

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT

Permit Number: 000719

PERMIT ISSUED

JUL - 6 2006

181 D002001

CITY OF PORTLAND

This is to certify that CASSIDY PAMELA W /Homeowner

has permission to Deck 8 x 16 ft

AT 75 WESTMINSTER AVE

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procedure before this building or part thereof is closed or service closed-in. 4
OUR NOTICE REQUIRED

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept. _____
- Health Dept. _____
- Appeal Board _____
- Other _____
Department Name

[Signature] 2/5/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0719	Issue Date: JUL - 6 2006	CBL: D002001
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Location of Construction: 75 WESTMINSTER AVE	Owner Name: CASSIDY PAMELA W	Owner Address: 75 WESTMINSTER AVE	Phone: Phone
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Business Name:	Contractor Name: Home owner	Contractor Address: Portland	Phone: Phone
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Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3
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Past Use: Single family	Proposed Use: Single family 8 x 16 ft deck	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 5
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Proposed Project Description: Deck 8 x 16 ft	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 55 8/2/5/06 Signature: <i>[Signature]</i>
	Signature:	Signature:

Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 05/12/2006	Zoning Approval	
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<p>1.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>ok w/condition</i> Date: 5/31/06 <i>ABA</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABA</i></p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0719	Date Applied For: 05/12/2006	CBL: 181 D002001
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Location of Construction: 75 WESTMINSTER AVE	Owner Name: CASSIDY PAMELA W	Owner Address: 75 WESTMINSTER AVE	Phone:
Business Name:	Contractor Name: Home owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Single family 8 x 16ft deck

Deck 8 x 16 ft

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/31/2006

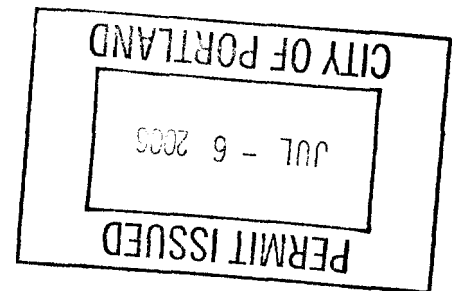
Note: **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 07/05/2006

Note: **Ok to Issue:**

- 1) This permit is granted with the understanding that the deck is only 15 inches above grade.
- 2) The two (2) 2" x 8" beam is underdesigned for an 8 foot open span. A beam design must be submitted and approved prior to commencement of framing.
- 3) No stairs were included in the application. If stairs are planned a diagram showing the details and location on the lot must be submitted and approved.



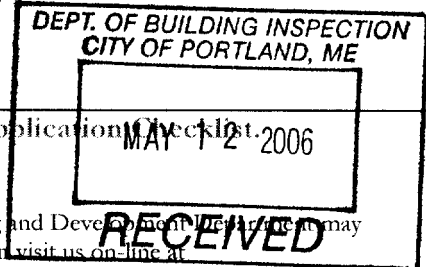


General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>75 Westminister Avenue</u>		
Total Square Footage of Proposed Structure <u>128 sq. ft.</u>	Square Footage of Lot <u>9500 sq. ft.</u> <u>or 9,000?</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>101</u> Block# <u>D</u> Lot# <u>2 and 3</u>	Owner: <u>Pamela Cassidy</u>	Telephone: <u>761-0316</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Pamela Cassidy</u> <u>75 Westminister Ave</u> <u>Portland, ME 04103</u> <u>761-0316</u>	Cost Of Work: \$ <u>1000</u> Fee: \$ <u>300</u> C of O Fee: \$
Current Specific use: <u>Home</u>		
If vacant, what was the previous use? <u>N/A</u>		
Proposed Specific use: <u>BACK DECK</u>		
Project description: <u>8'x16' deck attached to back side of existing home.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Pamela Cassidy</u>		
Mailing address: Phone: <u>761-0316</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.



In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 873 8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant Pamela W. Cassidy

Date: 5-12-06

This is not a permit; you may not commence ANY work until the permit is issued.

Ch

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	181 D002001
Location	75 WESTMINSTER AVE
Land Use	SINGLE FAMILY
Owner Address	CASSIDY PAMELA W 75 WESTMINSTER AVE PORTLAND ME 04103
Book/Page	19470/003
Legal	181-D-2-3 WESTMINSTER AVE 71-77 9000 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$46,640	\$66,980	\$113,620

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$60,300	\$88,800	\$149,100

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1949	Style Cape	Story Height 1	Sq. Ft. 789	Total Acres 0.207	
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 3	Attic None	Basement Crawl

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1960	Size 14X24	Grade C	Condition A
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Sales Information

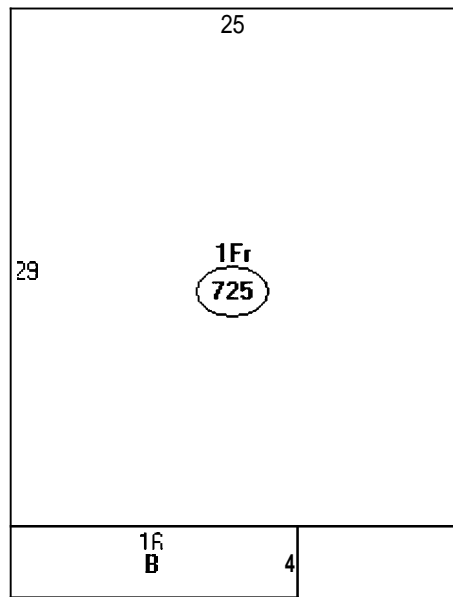
Date	Type	Price	Book/Page
06/01/2003	LAND + BLDING	\$93,000	19470-3
10/27/2000	LAND + BLDING	\$93,000	15810-092
07/01/1995	LAND + BLDING	\$71,250	11993-273

Picture and Sketch

Picture Sketch Tax-Map

[Click here](#) to view Tax Roll Information.





Descriptor/Area

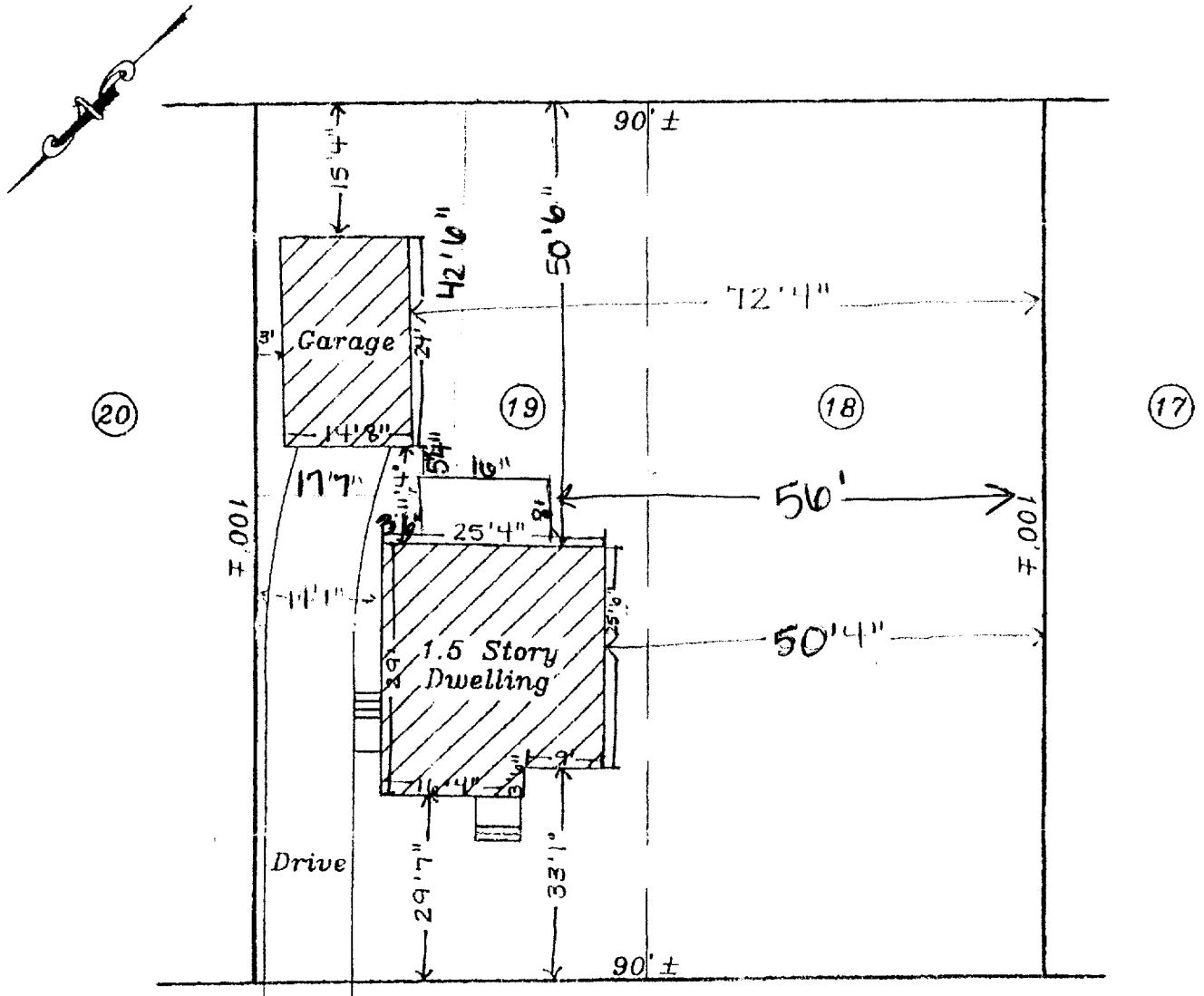
A: 1Fr
725 sqft

B: 1Fr
64 sqft

FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THIS INSPECTION EXAMINES DWELLING AND ACCESSORY STRUCTURE COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACK REQUIREMENTS ONLY. (3) A STANDARD BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION AS TO ACTUAL PROPERTY LINE LOCATIONS. (4) THIS INSPECTION DEPICTS ALL VISIBLE STRUCTURAL ENCROACHMENTS WITH RESPECT TO APPARENT PROPERTY LINES AND RECOGNIZES ONLY THOSE EASEMENTS & RIGHTS OF WAY STATED OR SHOWN IN BELOW PROVIDED TITLE REFERENCES AND DOES NOT REVEAL ANY CONFLICTS WITH ABUTTING DEEDS. (5) FLOOD HAZARD DETERMINATION IS MADE BY SCALING DISTANCES ON BELOW REFERENCED FEMA MAP. (6) THIS INSPECTION IS TO BE USED ONLY BY BELOW LISTED LENDER, TITLE COMPANY &/OR ATTORNEY AND ITS TITLE INSURER.

ADDRESS: 75 WESTMINSTER AVENUE INSPECTION DATE: SEPTEMBER 26, 2000
PORTLAND, MAINE SCALE: 1" = 20'



Front setback - 25' req.
 Rear setback - 25' req.
 Side 1/2 stories - 8' req.
 lot coverage 35% - 31504

$25 \times 5 \times 25.5 = 670.25$
 $16 \times 3.6 = 56$
 steps $5 \times 5 = 25$
 " $7 \times 3 = 21$
 $14 \times 24 = 336$
1088.25

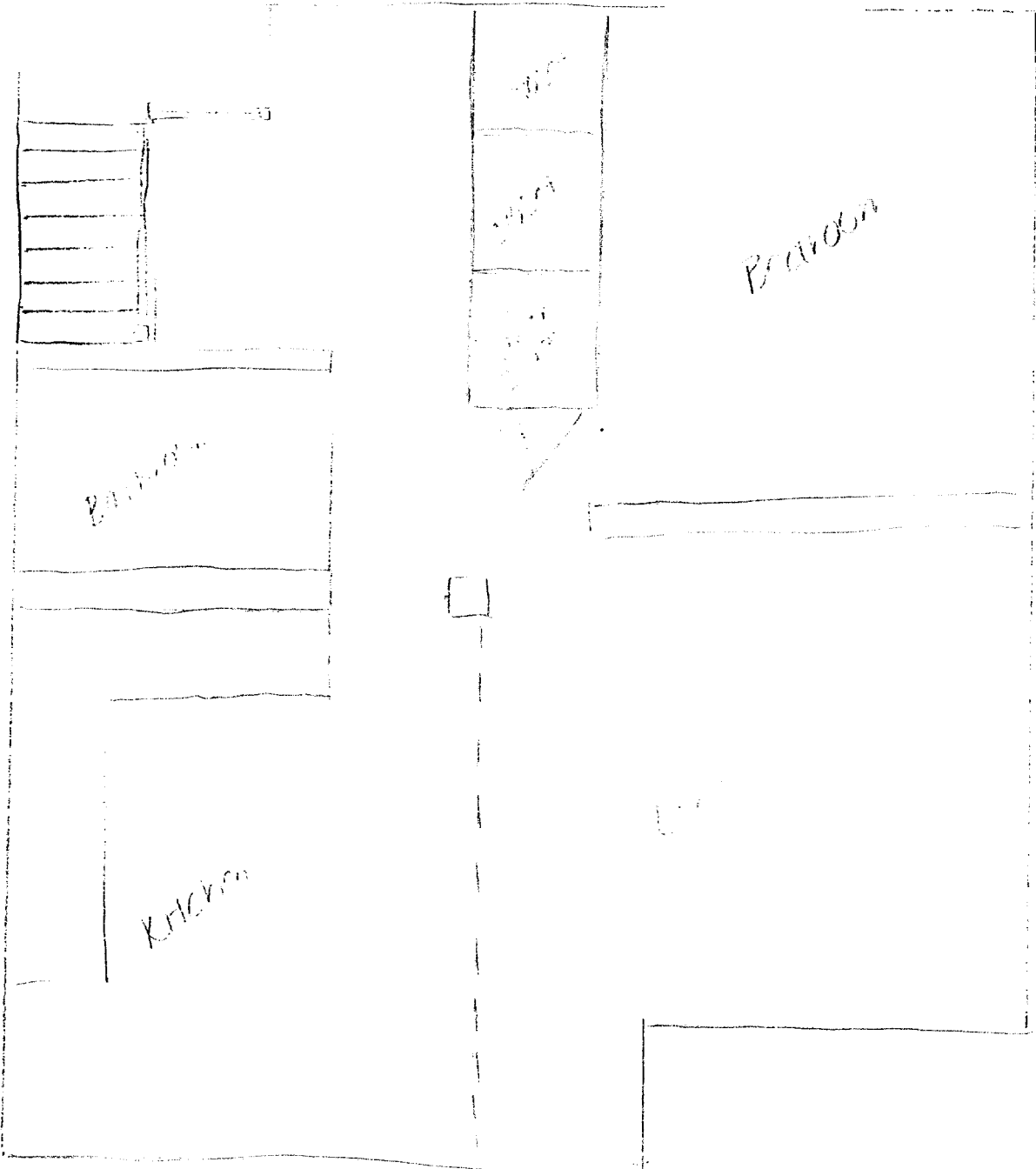
OK

1000 sq ft

1st Floor
(1000 sq ft)

8' x 11' 6" window

3' 6"



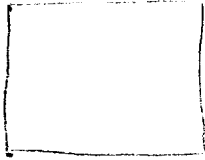
Driveway

3' wide open stairway w/ hand rail
10" Tread w/ 7 1/2" Rise
11' 6"

18'5"

DECK

11'6"



EXISTING
1'10" X 1'10"

EXISTING
1'5" X 2'

EXISTING
55' X 36'
JUNCTION
REPAIRED

2'11"
2'9"

2'10"

29

DRIVEWAY

NEW { OUTSIDE }
{ SIDE VIEW }

