

10-29-12 DWM David 440-7456 Footings + setbacks OK
as per plan

12-3-12 DWM Tyler close-in provide radotr ties, plumbing incomplete.

ⓑ Revised floor framing plan, ⓓ Ledger bolting.

12-10-12 DWM Tyler close-in OK pending revisions.

ELECTRICAL PERMIT

City of Portland, Maine

To the Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland's Electrical Ordinances, National Electrical Code and the following specifications:



Date: 11/27/12
 Permit #: 2012-11-5463
 CBL#: 182-C-005-001

ADDRESS: 6 groveside Rd METER MAKE/MODEL #: _____
 CMP Work Order #: _____ OWNER: Linda D Bridges
 TENANT: _____ PHONE #: _____

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!

TOTAL EACH FEE

OUTLETS:	Receptacles	25	Switches	20	Smoke Detector	0.20	9.00
FIXTURES:	Incandescent	10	Flourescent	2	Strips	0.20	2.40
SERVICES:	Overhead	1	Underground		TTL Amps <800	15.00	15.00
					TTL Amps >800	25.00	
TEMPORARY SERVICE:	Overhead		Underground		TTL Amps	25.00	
METERS:	(Number of)	1				1.00	1.00
MOTORS:	(Number of)					2.00	
RESID/COMMER:	Electric Units					1.00	
HEATING:	Oil/Gas Units		Interior		Exterior	5.00	
APPLIANCES:	Ranges		Cook Tops		Wall Ovens	2.00	
	Insta-hot		Water Heaters		Fans	2.00	
	1 Dryers		Disposals		Dishwasher	2.00	2.00
	Compactors		Spa	1	Washing Machine	2.00	2.00
	Others (denote)					2.00	
MISC. (# of):	Air Cond (Window)					3.00	
	Air Cond (Central)				Pools	10.00	
	HVAC		EMS		Thermostat	5.00	
	Signs					10.00	
	Alarms/Resident					5.00	
	Alarms/Commer					15.00	
	Heavy Duty (CRKT)					2.00	
	Alterations					5.00	
	Fire Repairs					15.00	
	Emergency Lights					1.00	
	Emer Generators					20.00	
	Circus/Carnival					25.00	
PANELS:	Service		Remote		Main	4.00	
TRANSFORMER:	0-25 Kva					5.00	
	25-200 Kva					8.00	
	Over 200 Kva					10.00	

CBL: 182-C-005

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 City of Portland, Maine

MINIMUM COMMERCIAL FEE: \$55.00

MINIMUM RESIDENTIAL FEE: \$45.00

Brief Description of work: 18x22 add 24x24 garage **TOTAL DUE: \$145.00**

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!

CONTRACTOR INFORMATION:

Contractor Name: Louis W Vasvary SR Master License #: MS60020201
 Address: 299 Costello Rd Gardiner Limited License #: _____
 Telephone: (207) 754-4293

Contractor Signature:

PLEASE HAVE YOUR PERMIT # (OR JOB ID) READY & CALL 874-8703 TO SCHEDULE AN INSPECTION!



11146

PLUMBING PERMIT APPLICATION

PROPERTY ADDRESS

Street: 6 Groveside Drive

CBL:

PROPERTY OWNER(S) NAME

NAME: Linda Bridges

Applicant Name: William Carr

Mailing Address of Owner/Applicant (if Different): 368 Gray Rd Fal

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.

Signature of Owner/Applicant: William H Carr Date: 11/27/12

Town/City: PORTLAND Permit #: 2012 115464

Date Permit Issued: 11/27/12 Fee: \$ 50.00 Double Fee Charged []

Local Plumbing Inspector Signature: [Signature] L.P.I. # 360

The Internal Plumbing Fixtures and Piping shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the plumbing system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.

Date Approved (Rough-in)

LPI Signature

Date Approved (Final)

PERMIT INFORMATION

This Application is for

- 1. NEW PLUMBING
- 2. RELOCATED PLUMBING

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City of Portland Maine

Type of Structure to be Served

- 1. SINGLE FAMILY RESIDENCE
- 2. MODULAR OR MOBILE HOME
- 3. MULTIPLE FAMILY DWELLING
- 4. OTHER-SPECIFY _____

Please call 874-8703 with your permit # to schedule inspections!

Plumbing to be Installed by:

NAME: _____

- 1. MASTER PLUMBER
- 2. OIL BURNERMAN
- 3. MFG'D HOUSING DEALER / MECHANIC
- 4. PUBLIC UTILITY EMPLOYEE
- 5. PROPERTY OWNER

LICENSE # | | | | | 1632

Hook-Up & Piping Relocation Maximum of 1 Hook-Up	Column 2		Column 1	
	Number	Type of Fixture	Number	Type of Fixture
<input type="checkbox"/> HOOK-UP: to public sewer by those cases where the connection is not regulated and inspected by the local sanitary district. <input type="checkbox"/> HOOK-UP: to an existing subsurface wastewater disposal system <input type="checkbox"/> PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.	<input checked="" type="checkbox"/> 1	Hosebib / Sillcock	<input type="checkbox"/> 0	Bathtub (and Shower)
	<input type="checkbox"/> 0	Floor Drain	<input checked="" type="checkbox"/> 1	Shower (separate)
	<input type="checkbox"/> 0	Urinal	<input type="checkbox"/> 0	Sink
	<input type="checkbox"/> 0	Drinking Fountain	<input checked="" type="checkbox"/> 1	Wash Basin
	<input type="checkbox"/> 0	Indirect Waste	<input checked="" type="checkbox"/> 1	Water Closet (Toilet)
	<input type="checkbox"/> 0	Water Treatment Softener, Filter, Etc.	<input checked="" type="checkbox"/> 1	Clothes Washer
	<input type="checkbox"/> 0	Grease / Oil Separator	<input type="checkbox"/> 0	Dish Washer
	<input type="checkbox"/> 0	Roof Drain	<input type="checkbox"/> 0	Garbage Disposal
	<input type="checkbox"/> 0	Bidet	<input type="checkbox"/> 0	Laundry Tub
	<input type="checkbox"/> 0	Other: _____	<input type="checkbox"/> 0	Water Heater
	<input checked="" type="checkbox"/> Fixtures (Subtotal) Column 2		<input checked="" type="checkbox"/> Fixtures (Subtotal) Column 1	
			<input checked="" type="checkbox"/> TOTAL FIXTURES	
<input type="checkbox"/> TRANSFER FEE \$10.00	Fees by fixture: First 4 fixtures = \$40 Over 4 = \$10/fixture + \$10 Surcharge		<input type="checkbox"/> Fixture Fee <input type="checkbox"/> Transfer Fee	
			<input type="checkbox"/> Hook-Up & Relocation Fee	
Please call 874-8703 with your permit # to schedule inspections!			PERMIT FEE (TOTAL)	

182006

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that LINDA D BRIDGES

Located At 6 GROVESIDE RD

Job ID: 2012-10-5119-ALTR

CBL: 182- C-005-001

has permission to 18' x22' Add, 24' x24' Garage w/ mudroom Int Reno

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer


Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-10-5119-ALTR

Located At: 6 GROVESIDE RD

CBL: 182- C-005-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. Please note that some setbacks were assumed based upon what was submitted. If any of the given setbacks are inaccurate, it will affect other setbacks. The setbacks must be confirmed by inspection PRIOR to placing any concrete.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
3. A code compliant emergency escape shall be provided the proposed bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
4. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
5. Insulation shall comply with the IECC, 2009 (Maine State Energy Codes). Ventilation of this space is required per ASRAE 62.2 , 2007 edition.
6. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
7. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
8. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where

2012-10-5119 A11r



General Building Permit Application R-3

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>6 Groveside</u>		
Total Square Footage of Proposed Structure/Area <u>972 SF</u>	Square Footage of Lot <u>8,701</u>	Number of Stories <u>ONE</u>
Tax Assessor's Chart, Block & Lot Chart# <u>182</u> Block# <u>C</u> Lot# <u>5</u>	Applicant: (must be owner, lessee or buyer) Name <u>LINDA BRIDGES</u> Address <u>6 GROVESIDE RD.</u> City, State & Zip <u>PORTLAND, ME. 04103</u>	Telephone: <u>207-874-2367</u>
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>0.00000</u> C of O Fee: \$ <u>1605.000</u> Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>SINGLE FAMILY RESIDENCE</u>		
Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>18'x22' ATTACHED ADDITION (IN BACKYARD) 24'x24' ATTACHED (2) CAR GARAGE W/ INCORPORATED MUDROOM. PROVIDE A VAULTED CEILING IN MASTER BEDROOM. DEMO & REBUILD DECK</u>		
Contractor's name: <u>MAINE CONTRACTORS GROUP</u>		Email: <u>celine@mainecontractorsgroup.com</u>
Address: <u>20 HILLTOP LANE</u>		Telephone: <u>653-4189</u>
City, State & Zip: <u>LITCHFIELD, ME. 04350</u>		Telephone: <u>653-7700</u>
Who should we contact when the permit is ready: <u>LANCE BAKER</u>		Telephone: <u>653-7700</u>
Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Lance Baker

Date: 9/27/2012

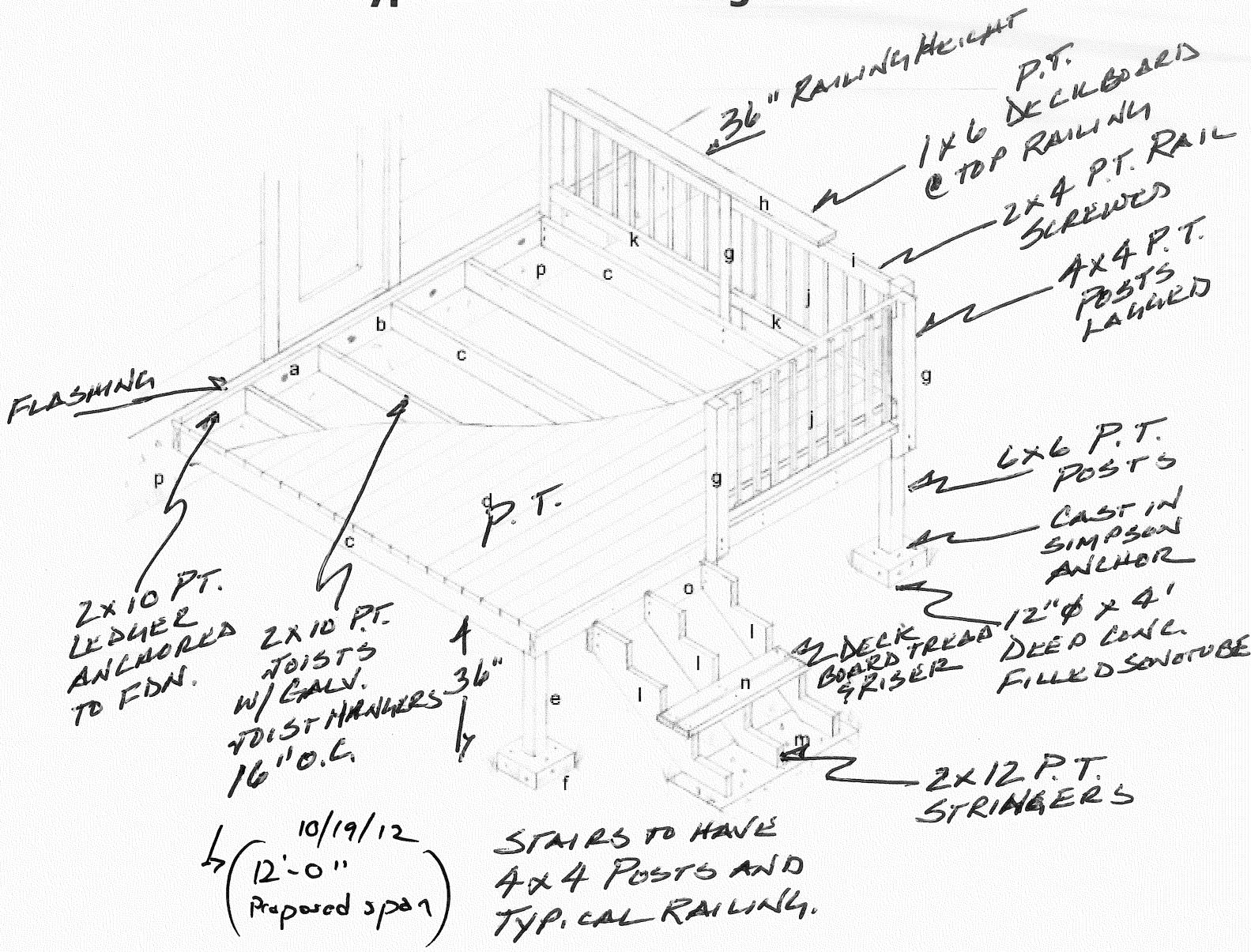
This is not a permit; you may not commence ANY work until the permit is issued

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City of Portland Inspections
Dept. of Building & Planning

Window and Door Schedule

Qty	Type	Door	Insulated	Window	Size	Location	Manufacture	R-Factor	
1	Slider	X	YES		6'0 x 80"	Addition Main	Andersen	Low/E Argon .30	
9	Double Hung		YES	X	42" X 58"	Addition Main	Simonton	Low/E Argon .30	
1	Double Hung		YES	X	30" X 42"	Addition Bath	Simonton	Low/E Argon .30	
1	French Door	X	YES		6'0 x 80"	Addition Entry	Andersen	Low/E Argon .30	
2	Double Hung		YES	X	36" x 48"	Garage	Silverline	Low/E Argon .30	
2	Man Door	X	YES		36" x 80"	Garage & Mudroom	Thermatru	0.25	
2	Garage Doors	X	YES		9' X 7'	Garage	Advantage	6.7	

Typical Deck Framing Details



Linda Bridges
6 Groveside Rd
Portland, Me 04103

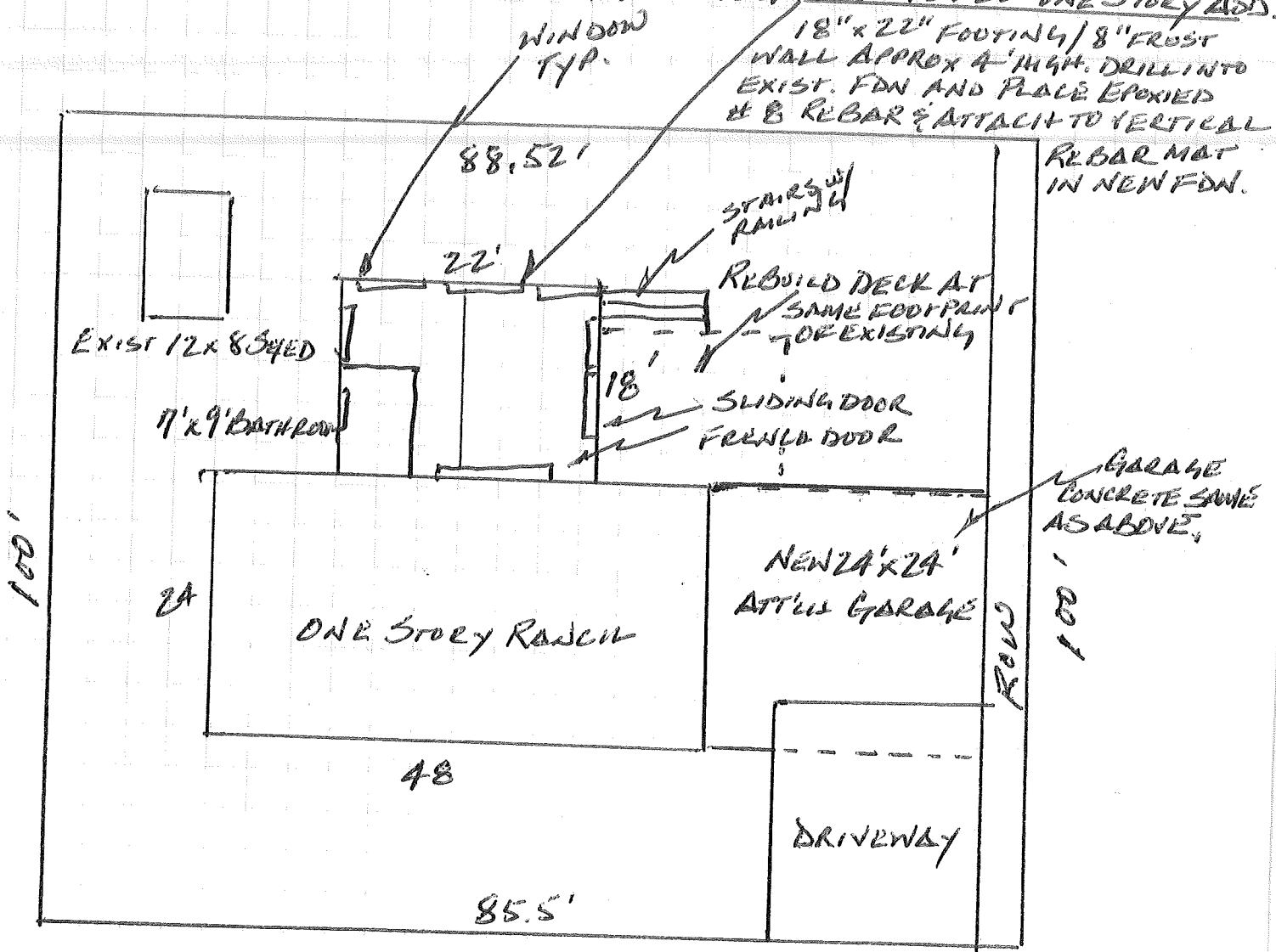
Addition: 9½" I-Joists 16" O.C. x 18' long from outboard end of FDN to anchored doubled 2x10 @ house, w/ joist hangers. Subfloor is ¾" T&G Advantech & dens deck. Ceramic tile floor throughout addition. Framing is 2x6 – 16 O.C., ½" Plywood sheathing. Roof rafters & ridge are 2x10, roof sheathing is 5/8" T&G Advantech, roof top guard barrier and 50 yr. Arch Shingles. Siding & Soffits are vinyl to match house. Entire house will be re-roofed w/ same const. methods as addition – Ice & Water 3' up from all eaves & in valleys, walls are sheetrock, Greenboard in ½ bath, walls R-23, ceiling R-30. Ceiling is V-match Pine.

Garage: Const is the same, save for a trussed roof. New 18'x22' one story add. 18"x22" footing/8" frost wall approx. 4' high. Drill into exist. FDN and place epoxied #8 rebar & attach to vertical Rebar mat in new FDN.

Deck Construction: A double 2x10 P.T. Ledger will be anchored at proper height to house foundation and new addition foundation. One 12" diam. x4' deep hole will be augured for 12" sonotube. Pour 3000 lb. /¾" Aggregate concrete with proper cast in Simpson Hardware for 6x6 P.T. posts. Install double 2x10 rim joists properly lagged. Install 2x10x12 P.T. joists with joist hangers. Install required 4x4 P.T. posts for deck railing system. Install stairs with railings.

Map # 182
Lot #C5
No Scale

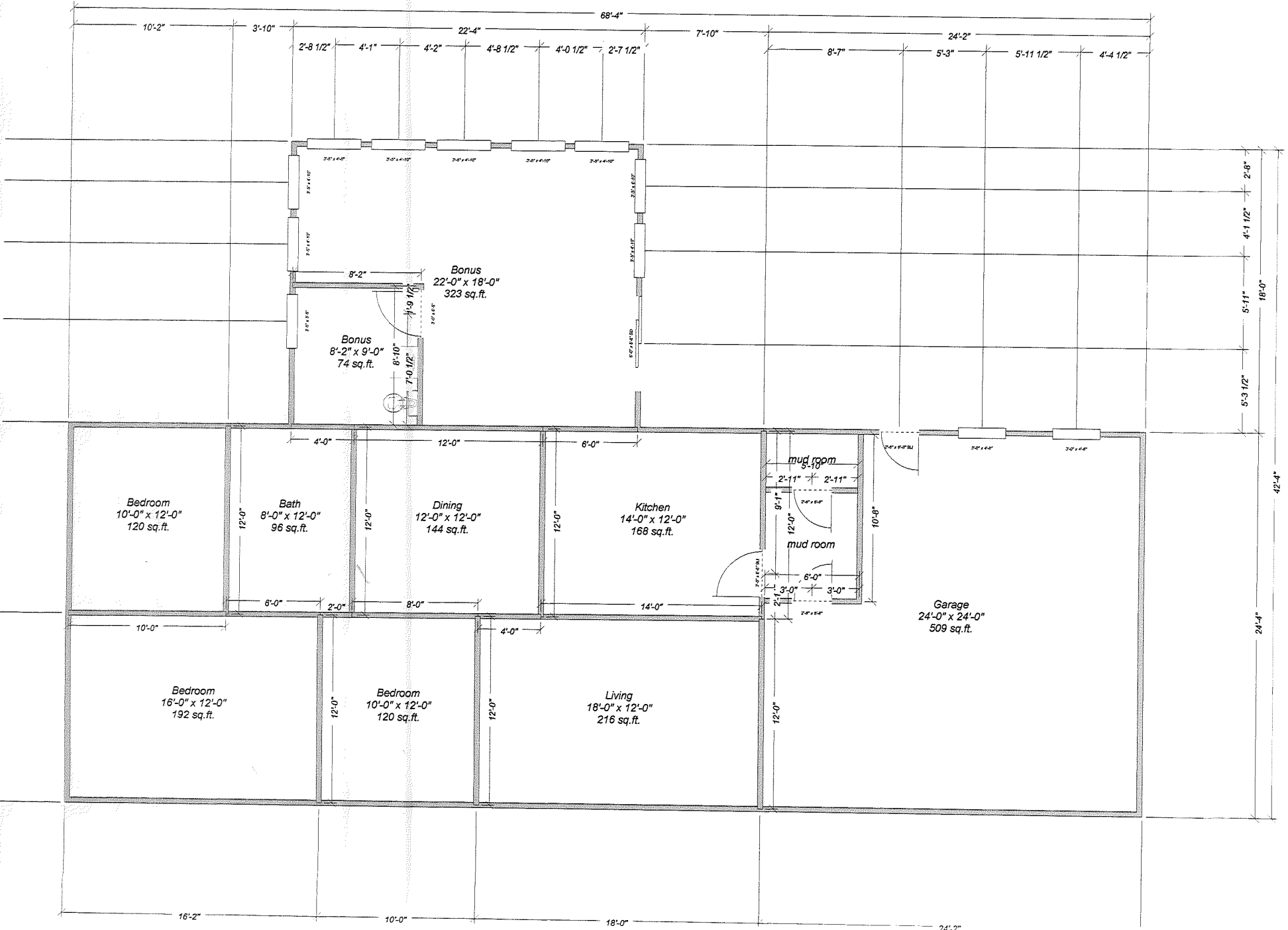
ADDITION 7 1/2" I-BOISTS 16" O.C. X 18' LONG, FROM OUT BOARD END OF FDN. TO ANCHORED DOUBLED 2X10 @ HOUSE, W/ TOIST HANGERS SUBFLOOR IS 3/4" T&G ADVANTEC & DENS DECK, CERAMIC TILE FLOOR THROUGHOUT ADDITION. FRAMING IS 2X6 - 16" O.C., 1/2" PLYWOOD SHEATHING. ROOF RAFTERS & RIDGE ARE 2X10, ROOF SHEATHING IS 5/8" T&G ADVANTEC, ROOF TOP GARD BARRIER AND 50 YR. ARCH SHINGLES. SIDING & SOFFITS ARE VINYL TO MATCH HOUSE. ENTIRE HOUSE WILL BE RE-ROOFED W/ SAME CONST METHODS AS ADD - ICE & WATER 3' UP FROM ALL EAVES & IN VALLEYS, WALLS ARE SHEETROCK, GREEN BOARD IN 1/2 BATH, WALLS R-13, CEILING R-30. CEILING IS V-MATCH FINE. GARAGE CONST IS THE SAME, SAVE FOR A TRUSSED ROOF. NEW 18' X 22' ONE STORY ADD.



6 GROVESIDE RD.

MAP # 182
 LOT # C5
 NO SCALE

LINDA BRIDGES
 6 GROVESIDE RD
 PORTLAND, ME.



10'-2"

3'-10"

68'-4"

7'-10"

8'-7"

5'-3"

4'-4 1/2"

2'-8 1/2"

4'-1"

4'-2"

22'-4"

4'-8 1/2"

4'-0 1/2"

2'-7 1/2"

5'-11 1/2"

2'-0" x 4'-0"

2'-0" x 4'-0"

2'-0" x 4'-0"

2'-0" x 4'-0"

2'-0" x 4'-0"

8'-2"

Bonus
8'-2" x 9'-0"
74 sq.ft.

Bonus
22'-0" x 18'-0"
323 sq.ft.

Bedroom
10'-0" x 12'-0"
120 sq.ft.

Bath
8'-0" x 12'-0"
96 sq.ft.

Dining
12'-0" x 12'-0"
144 sq.ft.

Kitchen
14'-0" x 12'-0"
168 sq.ft.

mud room

mud room

Garage
24'-0" x 24'-0"
509 sq.ft.

Bedroom
16'-0" x 12'-0"
192 sq.ft.

Bedroom
10'-0" x 12'-0"
120 sq.ft.

Living
18'-0" x 12'-0"
216 sq.ft.

2'-8"

4'-1 1/2"

5'-11"

5'-3 1/2"

18'-0"

42'-4"

24'-4"

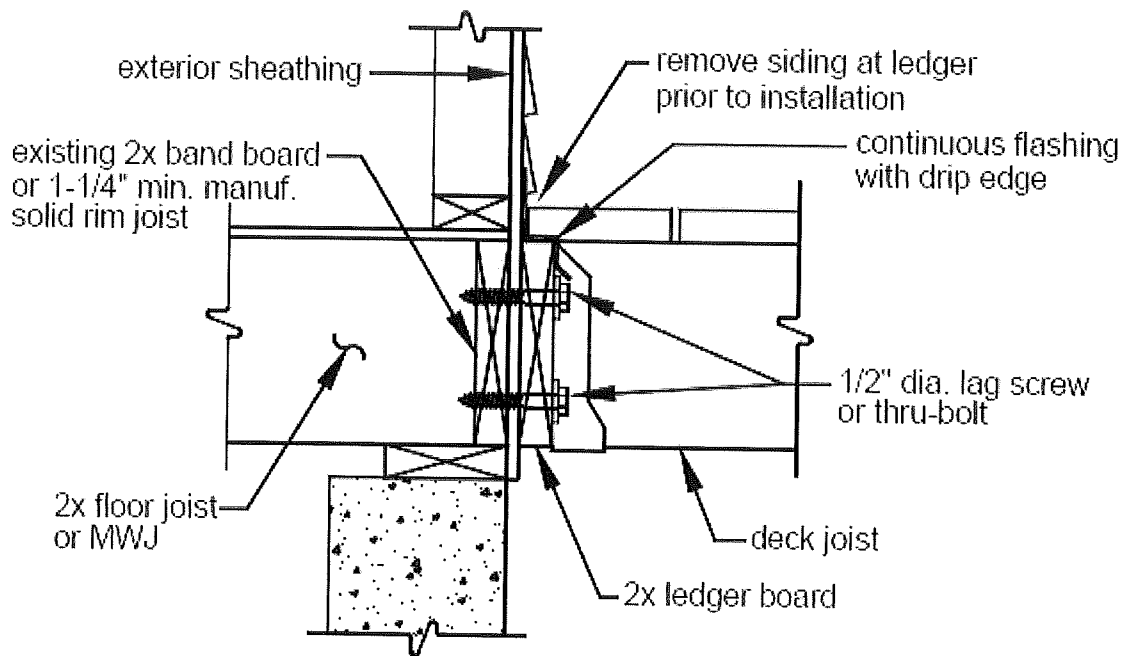
16'-2"

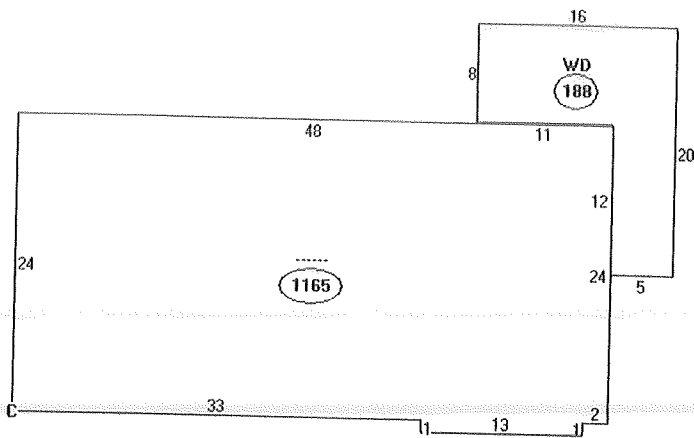
10'-0"

18'-0"

24'-2"

Typical Deck Framing Details





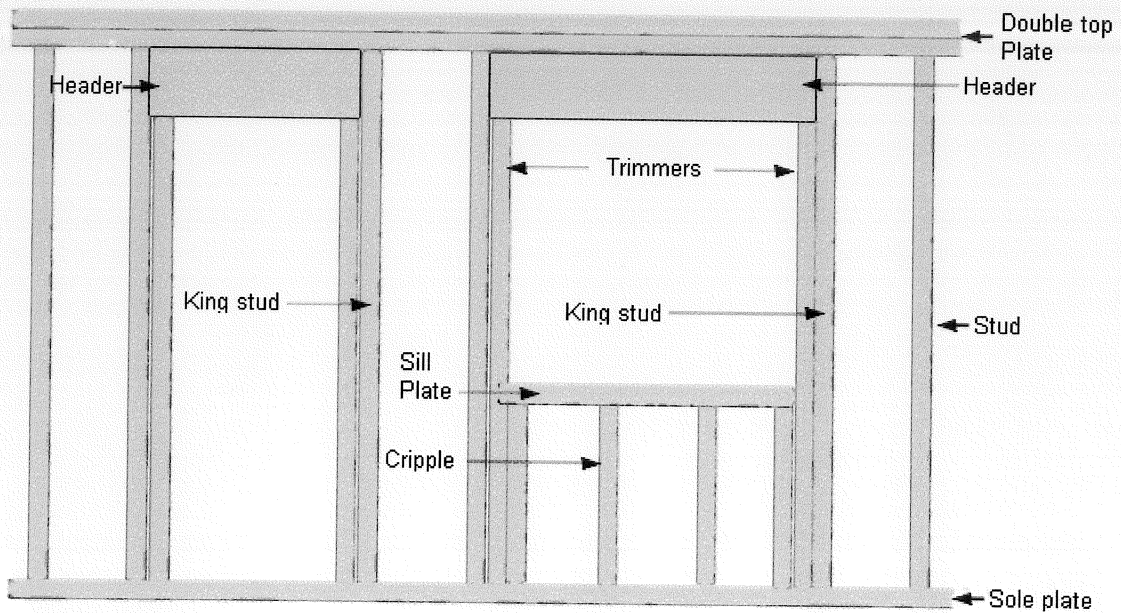
Descriptor/Area

- A:
1165 sqft
- B: WD *rebuild*
188 sqft
- C: RS1 *sketch*
96 sqft

1261
 396 = 18 x 22
 576 = 24 x 24
 144 = 12 x 12
2377 #

$8701 \text{ #} \times 35\% = 3045.35 \text{ #}$ max lot cov.

Typical Wall Framing Detail

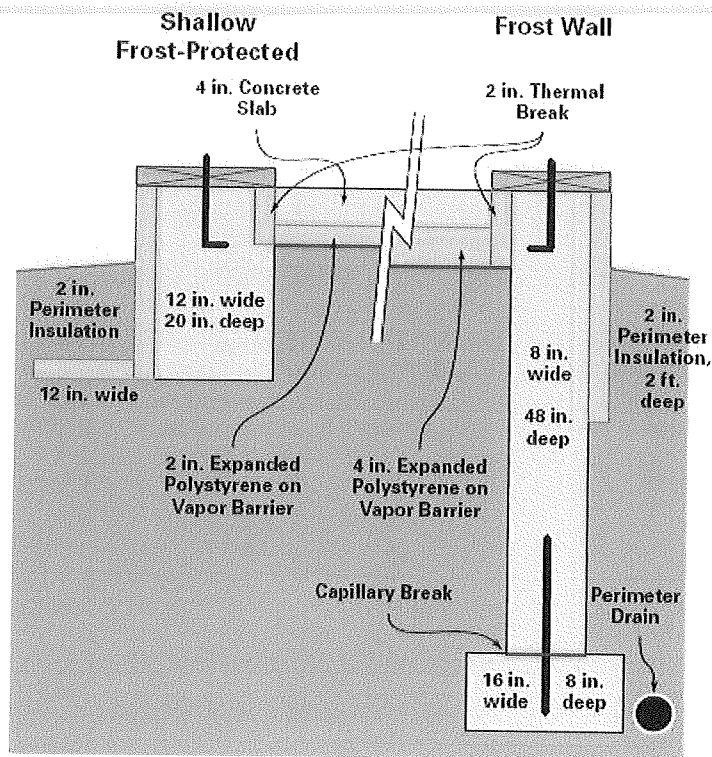


Components of a framed wall
Showing rough door and
window openings

2x6 16'c

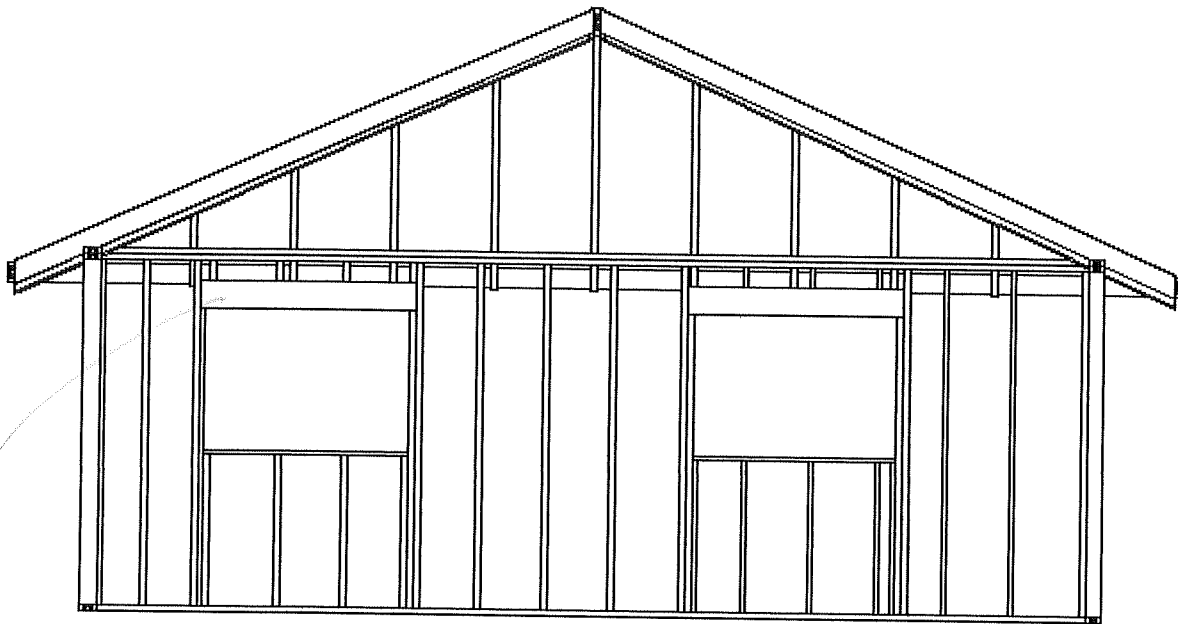
2x10 Header

Frost Wall Foundation Detail with Proper Drainage





Cross Section with Framing Details



2x6 16" c

> 2x10 Header

EXIST HOME = 960 SF
ADDITION = 396 SF
GARAGE = 576 SF

Jonathan Rioux - Re: 6 Goveside

From: Celine Gagnon <celine@mainecontractorsgroup.com>
To: Jonathan Rioux <JRIOUX@portlandmaine.gov>
Date: 10/19/2012 2:27 PM
Subject: Re: 6 Goveside

Jonathan, David is on his way back to your office. He will be there in 10 mins.
Celine

On Fri, Oct 19, 2012 at 2:19 PM, Jonathan Rioux <JRIOUX@portlandmaine.gov> wrote:

David or Lance,

Can you provide a written response (email) to the items in bold below?

What are the Bathroom fixture clearances and finish headroom?

HEADROOM 7'-9"
BATHROOM IS 1/2
W/ SINK & TOILET, 4'-
3" APART.

Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.

Window/ door schedule — WAS INCLUDED IN PERMIT.

- **Safety glazing for any hazard areas (Section R308)?** NO HAZARD AREAS.

Foundation

- **Anchor Bolts/Straps, spacing (Section R403.1.6)?** 4' O.C.

Is the proposed addition a bedroom? No - IT'S A LIVING ROOM

A code compliant emergency escape shall be provided the proposed bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.

A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.

Insulation shall comply with the IECC, 2009 (Maine State Energy Codes). Ventilation of this space is required per ASRAE 62.2 , 2007 edition.

A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level.

What is the proposed door between the garage and residence?

30/68 HONEYCOMB STEEL DOORS

- The door opening between the garage and residence shall be equipped with solid wood doors not less than 1 3/8" inches in thickness, solid or honeycomb core steel doors not less than 1 3/8 inches thick, or 20-minute fire-rated doors.

Are the proposed truss rooms all vaulted?

*No Attic
TRUSSES ONLY IN GARAGE
RAFTERS IN ADDITION W/ COLLAR
TIES.*

- R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.

Submit specification for engineered trusses and I-joists prior to construction. *WILL DO.*

What are the beam spans/ sizing between each "Sona Tube"?

8'

- R502.5 Allowable girder spans. The allowable spans of girders fabricated of dimension lumber shall not exceed the values set forth in Tables R502.5(1) and R502.5(2).

Jonathan Rioux
Code Enforcement Officer/ Plan Reviewer

City of Portland
Planning and Urban Development Department
Inspection Services Division
389 Congress St. Rm 315
Portland, ME 04101
Office: [207.874.8702](tel:207.874.8702)
Support Staff: [207.874.8703](tel:207.874.8703)
jrioux@portlandmaine.gov

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Celine J Gagnon
Office Manager
Maine Contractors Group, LLC
207-784-6100
www.mainecontractorsgroup.com

2" X 12" X 22" K.D. SPRUCE JOISTS
@ 12" O.C. TYP. JOISTS REST ON
8" CONCRETE FROSTWALL & PLATE AT
OUTBOARD END AND IN JOIST HANGERS
AND LEDGER ON INBOARD END.

4" TIMBER
OCK LAGS

1 3/4" X 12" X 16' LVL

6" X 6" X 4' FT POST TYP. @ EITHER END,
KNOTCHED TO ACCOMMODATE LVL +/- 12" IN GROUND

12" X 12" X 4" CONC. BLOCK

RECEIVED

DEC 10 2012

Dept. of Building Inspections
City of Portland Maine

6 GROVESIDE ROAD
18' X 22" ADDITION
CRANKS TO FLOOD SYSTEM.

2x10" K. Δ. RIGID POLE

2x10" RAFTERS - 2' O.C.
TYPICAL

(2) 1 3/4" x 16" LVL'S

RECEIVED

DEC 10 2012

Dept. of Building Inspections
City of Portland Maine

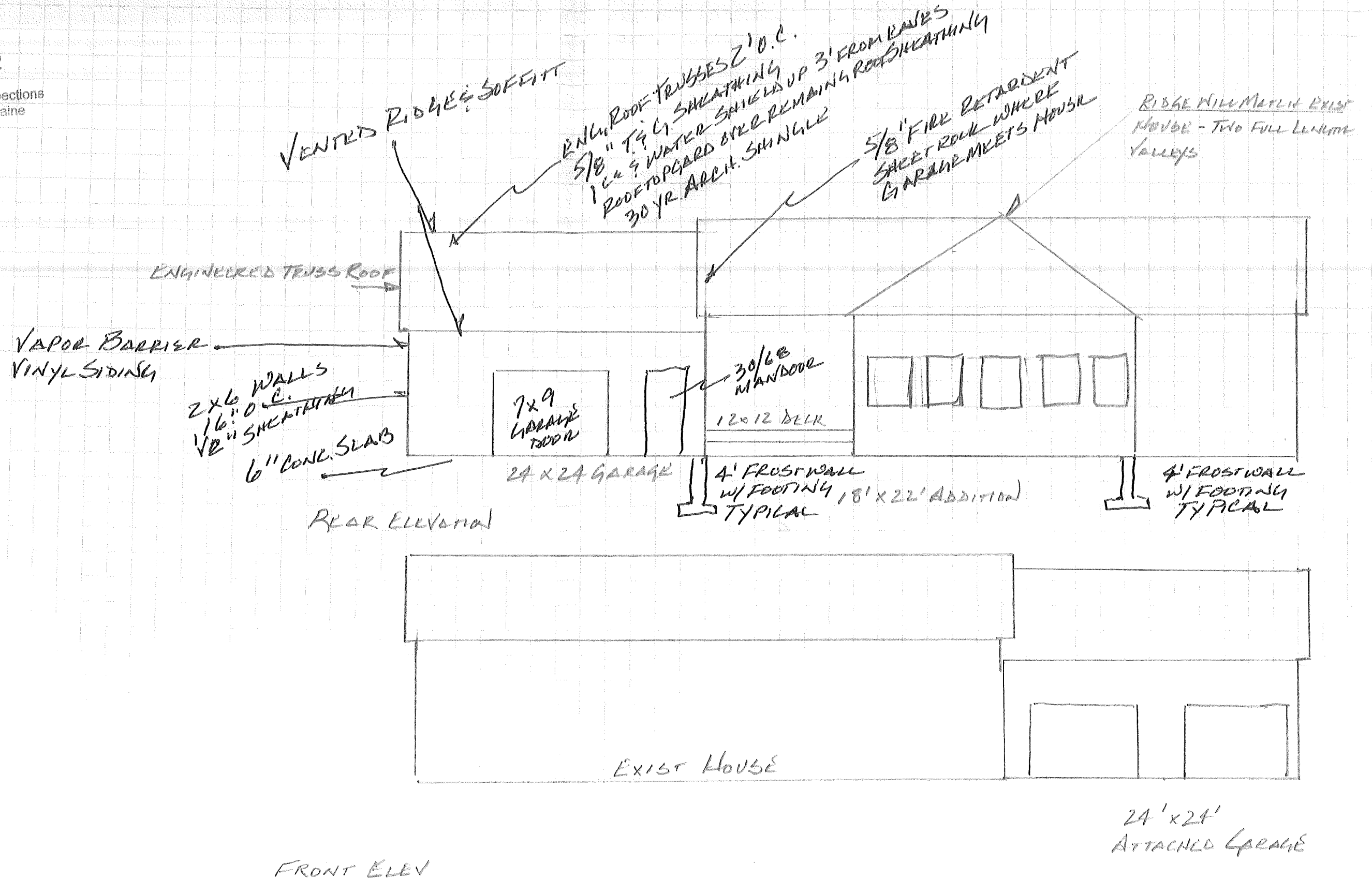
2x6" COLLAR TIES - 2' O.C. TYPICAL

6 GROVESIDE RD,
18' x 22' ADDITION
CHANGES TO ROOF SYSTEM

RECEIVED

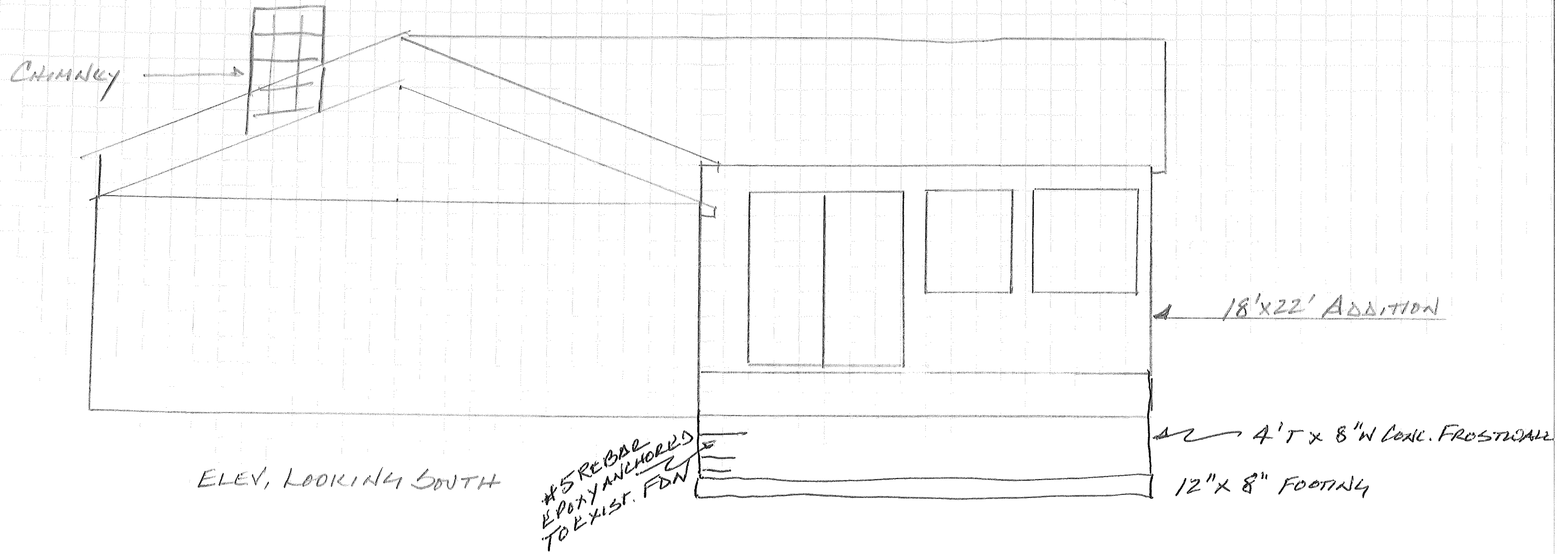
OCT 19 2012

Dept. of Building Inspections
City of Portland Maine



MAP # 182
LOT # C5
SCALE: 1/8" = 1'

LINDA BRIDGES
6 GROVESIDE RD
PORTLAND, ME.



ELEV, LOOKING SOUTH

#5 REBAR
EPOXY ANCHORED
TO EXIST. FDN

18'x22' ADDITION

4' T x 8" W COAL. FROSTWALL

12" x 8" FOOTING

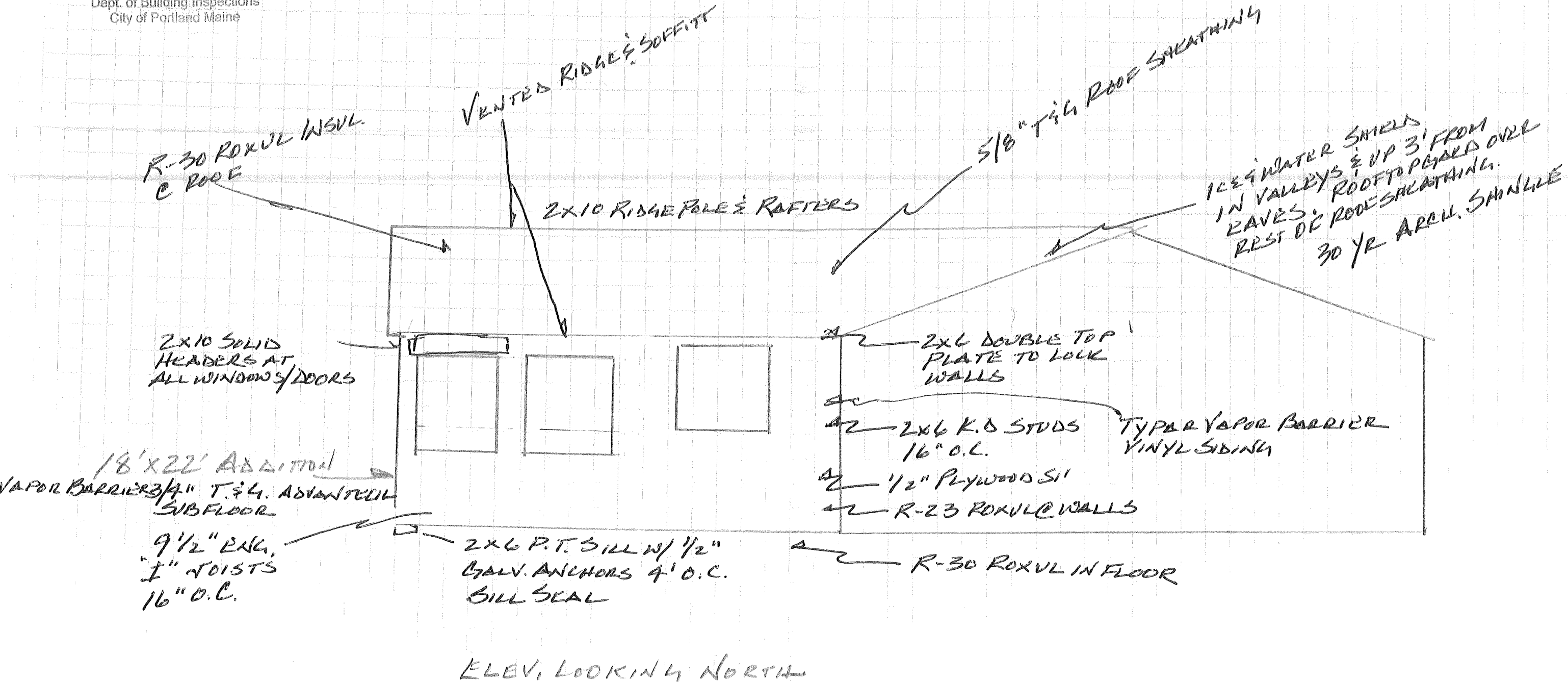
MAP # 102
LOT # C5
SCALE 1/4" = 1'

LINDA BRIDGES
6 GROVESIDE RD.
PORTLAND, ME.

RECEIVED

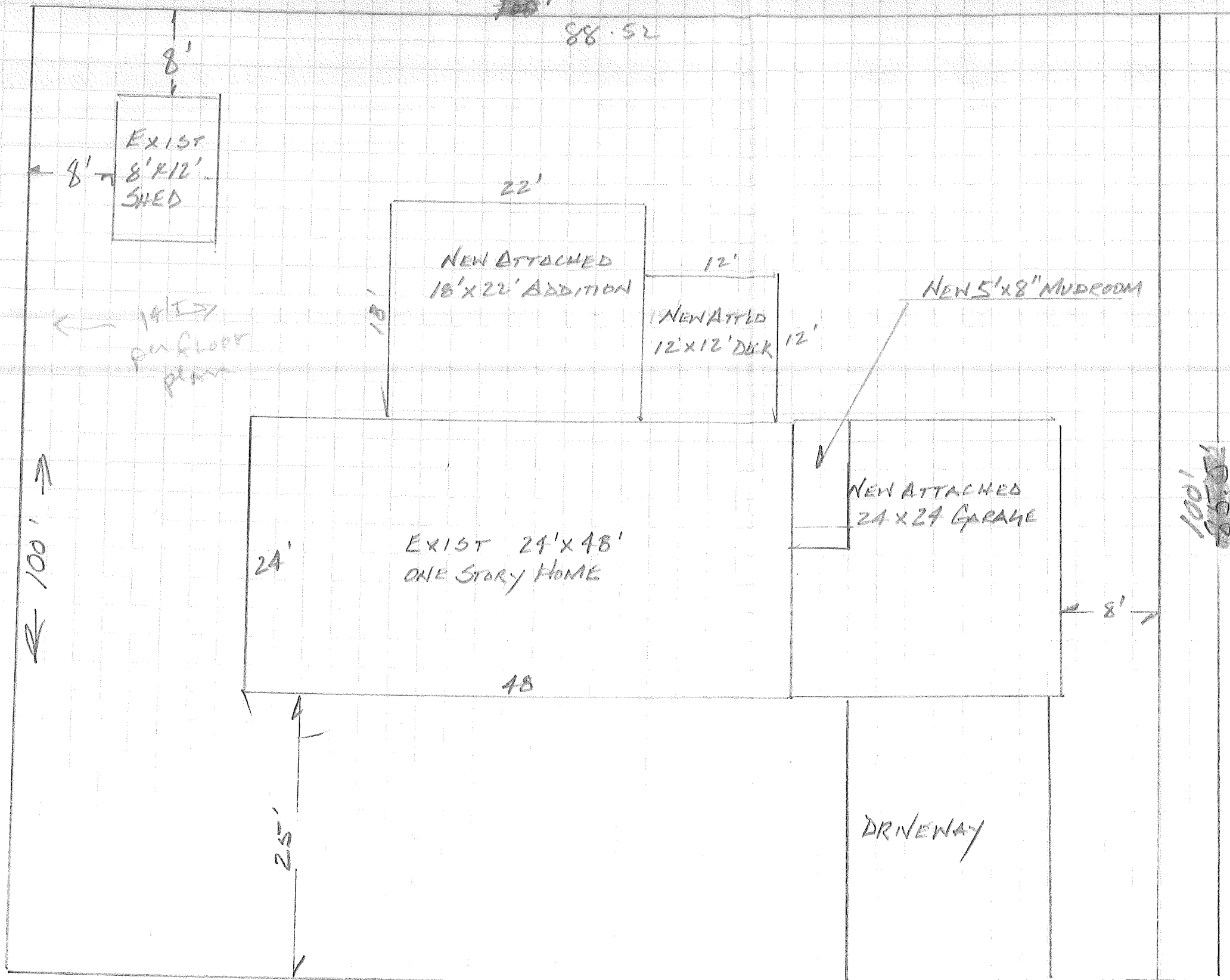
OCT 19 2012

Dept. of Building Inspections
City of Portland Maine



MAP # 182
LOT # C5
SCALE 1/4" = 1'

LINDA BRIDGES
6 GROVESIDE RD.
PORTLAND, ME.



25
24
18
67

100
- 67
33'
↓
should be
the REAR
set back
per information

R-3

Front: 25' min req - 25' show
Rear: 25' min req - 33' assumed by plan
Side: 1st story 8' min 8' & 14'+ show

24
24
8
80

85.5'

MAP # 182
LOT # C5
SCALE: 1" = 10'

LINDA BRIDGES
6 GROVESIDE RD.
PORTLAND, ME