

11 LEE MAN STREET

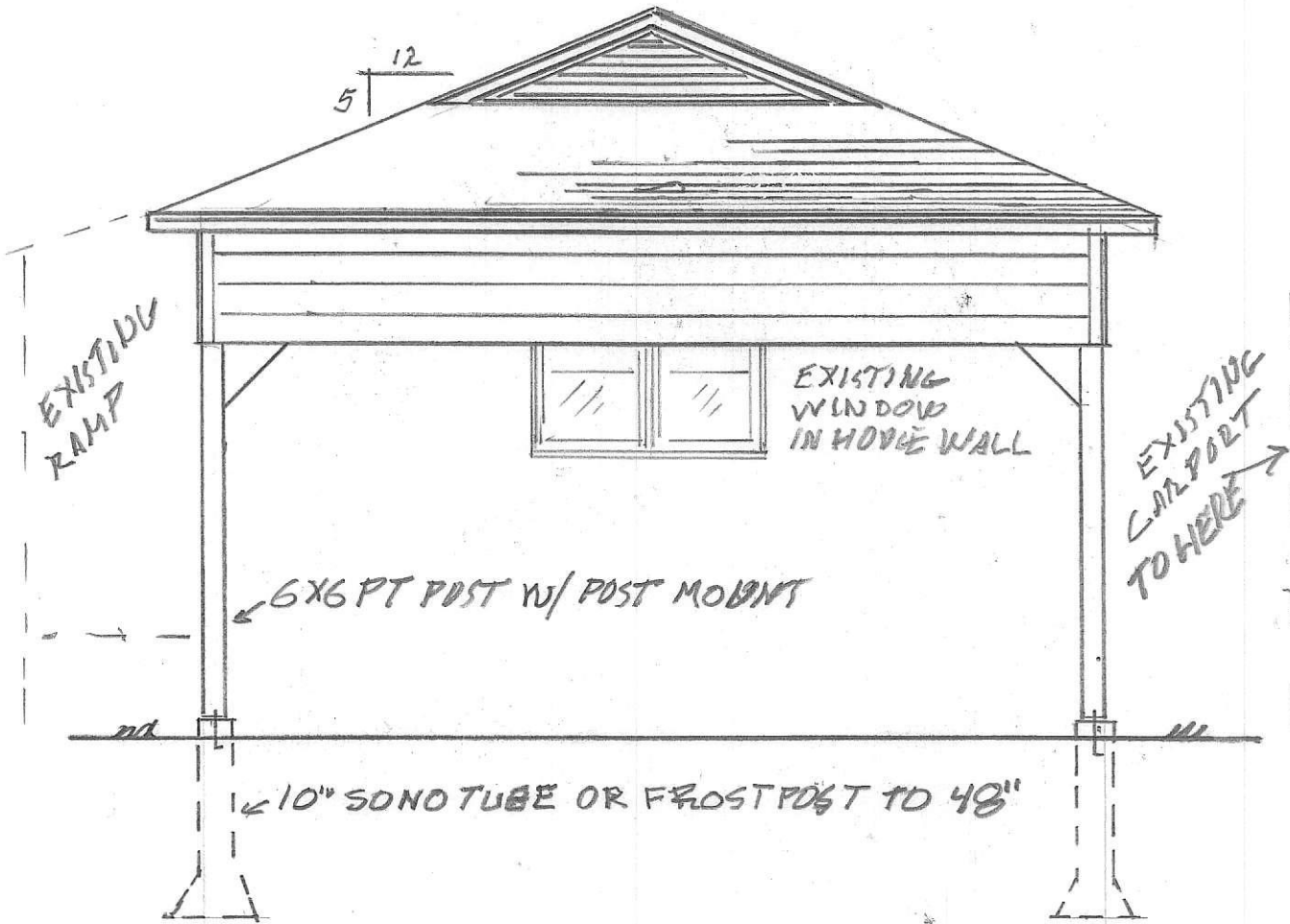
BRADLEY

A1 PROPOSED FLOOR PLAN



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 08/19/14



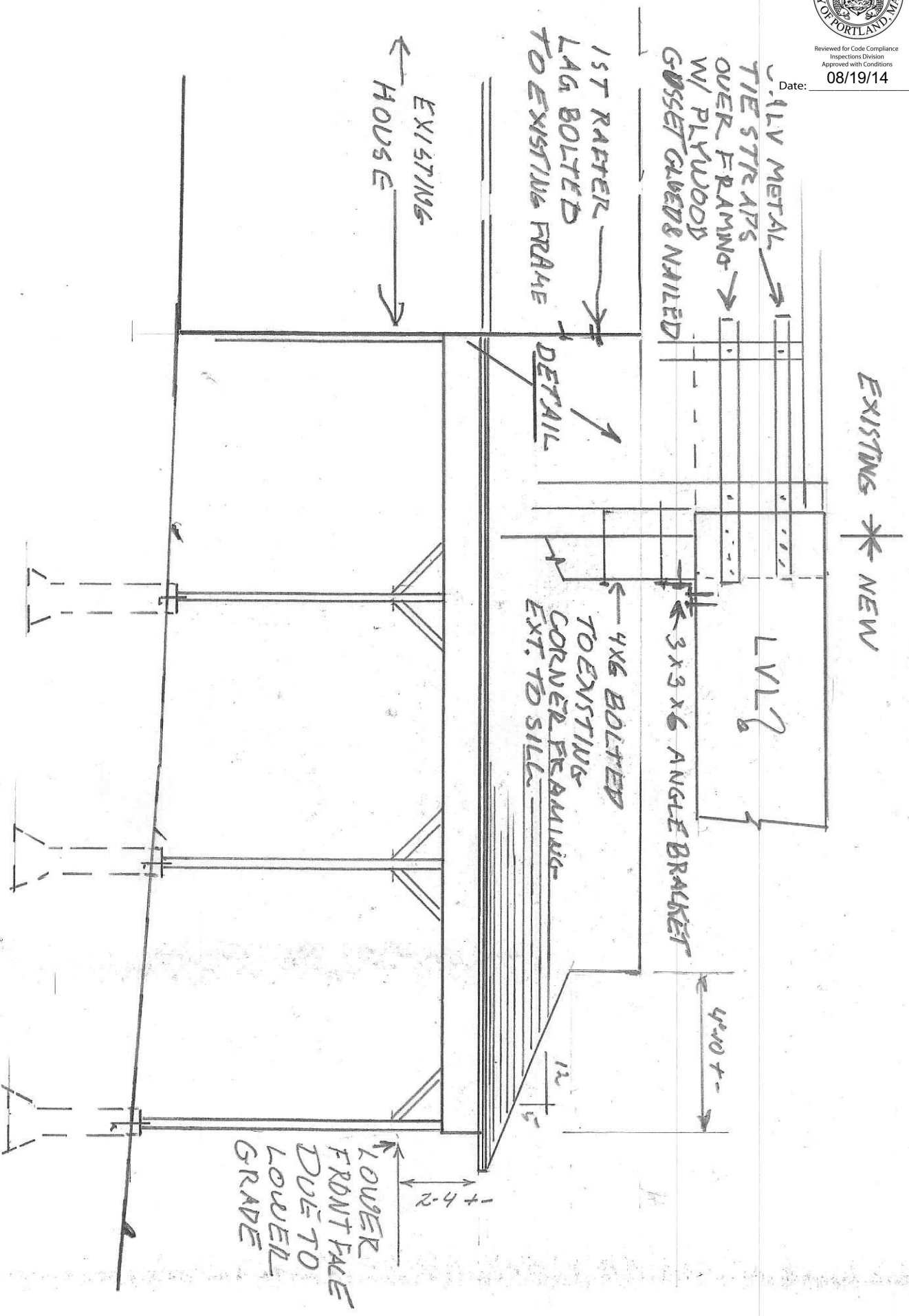
FRONT ELEVATION

BRALEY

3

11 LEEMAN ST

A2 PROPOSED
EXTERIOR ELEVATIONS



EXISTING * NEW

LEVEL?

2x4 LV METAL
TIE STRAPS
OVER FRAMING
W/ PLYWOOD
GUSSET GAWDS NAILED

1ST RAFTER
LAG BOLTED
TO EXISTING FRAME

EXISTING
HOUSE

DETAIL

4x6 BOLTED
TO EXISTING
CORNER FRAMING
EXT. TO SILL

3x3x6 ANGLE BRACKET

4'-0" +/-

2'-4" +/-

LOWER
FRONT FACE
DUE TO
LOWER
GRADE

LEFT ELEVATION

BARLEY

A3 PROPOSED

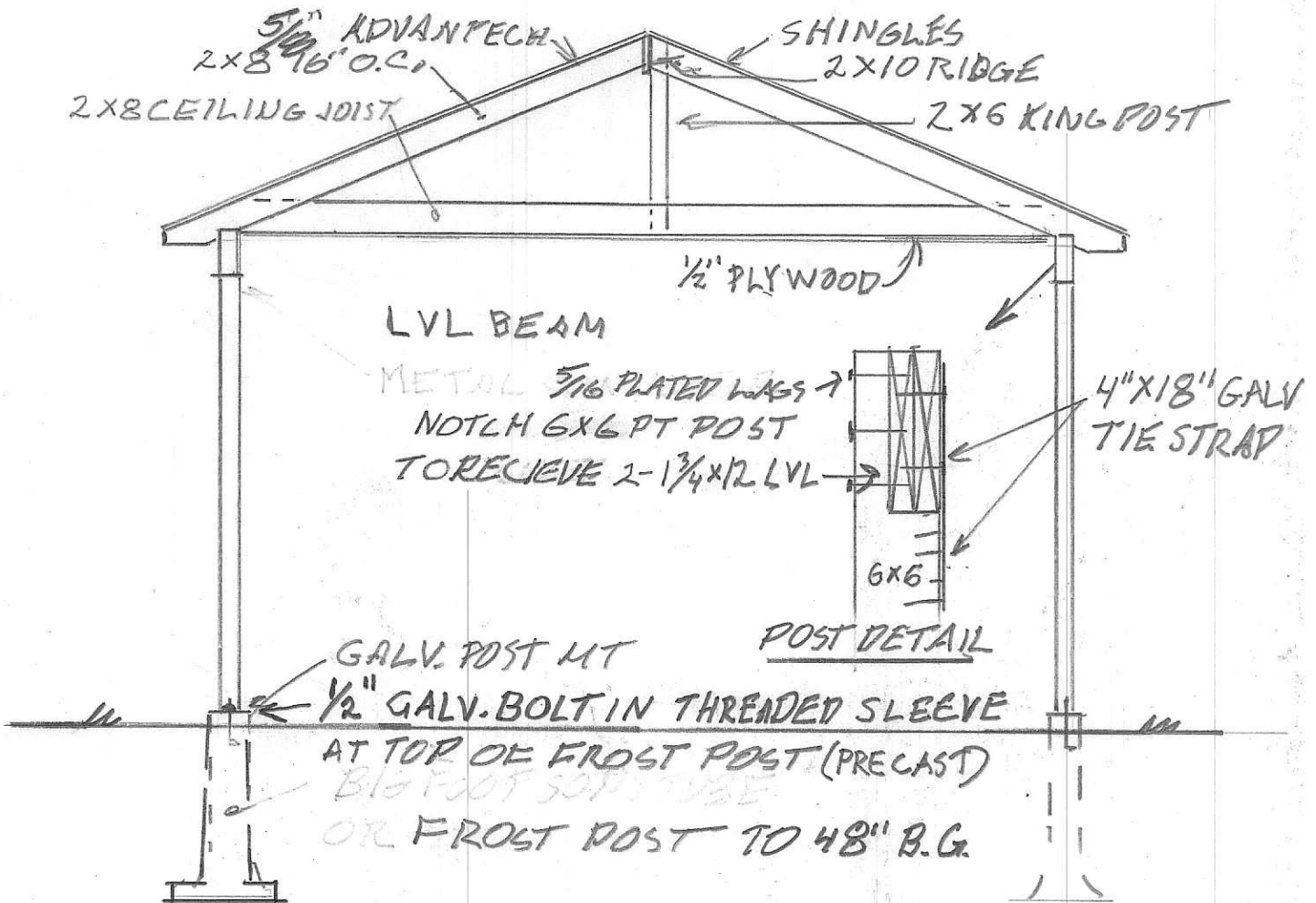
EXTERIOR ELEVATIONS

EX



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SECTIONAL

SCALE 1/4" = 1'-0"

BRALEY
11 LEEMAN ST

A5 BUILDING
SECTIONS



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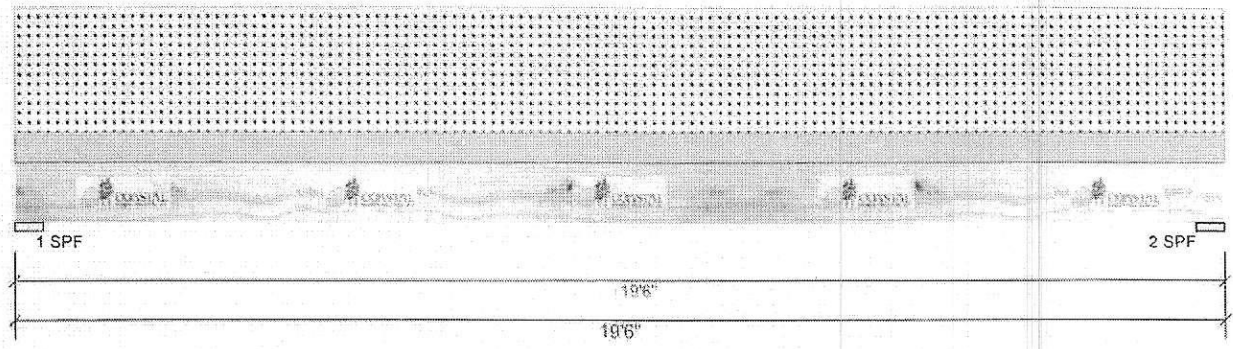


Client

Shipping

Project Name: **Front Beam 2.0E CP-LAM 1.750" X 11.875" 2-Ply - PASSED**
 Job#:
 Quantity 1 (2pcs.)
 Description: Braley

8/7/2014 7:19 AM
Page 1 of 1
Designer: FPG



Type:	Girder	Application:	Floor
Plies:	2	Design Method:	ASD
Moisture Condition:	Dry	Building Code:	IBC 2012 / IRC
Deflection LL:	360	Load Sharing:	No
Deflection TL:	240	Deck:	Not Checked
Importance:	Normal	Vibration:	Not Checked
Temperature:	Temp <= 100°F		

Reactions						
Brig	Live	Dead	Snow	Wind	Const	
1	0	390	1154	0	0	
2	0	390	1154	0	0	

Analysis	Actual	Location	Allowed	Capacity	Load Comb.	Ld. Case
Moment	7035 ft-lb	9'9"	24489 ft-lb	0.287 (29%)	D+S	L
Unbraced	7035 ft-lb	9'9"	18469 ft-lb	0.381 (38%)	D+S	L
Shear	1345 lb	1'4 5/8"	9081 lb	0.148 (15%)	D+S	L
LL Defl inch	0.339 (L/663)	9'9 1/16"	0.624 (L/360)	0.540 (54%)	S	L
TL Defl inch	0.454 (L/495)	9'9 1/16"	0.935 (L/240)	0.490 (49%)	D+S	L

Bearings							
Bearing	Input Length	In Analysis	Cap.	React D/L lb	Total Ld.	Case	Ld. Comb.
1 - SPF	5 500"	1 500"	69%	390 / 1154	1544	L	D+S
2 - SPF	5 500"	1 500"	69%	390 / 1154	1544	L	D+S

Design OK
 Design Notes
 1 Girders are designed to be supported on the bottom edge only
 2 Multiple plies must be fastened together as per manufacturer's details
 3 Top loads must be supported equally by all plies.

ID	Load Type	Location	Trib Width	Side	Dead	Live	Snow	Wind	Const	Comments
1	Uniform		2-0-0	Top	15 PSF	0 PSF	60 PSF	0 PSF	0 PSF	
	Self Weight				11 PLF					

Notes
 Calculated Structured Designs is responsible only of the structural adequacy of this component based on the design criteria and loadings shown. It is the responsibility of the customer and/or the contractor to ensure the component suitability of the intended application and to verify the dimensions and details.

Lumber
 1 Dry service conditions, unless noted otherwise.
 2 LVL not to be treated with fire retardant or preservative chemicals.

Handling & Installation
 1 LVL beams must not be cut or drilled.
 2 Refer to manufacturer's product information regarding installation requirements, nailing, fastening details, beam strength values and other accessories.
 3 Damaged beams must not be used.
 4 Design assumes top edge is laterally restrained.
 5 Provide lateral support at bearing points to avoid lateral displacement and rotation.

6 For flat roofs provide proper drainage to prevent ponding.

Coastal Forest Products
 451 South River Rd, NH
 USA
 03110

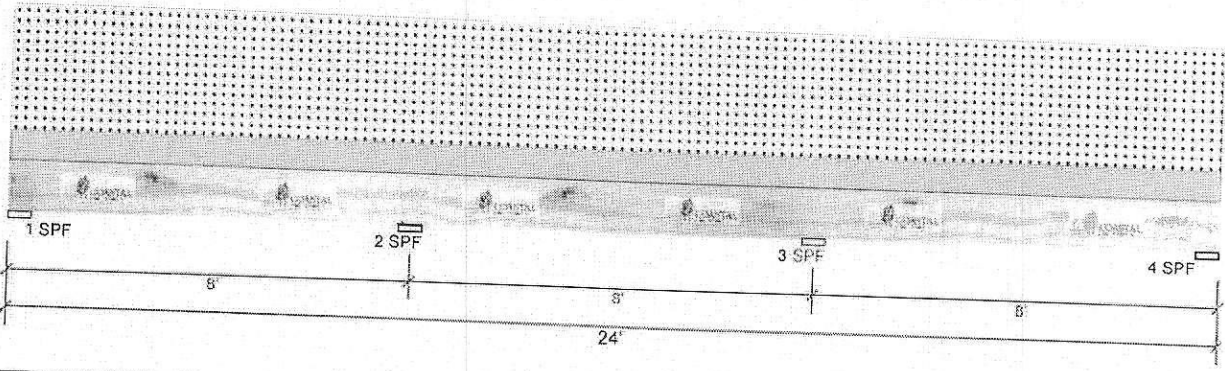




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Project Name		Client	Shipping
Job#:	Quantity 1 (2pcs)	Description: Braley	8/7/2014 7:19 AM Page 1 of 1 Designer: FPG
Side Beams 2.0E CP-LAM 1.750" X 11.875" 2-Ply - PASSED			



Type:	Girder	Application:	Floor
Plies:	2	Design Method:	ASD
Moisture Condition:	Dry	Building Code:	IBC 2012 / IRC
Deflection LL:	360	Load Sharing:	No
Deflection TL:	240	Deck:	Not Checked
Importance:	Normal	Vibration:	Not Checked
Temperature:	Temp <= 100°F		

Brg	Live	Dead	Snow	Wind	Const
1	0	480	1917	0	0
2	0	1351	5245	0	0
3	0	1351	5245	0	0
4	0	480	1917	0	0

Analysis	Actual	Location	Allowed	Capacity	Load Comb.	Ld. Case
Neg Moment	-4792 ft-lb	8'	24489 ft-lb	0.196 (20%)	D+S	LL_
Moment pos	3748 ft-lb	20'5 1/4"	24489 ft-lb	0.153 (15%)	D+S	LL_
Unbraced	3748 ft-lb	20'5 1/4"	23366 ft-lb	0.160 (16%)	D+S	LL_
Shear	2720 lb	7' 1/8"	9081 lb	0.300 (30%)	D+S	LL_
LL Defl inch	0.029 (L/3169)	3'11"	0.254 (L/360)	0.110 (11%)	S	LL_
TL Defl inch	0.035 (L/2612)	3'10 5/8"	0.381 (L/240)	0.090 (9%)	D+S	LL_

Bearing	Input Length	In Analysis	Cap.	React D/L lb	Total	Ld. Case	Ld. Comb.
1 - SPF	5.500"	1.750"	92%	480 / 1917	2397	L_L	D+S
2 - SPF	5.500"	5.500"	81%	1351 / 5245	6596	LL_	D+S
3 - SPF	5.500"	5.500"	81%	1351 / 5245	6596	LL_	D+S
4 - SPF	5.500"	1.750"	92%	480 / 1917	2397	L_L	D+S

Design OK.
Design Notes
1 Girders are designed to be supported on the bottom edge only
2 Multiple plies must be fastened together as per manufacturer's details
3 Top loads must be supported equally by all plies.

ID	Load Type	Location	Trib Width	Side	Dead	Live	Snow	Wind	Const.	Comments
1	Uniform		9-9-0	Top	15 PSF	0 PSF	60 PSF	0 PSF	0 PSF	
	Self Weight				11 PLF					

Notes
Calculated Structured Designs is responsible only of the structural adequacy of this component based on the design criteria and loadings shown. It is the responsibility of the customer/contractor to ensure the component is installed by the intended application and to verify the dimensions and loads.
Lumber
1. LVL beams must not be cut or drilled.
2. Refer to manufacturer's product information regarding installation requirements and load capacity.
3. Unbraced beams must not be used.
4. Design assumes top edge is laterally restrained.
5. Provide lateral support at bearing points to avoid lateral displacement and rotation.

Handling & Installation
1. LVL beams must not be cut or drilled.
2. Refer to manufacturer's product information regarding installation requirements and load capacity.
3. Unbraced beams must not be used.
4. Design assumes top edge is laterally restrained.
5. Provide lateral support at bearing points to avoid lateral displacement and rotation.

* For full span's provide proper drainage to prevent rotting.

Coastal Forest Products
451 South River Rd, NH
USA
03110

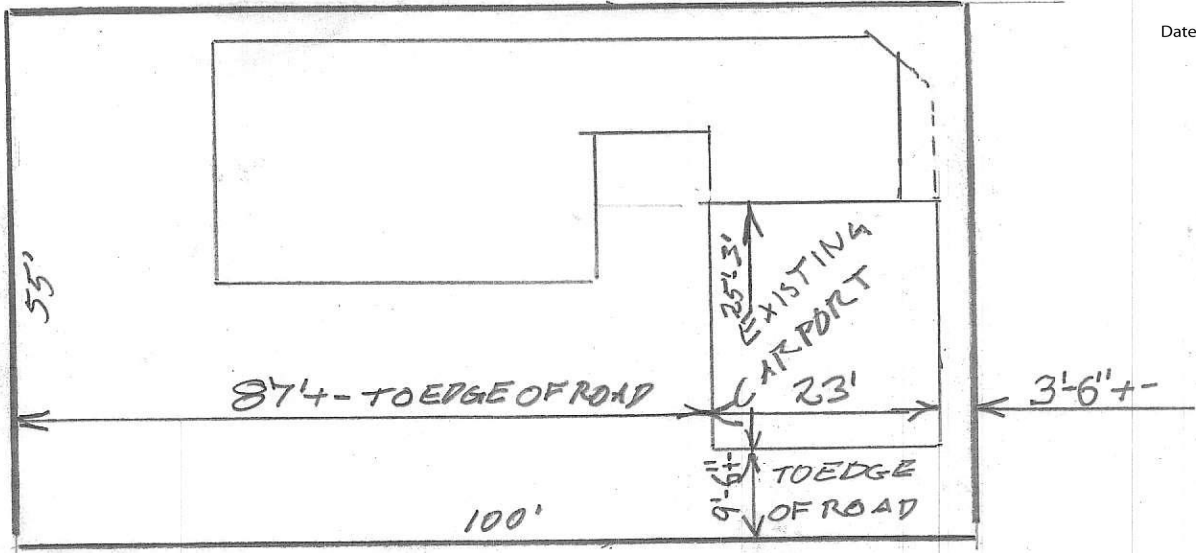




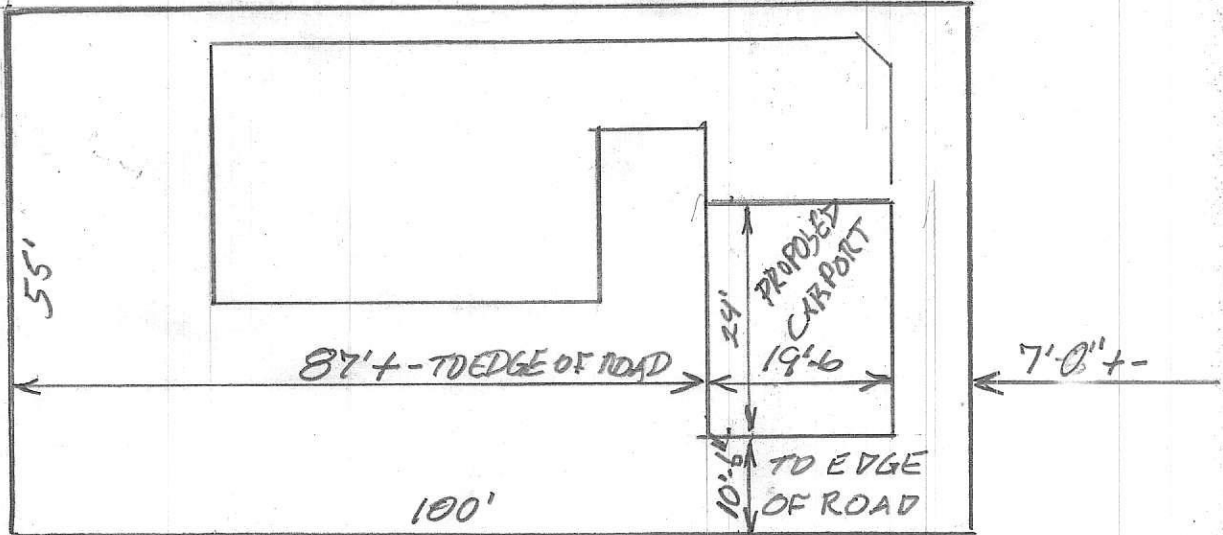
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COLUMBIARD

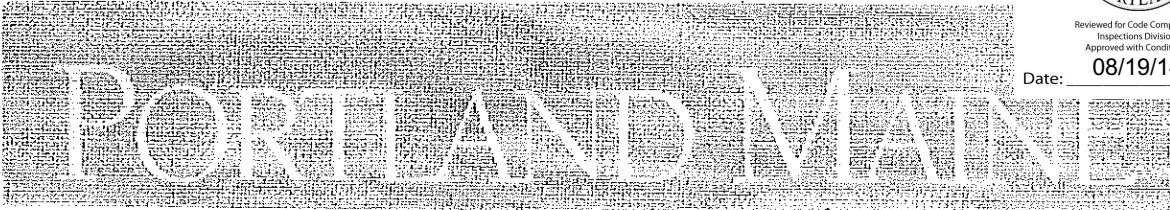


LEEMAN ST
PLOT PLAN EXISTING
SCALE 20'



PLOT PLAN PROPOSED
SCALE - 20'

C1 SITE PLAN



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 08/19/14

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a *legal signature* per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are *paid in full* to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland
Inspections Division
389 Congress Street, Room 315
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. *After all approvals have been met and completed, I will then be issued my permit via e-mail.* No work shall be started until I have received my permit.

Applicant Signature: *Jeff Munson* Date: 8/7/14

I have provided digital copies and sent them on: *Jeff Munson* Date: 8/7/14

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 08/19/14

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: 11 Leeman St.		
Total Square Footage of Proposed Structure:		468
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# H6NW 181 F001	Applicant Name: Moesel Builders, Inc. Address 40 Birch Forest Dr. City, State & Zip Standish, ME 04084	Telephone: 838-7786 Email: jmoesel@juno.com
Lessee/Owner Name : Grace Braley (if different than applicant) Address: 11 Leeman St. City, State & Zip: Portland, ME Telephone 774-1995 E-mail:	Contractor Name: (if different from Applicant) Address: City, State & Zip: Telephone E-mail:	Cost Of Work: \$ 14,000.00 C of O Fee: \$ 168.00 Historic Rev \$ Total Fees : \$ 168.00
Current use (i.e. single family) <u>Existing Carport</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>New Carport to replace existing old carport.</u> Is property part of a subdivision? <input type="checkbox"/> If yes, please name _____ Project description: Remove existing deteriorating shed roof carport and construct new hip roof style carport not to exceed footprint of existing carport. Permit was issued for existing on 4/8/1976.		
Who should we contact when the permit is ready: Jeff Moesel		
Address: 40 Birch Forest Dr.		
City, State & Zip: Standish, ME 04084		
E-mail Address: jmoesel@juno.com		
Telephone: 838-7786		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Jeff Moesel Date: 8/7/14

This is not a permit; you may not commence ANY work until the permit is issued.



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 08/19/14

Portland, Maine



Yes! Life's good here.

Jeff Levine, AICP, Director
Planning & Urban Development Department

Tammy Munson, Director
Inspections Division

Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$25.00 for the first \$1000.00 construction cost, \$11.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.

389 Congress Street * Portland Maine 04101-3509 * Phone: (207) 874-8703 * Fax: (207) 874-8716
<http://www.portlandmaine.gov/planning/buildinsp.asp> * E-Mail: buildinginspections@portlandmaine.gov

Job No: BP#2014-01802
 11 Leeman
 Street



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 Inspectors Division
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ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1) _____		
Component	Submitted Plan	Findings/Revisions/Dates
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Requested clarification of sonotube layout.	OK per plan revisions
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	NA	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	
Anchor Bolts/Straps, spacing (Section R403.1.6)	Provide size of anchor bolts.	OK per plan revisions
Lally Column Type (Section R407)	NA	
Girder & Header Spans (Table R502.5(2))	NA	
Built-Up Wood Center Girder Dimension/Type	NA	
Sill/Band Joist Type & Dimensions	NA	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NA	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	NA	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	NA	

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Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	Size and spacing OK per plans.	
Sheathing; Floor, Wall and Roof (Table R503.2.1.1(1))	Requested roof sheathing be changed to 5/8".	OK per plan revisions.
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R302.5) Living Space (Above or beside)?	NA	
Table R302.6 Fire separation (Section R302.6)	NA	
Opening Protection (Section R302.5.1)	NA	
Emergency Escape and Rescue Openings (Section R310)	NA	
Roof Covering (Section R905)	Ashpalt shingles OK per plans.	
Safety Glazing (Section R308)	NA	
Attic Access (Section R807)	NA	
Chimney Clearances/Fire Blocking (Chap. 10)	NA	
Header Schedule (Tables R502.5(1) & (2))	NA	
Energy Efficiency IECC, 2009 R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration Ventilation of Space per ASRAE 62.2, 2007	NA	

Job No:



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Type of Heating System		
Means of Egress (Sec R311 & R312) Basement Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) Width (Section R311.5.1) Headroom (Section R311.7.2) Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	<p style="text-align: center;">NA</p> <p style="text-align: center;">NA</p> <p style="text-align: center;">NA</p> <p style="text-align: center;">NA</p> <p style="text-align: center;">NA</p> <p style="text-align: center;">NA</p> <p style="text-align: center;">NA</p>	
Carbon Monoxide Alarms (R315) Smoke Alarms (Section R314) Location and Interconnected	<p style="text-align: center;">CO and smokes in conditions for approval.</p>	
Dwelling Unit Separation (Section R302.3)	<p style="text-align: center;">NA</p>	
Deck Construction (Section R502.2)	<p style="text-align: center;">NA</p>	