -rt	29' feet	Side yard -rt	feet 8'
Side yard -lft	29 feet	Side yard -lft	feet 20'

TOTALS

104 feet
~~98'~~

is greater than

feet 70'

yes

Then The 19' Setback in REAR is OK

6/28/99

2x4 WALL CONST. 16 @

SLIGHT OVERHANG WITH SOFFIT.

2x6 HEADERS FULL

7 EXPANDED WINDOWS

1 DOOR

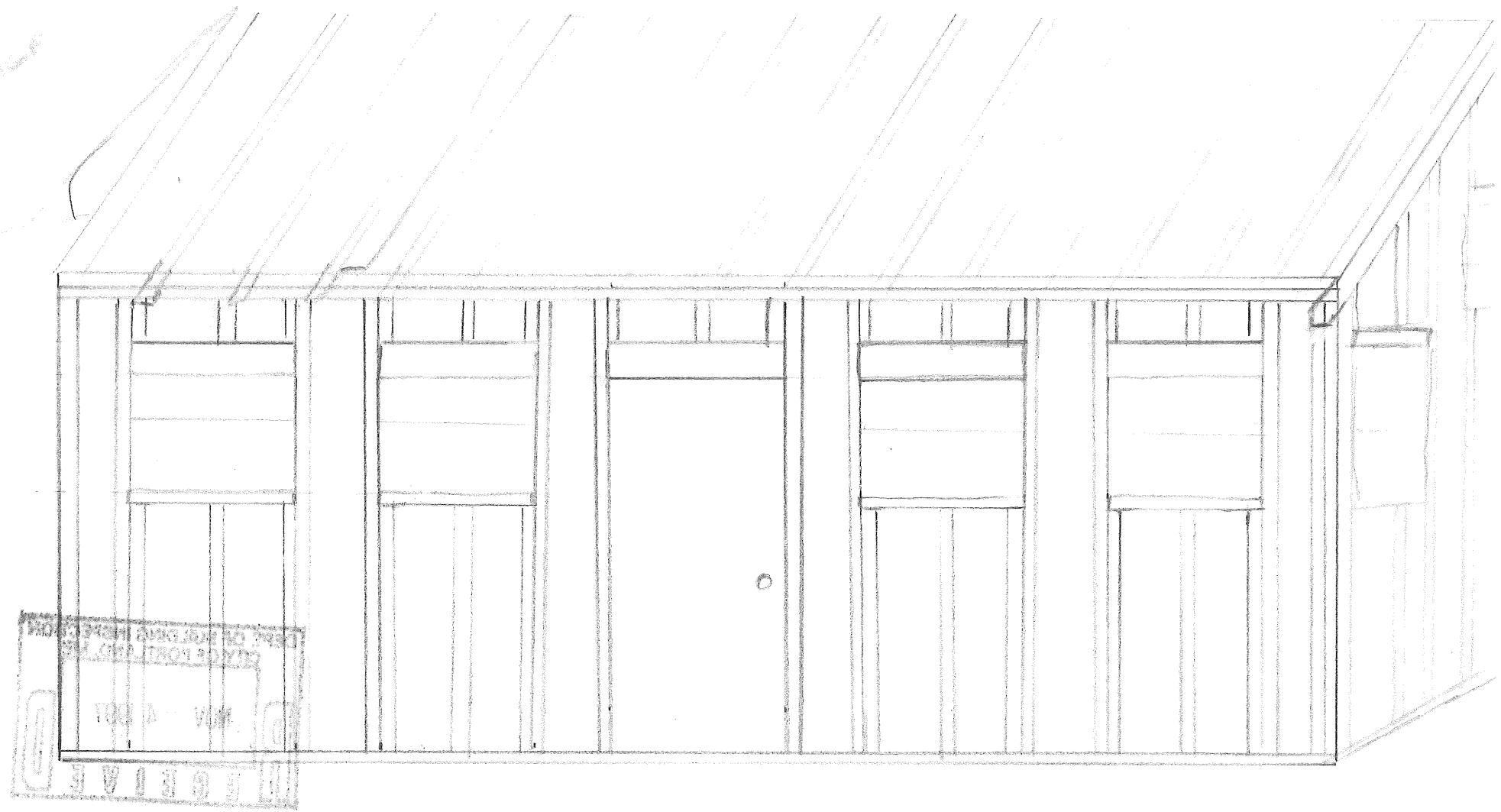
2x6 DECK 16 OC 3/4 plywood SUB FLOOR

2x6 ROOF STRUCTURE

SAUNA TUBE FURNITURE

SHINGLE TOP

SHADE

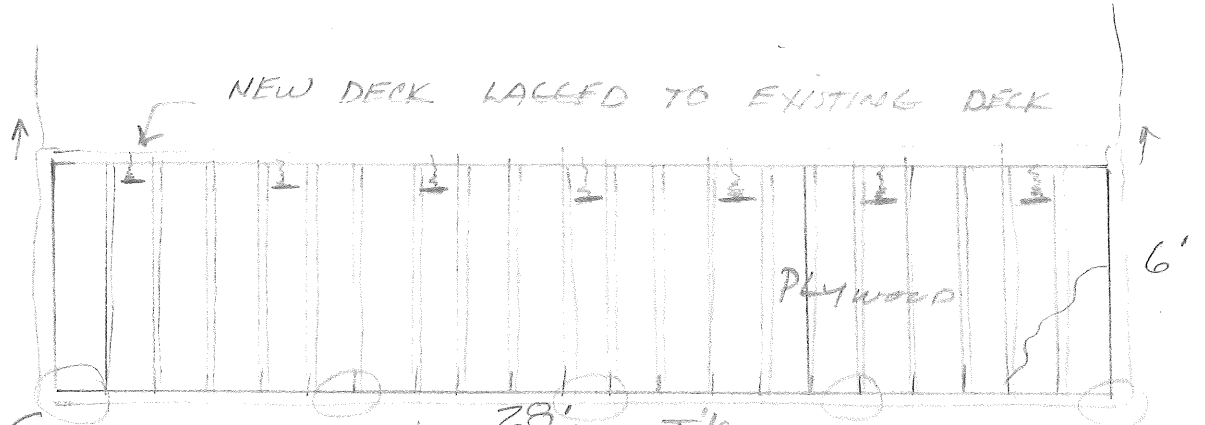


CEDAR SHINGLE EXTERIOR SIDING TO MATCH EXISTING BUILDING

FLOOR SECTION

2x6 16" OC
" JOIST HANGERS

NEW DECK LAPPED TO EXISTING DECK



4' MINIMUM

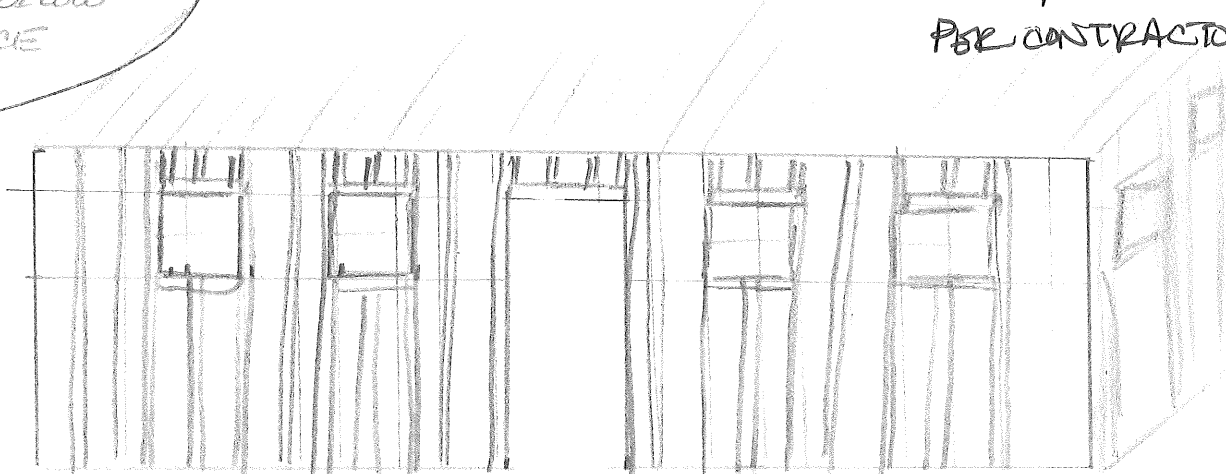
COVERED WITH 3/4 28' DECKING T/E

SADNA TUBES
3+1' BELOW
SURFACE

NEVER NOTIFIED TO INSPECT. INSTALLED
4.10.04

PBR CONTRACTOR

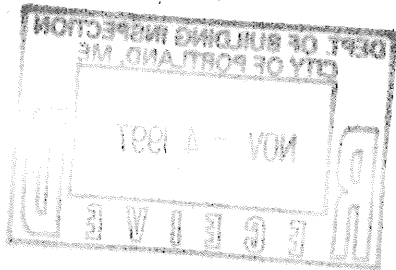
EXTERIOR
WALL
SECTION



2x6 ROOF RAFTERS
WALL 2x4 OR 6 16" OC

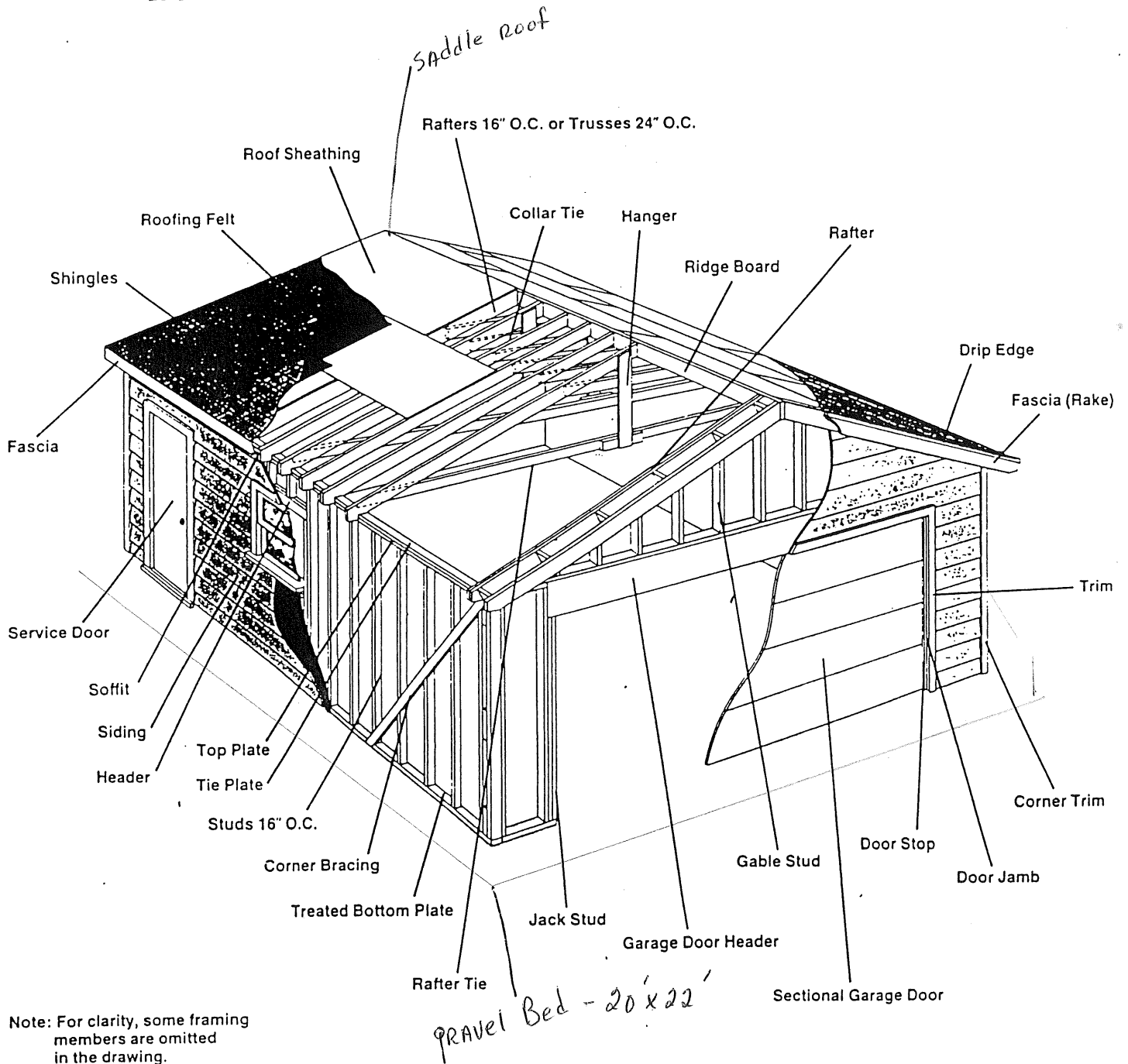
7 WINDOWS

1 DOOR



BUILDING PACKAGES

TYPICAL CONSTRUCTION DETAIL



Exterior decorative items, windows and some doors shown on some models are optional and not included in standard package. See package specifications on page 3 for details.

B / M CONSTRUCTION

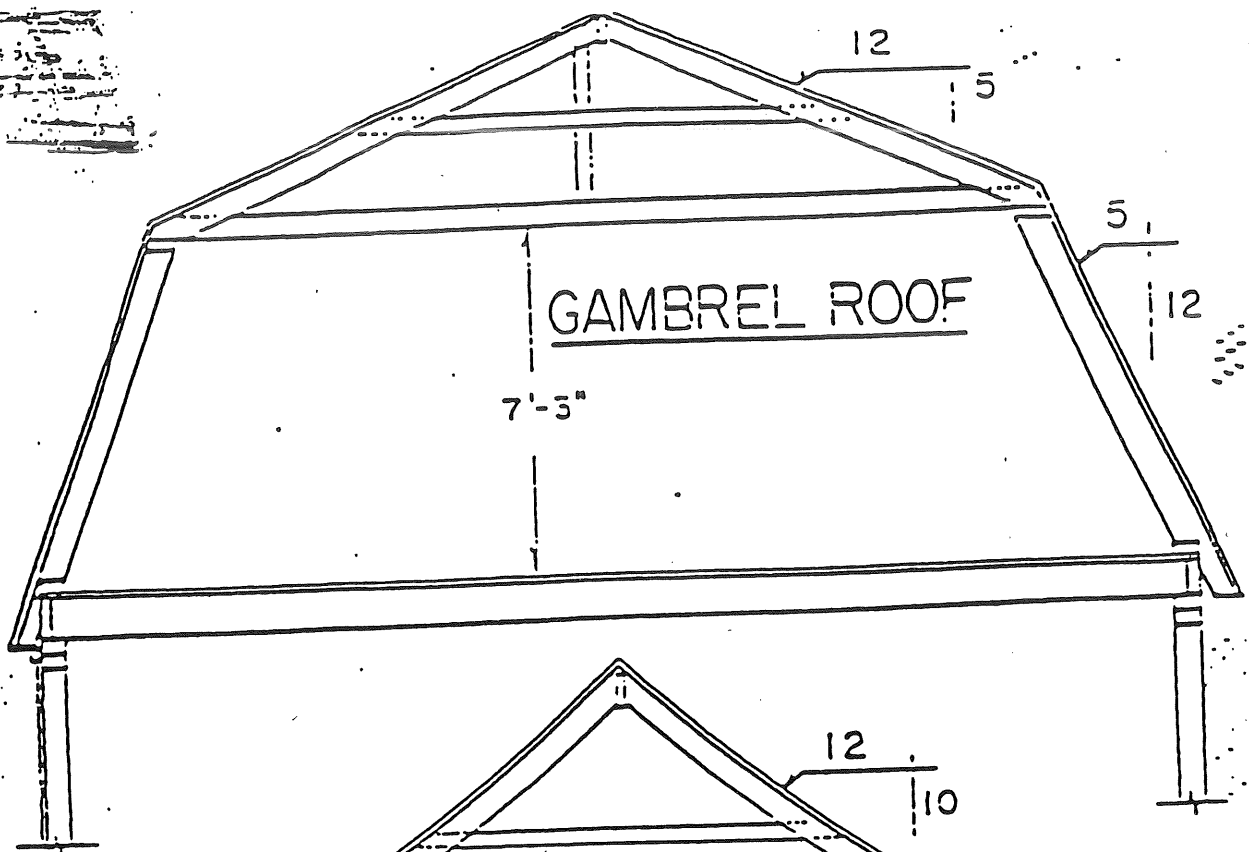
(Quality with Integrity)

P.O. Box 5155
Augusta , Me. 04330

495-2754
1-877-495-2754

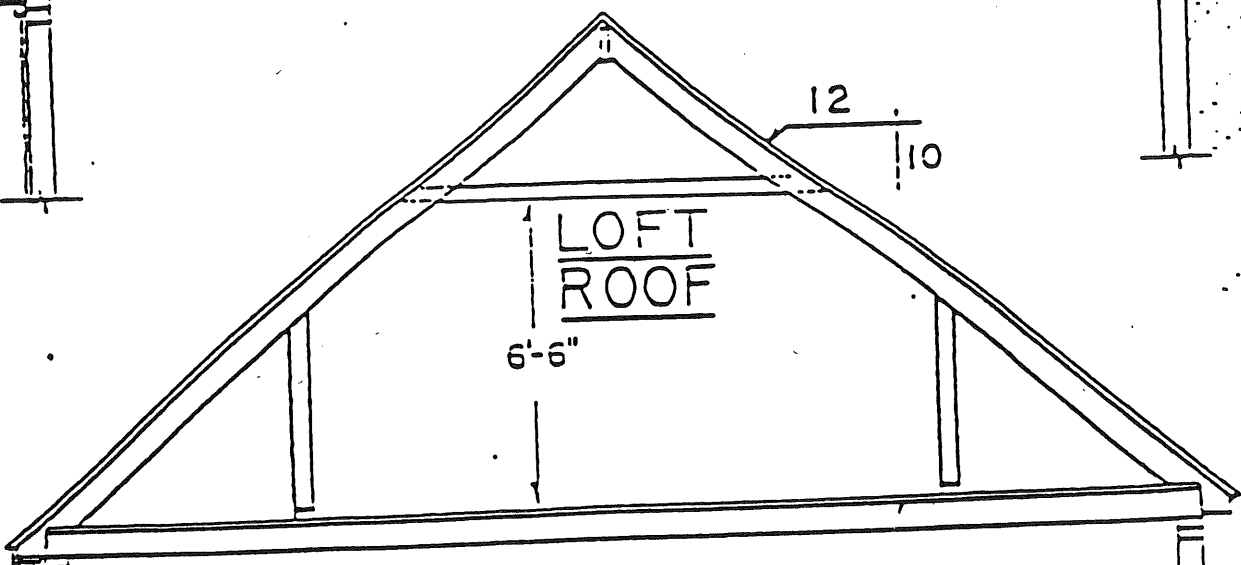
SPECIFICATIONS FOR A B/M CONSTRUCTION STANDARD GARAGE

SALES TAX INCLUDED IN PRICE
CONCRETE SLAB, 4" IN CENTER, 6" AROUND PERIMETER
PRESSURE TREATED BOTTOM PLATE
PLATES DOUBLE, TOP AND BOTTOM
2" X 4" WALL STUDS, 16" ON CENTER, KD
2" X 6" RAFTERS, 16" ON CENTER, KD
1/2" CDX PLYWOOD ROOF SHEATHING (FIR)
20 YEAR ASPHALT ROOF SHINGLES (CHOICE OF COLORS)
8" METAL DRIPEDGE AROUND ENTIRE ROOF
SOFFITS BOXED IN PINE
GARAGE TRIMMED WITH PINE
| ~~TWO~~ 9' x 7' OVERHEAD GARAGE DOORS
METAL, WITH OR WITHOUT GLASS
ONE STEEL INSULATED SERVICE DOORS
2" X 8" HEADERS, DOUBLE
5/8" T-1-11 SIDING
ONE YEAR FREE SERVICE ON ALL MATERIALS & LABOR



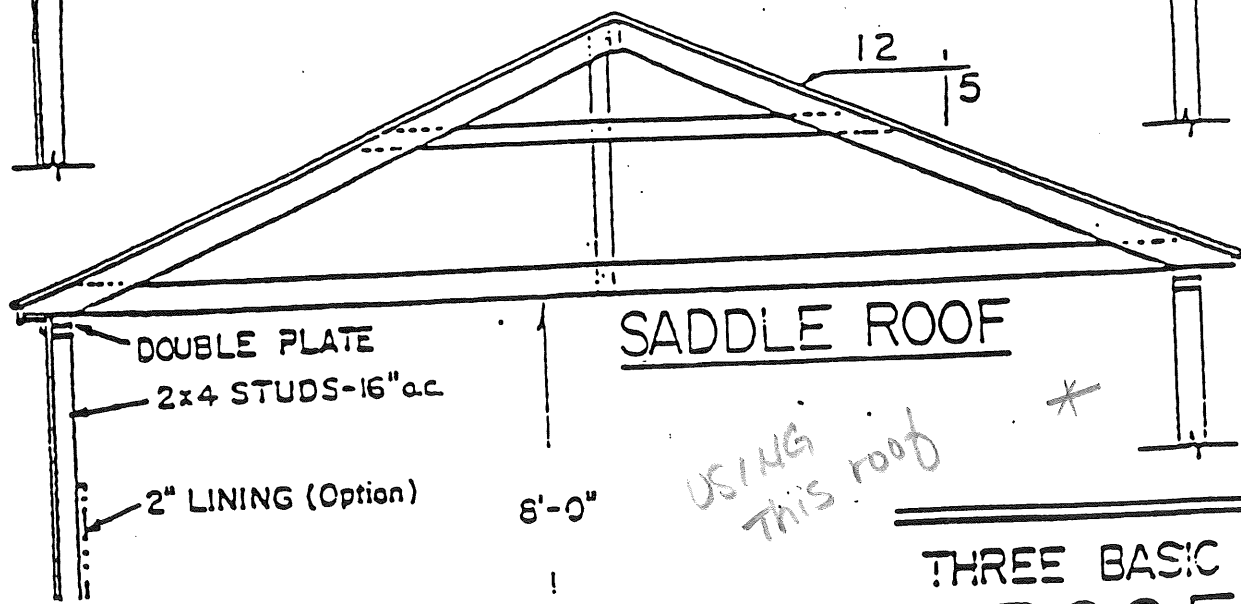
GAMBREL ROOF

7'-3"



LOFT ROOF

6'-6"



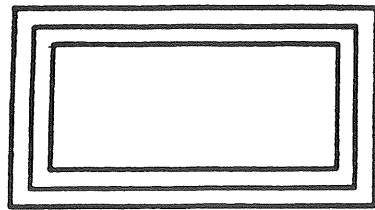
SADDLE ROOF

- DOUBLE PLATE
- 2x4 STUDS-16" o.c.
- 2" LINING (Option)

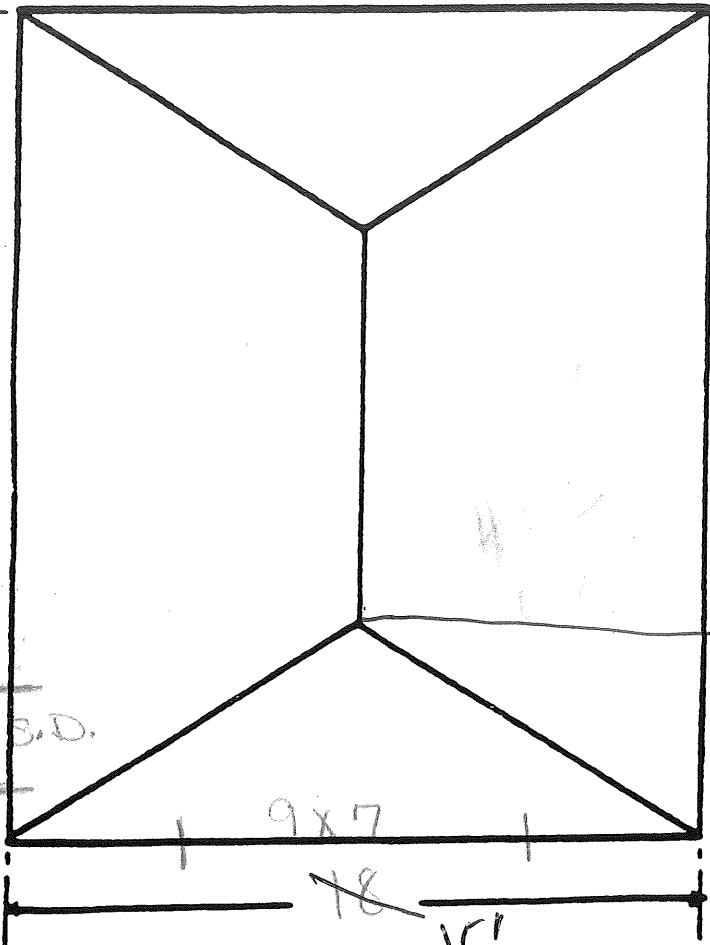
8'-0"

*USING THIS ROOF **

THREE BASIC E.B.R.N
ROOFS
 & CROSS-SECTION



GARAGES • SIDING • ROOFING



FRONT

- DBL Bottom Plate 2 X 4's ✓
- first plate pressure treated ✓
- Studs - 2 x 4 - 16" O.C. ✓
- Corner Posts - triple 2 x 4 ✓
- Top plate - double 2 x 4 ✓
- Rafters - 2 x 6 - 16" O.C. ✓
- Rafter ties 2 x 6 - 48" O.C. ✓
- Ridge board - 2 x 6 ✓
- Roof deck - plywood sheathing 1/2" CDX ✓
- Shingles - 240# asphalt strip shingles ✓
- Cornice - soffit - 1 x 6 or 1 x 8 ✓
Facia - 1 x 4 ✓
- Corner boards - 1 x 3 and 1 x 4
butted at right angles
- Rake - 1 x 4
- Wind braces
- Collar ties
- Felt under shingles
- Metal drip edge 8"
- 1 year free service

Customer Gertrude Murray
 Street 1701 Loonside Rd
 City Portland Phone 775-1533
 Date 6/21/79 Delivery Date _____

SPECIAL INSTRUCTIONS

GARAGE SIZE- 18 x 20 Standard
 20

SPECIFICATIONS

Siding 5/8" 5 ply T-1-11
 Window with locks _____
 Overhead doors 1 9x7 w/ glass / Metal
 Reinforced concrete floor 3000' lb with rebar
 Shingle color _____
 Service door 2/8 x 6/8 Stall in w/ metal / glass

1. Square corners on doors ✓
2. Full floor concrete / w/ rebar ✓
3. Garage door open ✓
4. hazardous light (mistake) ✓
will provide

Building Permit And Zoning Regulations
Are Responsibility Of Owners.

SITE SPECIFICATIONS:

Is site level? check
 Is fill needed? check ✓
 Who orders fill? _____
 Is customer to pay for fill? _____

Is excavation needed? _____
 Who pays for excavation? _____

Plan approved by: Michelle Choate
 Representative