

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 070157

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
APR - 9 - 2007
CITY OF PORTLAND

This is to certify that FILES PETER C & SHARON M FILES ITS/Maine Windows Sun

has permission to Installation of 120 sq ft sunroom on existing deck

AT 136 WOODFIELD RD 182 C002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Thomas M. Marler 3/6/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0157	Issue Date:	CBL: 182 C002001
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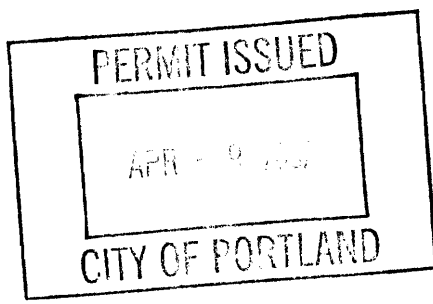
Location of Construction: 136 WOODFIELD RD	Owner Name: FILES PETER C & SHARON M FI	Owner Address: 136 WOODFIELD RD	Phone:
Business Name:	Contractor Name: Maine Window & Sunroom	Contractor Address: 71 Portland Rd. Kennebunk	Phone: 2079852300
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family Home	Proposed Use: Single Family Home - Installation of 120 sq ft sunroom on existing deck	Permit Fee: \$110.00	Cost of Work: \$9,000.00	CEO District: 5
Proposed Project Description: Installation of 120 sq ft sunroom on existing deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: E3 Type: SB IRC 2003	

Signature:	Signature: <i>Jm</i> 03/6/07
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: Idobson	Date Applied For: 02/12/2007	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>2/13/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	Date: <i>2/13/07</i>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0157	Date Applied For: 02/12/2007	CBL: 182 C002001
-----------------------	---------------------------------	---------------------

Location of Construction: 136 WOODFIELD RD	Owner Name: FILES PETER C & SHARON M FI	Owner Address: 136 WOODFIELD RD	Phone:
Business Name:	Contractor Name: Maine Window & Sunroom	Contractor Address: 71 Portland Rd. Kennebunk	Phone (207) 985-2300
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Installation of 120 sq ft sunroom on existing deck	Proposed Project Description: Installation of 120 sq ft sunroom on existing deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 02/13/2007**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 03/06/2007**Note:** **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Applicant notified that
 permit ready for pick-up.

3/6/07

Jim M



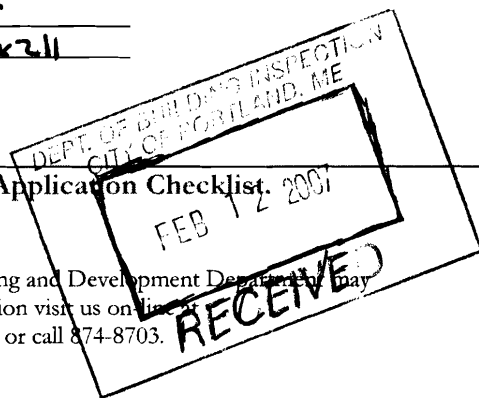
General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>136 Woodfield Road</u>		
Total Square Footage of Proposed Structure <u>120</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>182</u> Block# <u>C</u> Lot# <u>2</u>	Owner: <u>PETER + SHARON FILES</u>	Telephone: <u>253-5774</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>TrueNorth Home Systems</u> <u>91 Industrial Park Rd</u> <u>Saco ME 04072</u> <u>985-2300 x211</u>	Cost Of Work: \$ <u>9000</u> Fee: \$ <u>110⁰⁰</u> C of O Fee: \$ _____
Current Specific use: <u>SINGLE-FAMILY DWELLING</u>		
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>SINGLE-FAMILY DWELLING</u>		
Project description: <u>Installation of 120 sqft sunroom on existing deck</u>		
Contractor's name, address & telephone: <u>TrueNorth Home Systems</u> <u>91 Industrial Park Road</u> <u>SACO ME 04072</u>		
Who should we contact when the permit is ready: <u>ERIN VAFIADES</u>		
Mailing address: _____ Phone: <u>985-2300 x211</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Erin Vafiades - TNHS</u>	Date: <u>02-05-07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

TABLE 1: LOAD/SPAN TABLE FOR HONEYCOMB CORE PANELS

PANEL SPAN (ft)	PANEL CONFIG.	ALLOWABLE LIVE ROOF LOADS FOR HONEYCOMB (H/C) PANELS								
		20 psf	25 psf	30 psf	35 psf	40 psf	45 psf	50 psf	55 psf	60 psf
8	3" HC	.	.	.	.	.	.	.	.	.
8	3" HC + H	.	.	.	.	.	.	.	.	.
8	4.5" HC	.	.	.	.	.	.	.	.	.
8	4.5" HC + H	.	.	.	.	.	.	.	.	.
8	6" HC	.	.	.	.	.	.	.	.	.
8	6" HC + H	.	.	.	.	.	.	.	.	.
9	3" HC	.	.	.	.	.	.	.	.	.
9	3" HC + H	.	.	.	.	.	.	.	.	.
9	4.5" HC	.	.	.	.	.	.	.	.	.
9	4.5" HC + H	.	.	.	.	.	.	.	.	.
9	6" HC	.	.	.	.	.	.	.	.	.
9	6" HC + H	.	.	.	.	.	.	.	.	.
10	3" HC	.	.	.	.	.	.	.	.	.
10	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
10	3" HC + H	.	.	.	.	.	.	.	.	.
10	4.5" HC	.	.	.	.	.	.	.	.	.
10	4.5" HC + H	.	.	.	.	.	.	.	.	.
10	6" HC	.	.	.	.	.	.	.	.	.
10	6" HC + H	.	.	.	.	.	.	.	.	.
11	3" HC	.	.	.	.	.	.	.	.	.
11	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
11	3" HC + H	.	.	.	.	.	.	.	.	.
11	4.5" HC	.	.	.	.	.	.	.	.	.
11	4.5" HC + H	.	.	.	.	.	.	.	.	.
11	6" HC	.	.	.	.	.	.	.	.	.
11	6" HC + H	.	.	.	.	.	.	.	.	.
12	3" HC	.	.	.	.	.	.	.	.	.
12	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
12	3" HC + H	.	.	.	.	.	.	.	.	.
12	4.5" HC	.	.	.	.	.	.	.	.	.
12	4.5" HC + H + SKY	.	.	.	.	.	.	.	.	.
12	4.5" HC + H	.	.	.	.	.	.	.	.	.
12	6" HC	.	.	.	.	.	.	.	.	.
12	6" HC + H	.	.	.	.	.	.	.	.	.
13	3" HC	.	.	.	.	.	.	.	.	.
13	3" HC + H + SKY	.	.	.	.	.	.	.	.	.
13	3" HC + H	.	.	.	.	.	.	.	.	.
13	4.5" HC	.	.	.	.	.	.	.	.	.
13	4.5" HC + H + SKY	.	.	.	.	.	.	.	.	.
13	4.5" HC + H	.	.	.	.	.	.	.	.	.
13	6" HC	.	.	.	.	.	.	.	.	.
13	6" HC + H	.	.	.	.	.	.	.	.	.

60 psf

(Continued next page)

PETER + SHARON FILES

136 WOODFIELD ROAD

TABLE 21-0

NOTES FOR HONEYCOMB ROOF PANEL LOAD TESTS

2.1.0

NOTES FOR HONEYCOMB PANEL LOAD TESTS

- 1 a) • = Allowable loads for panel spans of 8', 10', 12', 14', 16' and 18', based upon ASTM E-72-80 test results.
- b) • = Allowable loads for panel spans of 9', 11', 13', 15' and 17', based upon interpolation of ASTM E-72-80 test results.
- c) 3" HC = 3" thick Honeycomb Panel
- d) H = Thermally-broken H-stiffener
- e) SKY = Skylight
- f) CONFIG. = Configuration

- 2 a) Physical properties are based on published data or manufacturer specifications.
- b) Fire testing performed by an independent testing facility.
- c) COEF. TH. EXP. = Published coefficient of thermal expansion (IN/(IN-F°)).
- d) R-FACTOR = Published thermal resistance (SQ.FT.-HR-°F/BTU)
- e) FT = Feet
- f) IN = Inch
- g) PSI = Pounds per square inch
- h) PSF = Pounds per square foot
- i) PCF = Pounds per cubic foot
- j) ULT. = Ultimate
- k) AL = Aluminum
- l) HC = Honeycomb
- m) L = Longitudinal
- n) T = Transverse

- 3 a) Test results are based on ASTM E-72-80 procedures using a uniform load.
- b) Tests were performed by an independent testing laboratory.
- c) Where H-stiffeners were used, they were fastened to the panel using silicone sealant.

- 4 a) Test results are based on ASTM E-72-80 procedures using a concentrated load.
- b) Tests were performed by an independent testing laboratory.



sw20.p65

REV 0206



Main Window&Sunroom
71 Portland Rd.
Kennebunk, ME 04043

4/2/2004

Attn: Jason Johnson

RE: Compliance with BOCA 1999 Code

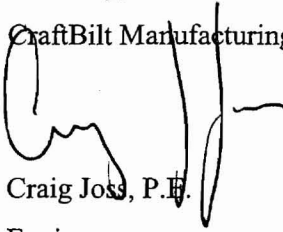
Dear Jason,

Per your request, we are pleased to inform you that Craft-Bilt Manufacturing studio/gable-, aluminum/vinyl-patio enclosures comply with the sunroom construction requirements of the 1999 BOCA Code.

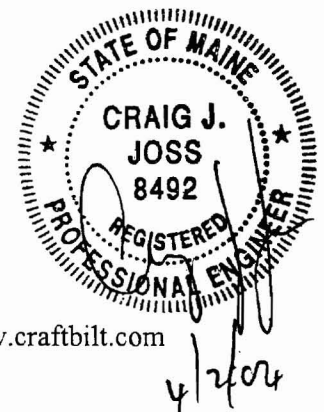
Should you have any additional questions, please feel free to contact us.

Sincerely,

CraftBilt Manufacturing Company


Craig Joss, P.E.

Engineer



Enthusiastic Employees . . . Flawless Performance . . . Delighted Customers

53 Souderton-Hatfield Pike • Souderton, PA 18964 • 215.721.7700 • Fax 215.721.9338 • www.craftbilt.com


TRUE NORTH™
HOME SYSTEMS
Established 1989

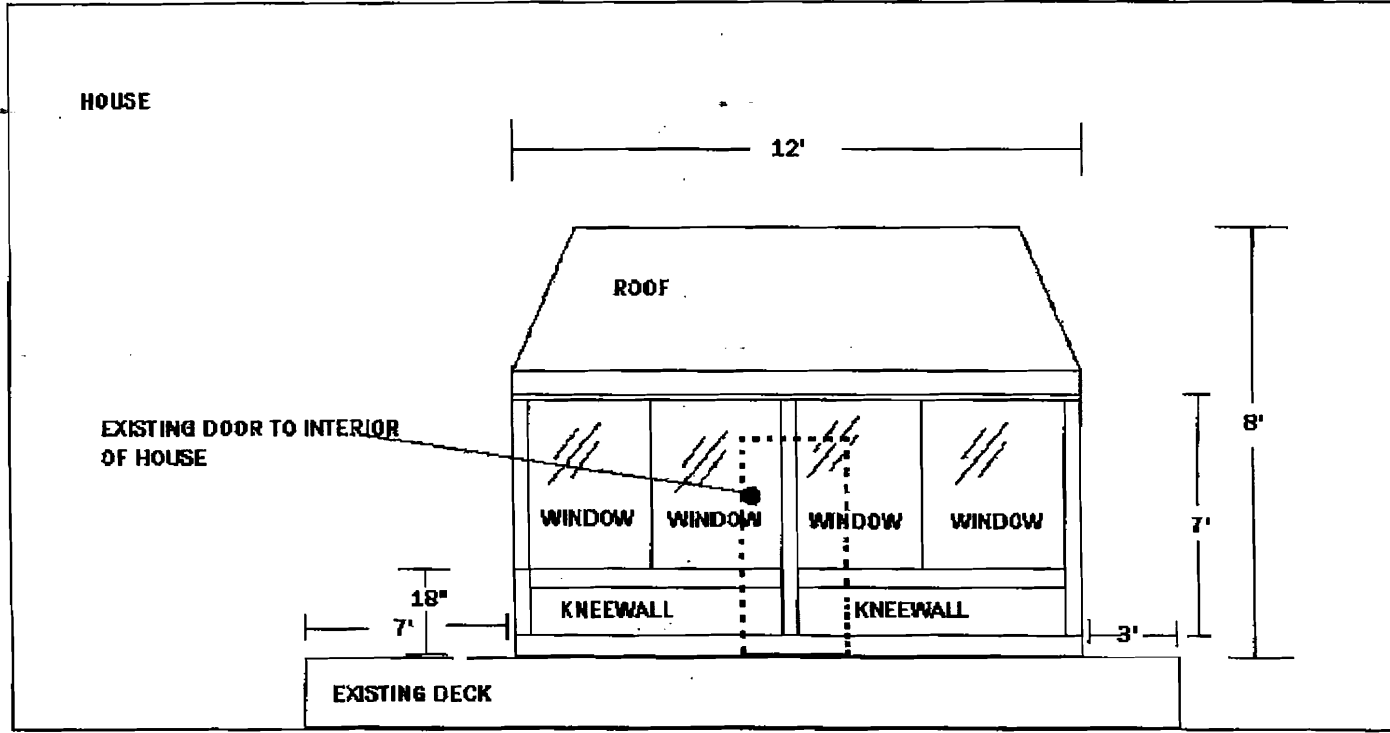
DATE: 1/11/07

JOB NAME & ADDRESS:

Sharant Peter Files
136 Woodfield Road
Portland, ME 04102

I, Peter C. Files, hereby authorize
TrueNorth™ Home Systems to act as my agent to acquire a
building permit for my home improvement project.

+ Peter C. Files
Homeowner Signature



PETER AND SHARON FILES
 136 WOODFIELD ROAD
 PORTLAND ME

REAR ELEVATION OF PROPOSED SUNROOM TO BE
 BUILT BY TRUENORTH HOME SYSTEMS, 91
 INDUSTRIAL PARK ROAD, SAGO ME.

NOT TO SCALE; ALL MEASUREMENTS APPROXIMATE.



91 Industrial Park Rd.
 Saco, ME 04072
 207-985-2300 X 211
 207-286-8039 fax

Fax

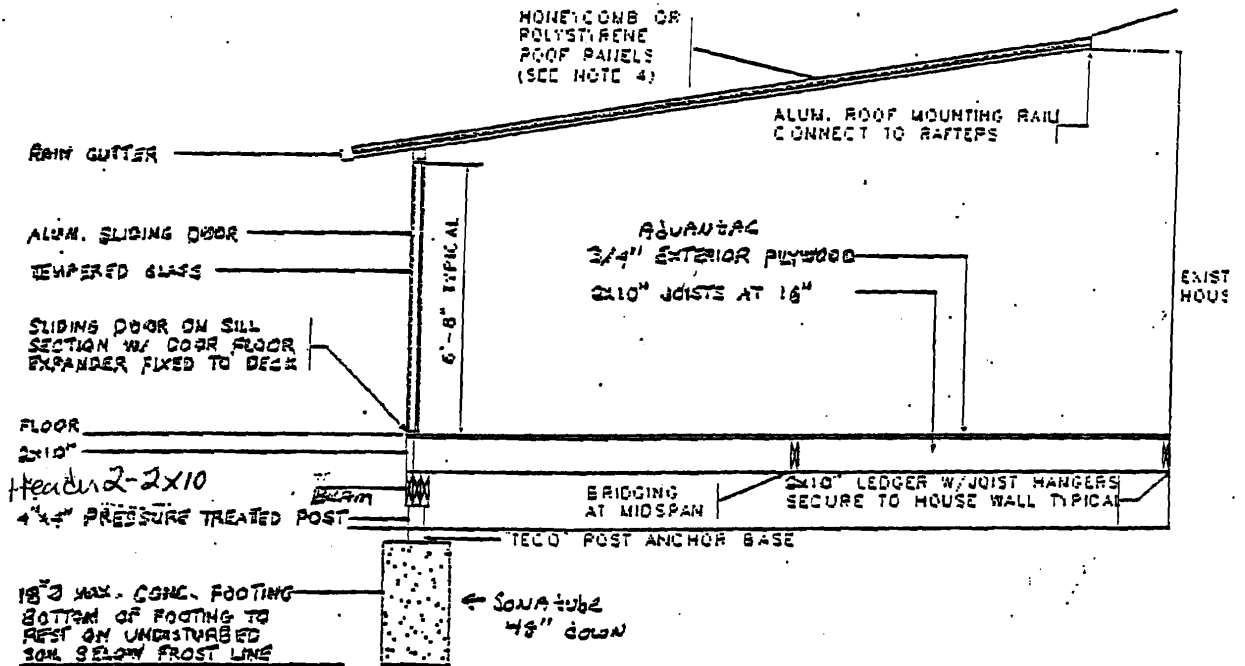
To: City of Pthd	From: Erin VaFiades
Att: Code Enforcement	Pages: 2
Fax: 874-8716	Date: 2/12/07
PO #	Job Name: FILES

PETER + SHARON FILES

136 WOODFIELD RD

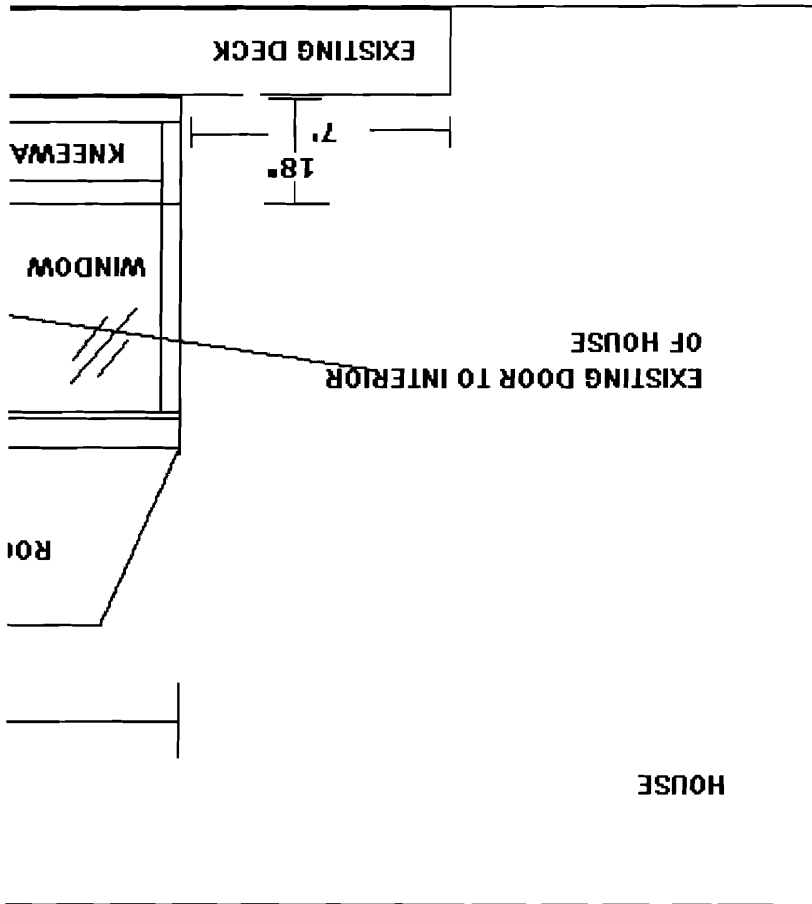
FIGURE 50-2

STUDIO ROOM CROSS SECTION



STUDIO ROOM CROSS SECTION (WOODEN DECK)

PETER AND SHARON FILES
136 WOODFIELD ROAD
PORTLAND ME



Drawing not to scale



TRUENORTH
HOME SYSTEMS

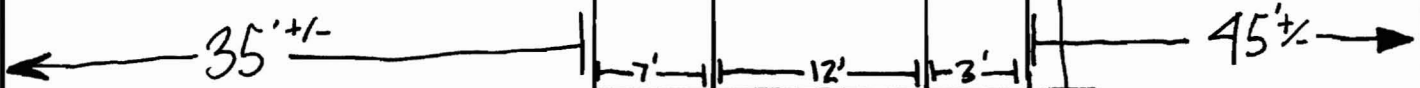
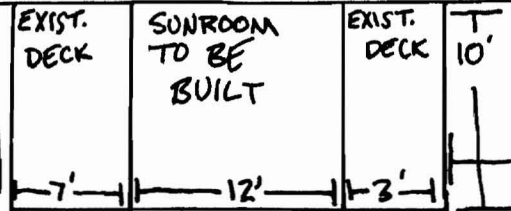
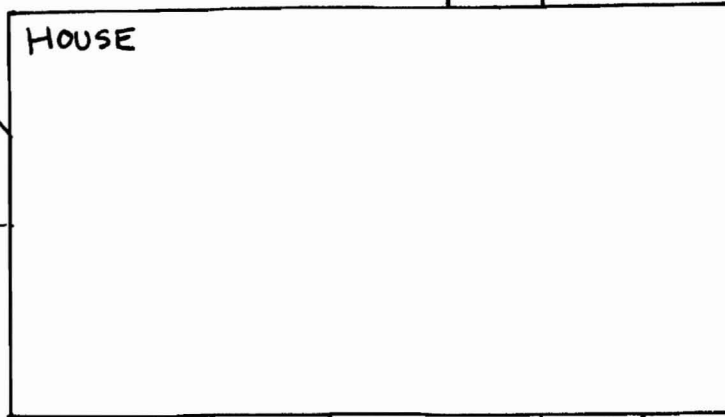
"We Treat Your Home Like Our Own."

PETER + SHARON FILES
136 WOODFIELD ROAD

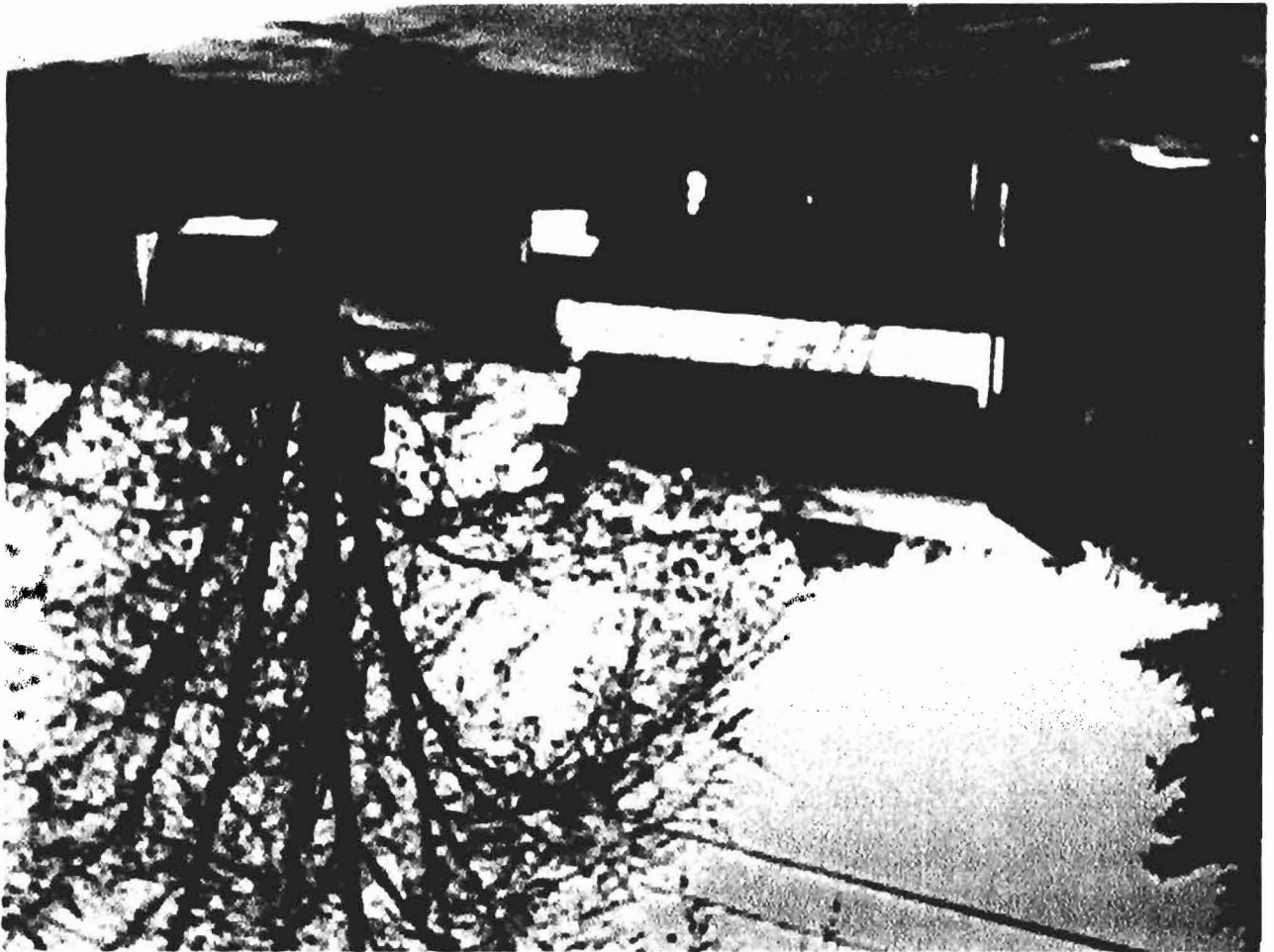
WOODFIELD ROAD

R-3 25' min - 30' + given
 rear: 25' min - 30' + given
 front: N/A
 sides: 14' (2 stories) - 14' + show each side
 this setback is much closer

DRIVE



Established 1989



THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF DEED BOOK 8957 PAGE 223 COUNTY Cumberland
 PLAN BOOK 58 PAGE 9 LOT 94

ADDRESS: 136 Woodfield Road, Portland, Maine

Job Number: 458-54

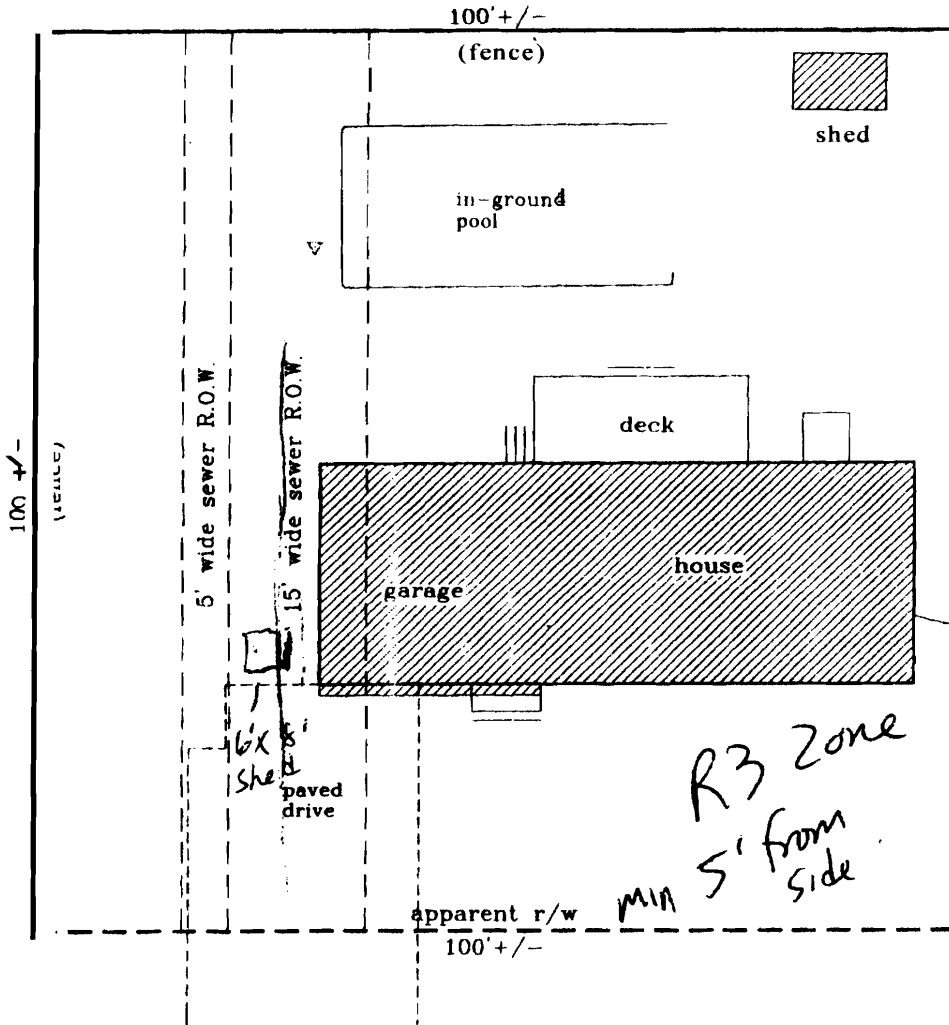
Buyers: Peter C. Files, Sharon Files & Cynthia Weitz

Inspection Date: 2-24-04

Scale: =

Client File#: T 7058

Sellers: Richard F & Virginia B Charron
from previous submitted for shed



DEPT. OF CONSUMER PROTECTION
 DIVISION OF REAL ESTATE

NOV 19 2004

1 story wood structure w/ concrete foundation

*more than 40yr
 city gave permission
 for pool*

*R3 zone
 min 5' from side*

Woodfield Road to Wayside Rd.

[Handwritten signature]

HEREBY CERTIFY TO Ingraham Title Co Saco Valley Credit Union and its title insurer

foundments found did not conflict with the deed description
 he dwelling setbacks do not violate town zoning requirements
 s delineated on the Federal Emergency Management Agency Community
 'anel 230051-0006 B
 he structure does not fall within the special flood hazard zone
 he land does not fall within the special flood hazard zone
 wetlands study has not been performed

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

copyright © 1994

Livingston - Hughes
 Professional Land Surveyors
 88 Guinea Road
 Kennebunkport - Maine 04046
 207-967-9761 phone 207-967-4831 fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	182 C002001
Location	136 WOODFIELD RD
Land Use	SINGLE FAMILY
Owner Address	FILES PETER C & SHARON M FILES JTS 136 WOODFIELD RD PORTLAND ME 04102
Book/Page	23629/217
Legal	182-C-2 WOODFIELD RD 134-140 10000 SF

Current Assessed Valuation

Land	Building	Total
\$67,400	\$149,000	\$216,400

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1962	Split Level	1	2424	0.23	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	6	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
POOL-PREFAB	1	1980	18X36	C	A
PLASTIC LINER	1	1980	6X10	D	A
SHED-FRAME	1	2004	6X8	C	A
SHED-FRAME					

Sales Information

Date	Type	Price	Book/Page
01/31/2006	LAND + BLDING	\$284,000	23629-217
03/22/2004	LAND + BLDING	\$256,500	20997-322

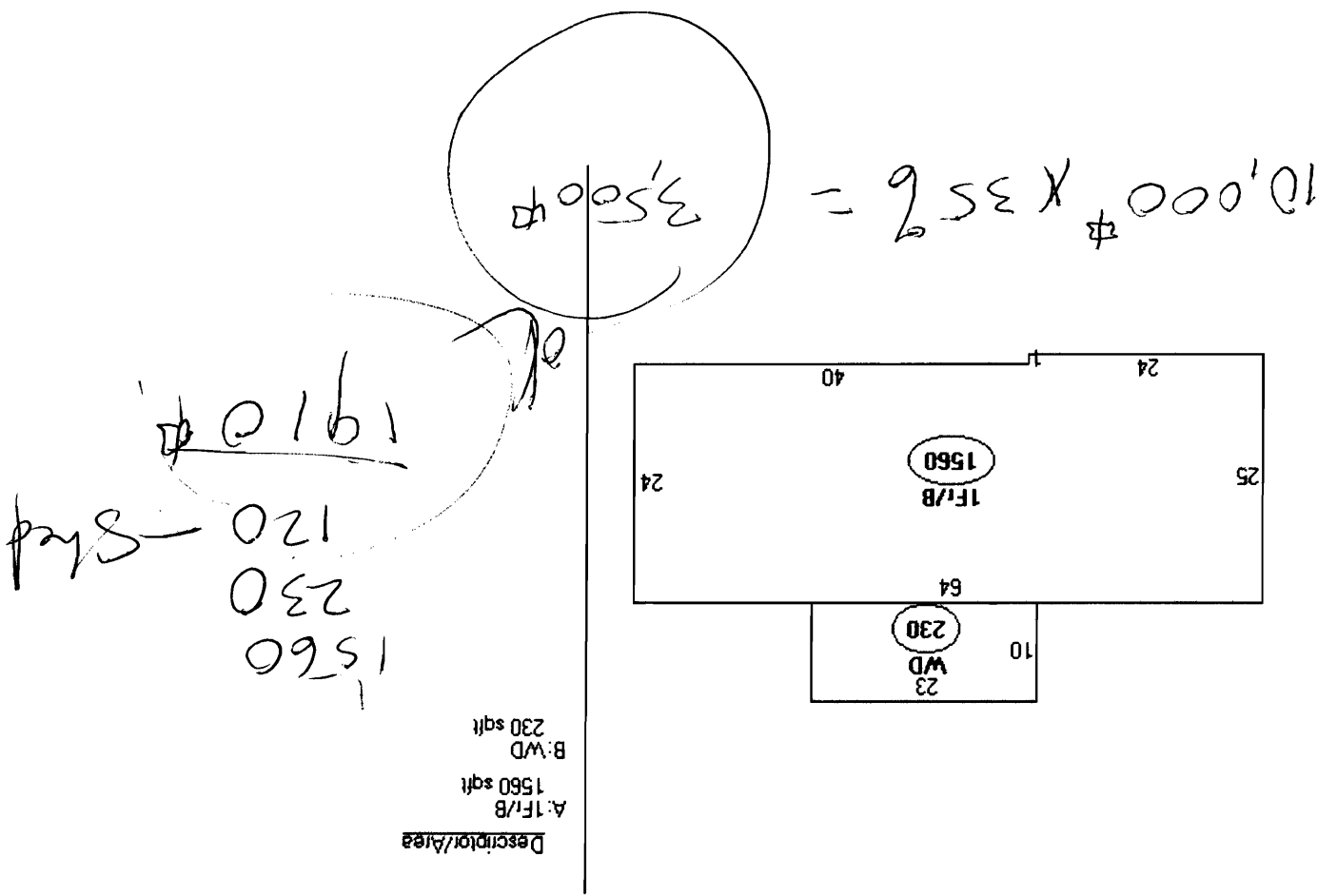
Picture and Sketch

Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Descriptor/Area
 A: 1F/B
 1560 sqft
 B: W/D
 230 sqft

1560
 230
 120 - Street
 1910 sqft

10,000 sq ft = 25% = 2500 sq ft

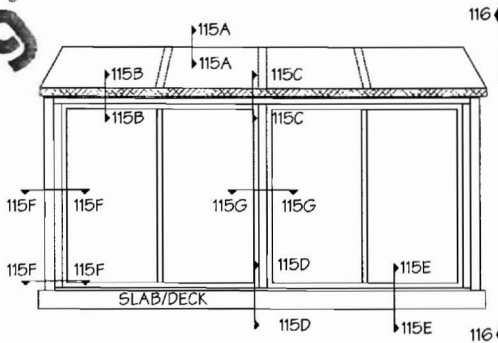
TYPICAL FRONT WALL CONNECTION DETAILS

TYPICAL SIDE WALL CONNECTION DETAILS

Betterliving
PATIO ROOMS

Betterliving
PATIO ROOMS

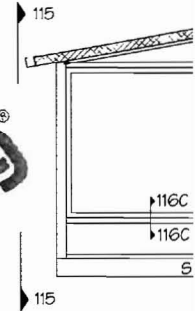
Betterliving
PATIO ROOMS



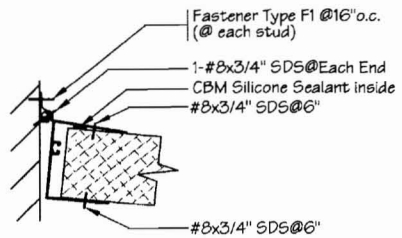
90 MPH WIND TABLE
EXPOSURE B

Sect.	Fastener*	Type	Fastener Qty/Spacing				
			Panel Span				
			10'	12'	14'	16'	18'
115-A	F1	1/4" Lag Screw 1/3" Embed.	2	2	2	2	2
115-B	F2	#8 x 3/4" SDS	16"	13"	12"	10"	9"
115-C	F3	#8 x 3/4" SDS	4	5	6	7	8
115-D	F1	#8 x 3/4" SDS	4	5	6	7	8
	F2	1/4" Diam. Steel Lag Screw 2" Embed.	2	2	2	2	2
	F4	1/4" Diam. Tapcon 1-3/4" Embed.	3	3	4	4	5

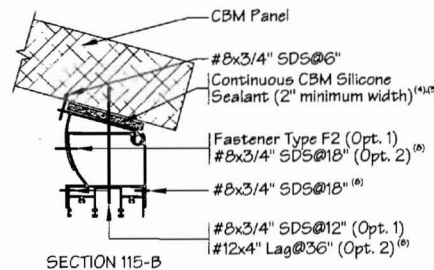
* TOTAL NUMBER OF FASTENERS.



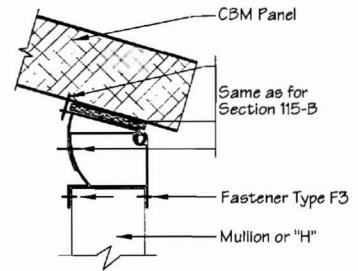
SECTION 115



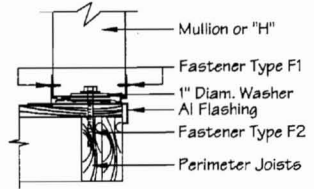
SECTION 115-A



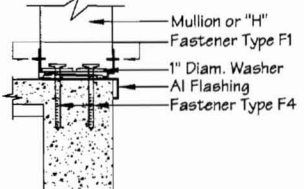
SECTION 115-B



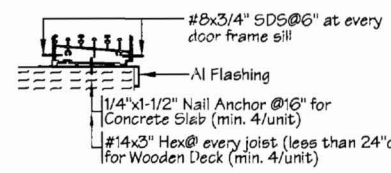
SECTION 115-C



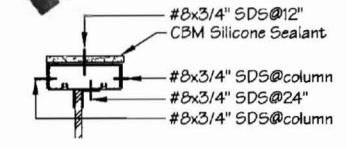
for WOODEN DECK
SECTION 115-D



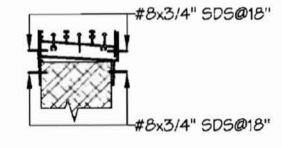
for CONCRETE SLAB
SECTION 115-D



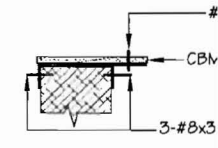
SECTION 115-E



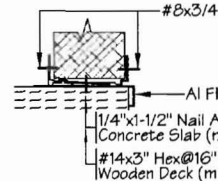
SECTION 116-A



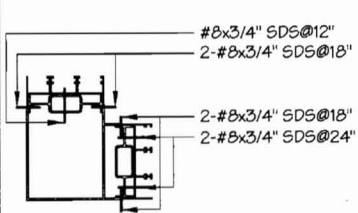
SECTION 116-C



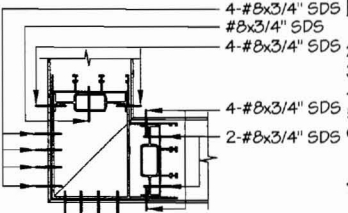
SECTION 116-A (ALTERNATE)



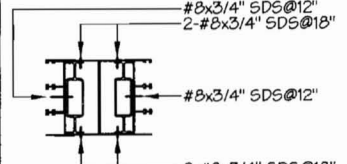
SECTION 116-D



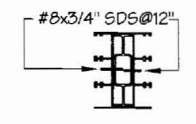
SECTION 115-F



SECTION 115-F (at floor level)



for "H" CHANNEL WITH DOOR/WINDOW MULLIONS AND DOOR/WINDOW JAMBS
SECTION 115-G



for MULLION WITH DOOR/WINDOW JAMB
SECTION 115-G

NOTES FOR STUDIO ENCLOSURE CONNECTIONS

1. TYPICAL CONNECTION DETAILS FOR ALUMINUM STUDIO ENCLOSURE WITH ROOF PANEL SPANS OF UP TO 18 FEET.
2. DESIGN LOADS BASED ON ASCE 7-02, 90 MPH WIND SPEED, EXPOSURE B CONDITIONS AND 40 PSF GROUND SNOW LOAD.
3. STRUCTURAL MEMBERS SHALL CONFORM TO CBM SPECIFICATIONS.
4. ALL ROOF PANELS TO BE ANCHORED TO HEADER SUPPORT BEAM USING MINIMUM 2" WIDTH CBM SILICONE SEALANT.
5. WHERE REQUIRED, APPLY CBM SILICONE SEALANT ONLY TO SURFACES CLEANED USING ALCOHOL.
6. ALL ROOF PANELS WITH SPANS BETWEEN 9 FT AND 14 FT TO BE ANCHORED USING EITHER 4-#8x3/4" SDS (MIN.) @36" o.c. FASTENED UP THROUGH HEADER ARM INTO EACH "H" OR 1-1/4"x5" LAG SCREW (MIN.) WITH 3"x3"x0.1" AL PLATE/WASHER @36" o.c. FASTENED DOWN THROUGH PANELS AND EMBEDDED 2" (MIN.) INTO AL HEADER SUPPORT BEAM.
7. ALL ROOF PANELS WITH SPANS GREATER THAN 14 FT TO BE INSTALLED WITH H₆ BETWEEN PANELS AND ANCHORED USING BOTH 4-#8x3/4" SDS (MIN.) @36" o.c. FASTENED UP THROUGH HEADER ARM INTO EACH "H" AND 1-1/4"x5" LAG SCREW (MIN.) WITH 3"x3"x0.1" AL PLATE/WASHER @36" o.c. FASTENED DOWN THROUGH PANELS AND EMBEDDED 2" (MIN.) INTO AL HEADER SUPPORT BEAM.
8. SPACING OF #8x3/4" SDS @18" IN DETAIL 115-B MAY BE INCREASED TO 36" o.c. IF SPACING OF #12x4" LAG @36" (OPT. 2) IS REDUCED TO 18" o.c. .
9. SPACE COLUMNS IN LOAD-BEARING WALLS NO FURTHER THAN 87" APART.
10. SPACE FASTENERS AT LEAST 2 x FASTENER DIAMETER FROM ADJACENT FASTENERS AND/OR EDGES.
11. REPLACE ALL OVERDRIVEN FASTENERS.
12. USE AAMA RATED FENESTRATION PRODUCTS PER LOCAL CODES.
13. WHERE USED, ASSUME CONCRETE TO HAVE STRENGTH GREATER THAN 2,500 PSI.
14. MITER ALL FLOOR CHANNELS AT CORNERS (OR EQUIVALENT).
15. NOTCH AND PROPERLY FASTEN HEADER SUPPORT BEAM AND CORNER POST.
16. ALL STRUCTURAL COLUMNS TO BE CONTINUOUS FROM FLOOR TO ROOF HEADER.
17. ALLOWABLE STRESS IN AL CONNECTIONS INCREASED BY 30% FOR WIND LOADING PER AL ASSOCIATION SPECS.

18. WHERE REQUIRED, STRUCTURAL C
19. AUTHORIZED F
20. ABBREVIATION
AL = ALUMINUM
CBM = CRAFTED
DIAM = DIAMETER
EMBED = EMBED
FT = FEET
H₆ = AL-THERM
MIN = MINIMUM
MPH = MILES PER HOUR
o.c. = ON CENTER
OPT = OPTION
PSF = POUNDS PER SQUARE FOOT

PROJECT:		CONTRACTOR:
SCALE: NTS		TRUENORTH HOA SYSTEMS
DRAWN BY:	REGISTERED PROFESSIONAL ENGINEER	DWG NO.:
5/6/03		em50-cnx-90
		DATE: 5/6/03