

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 060450

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that INNES RICHARD B WWII ET & RACHEL B. JTS/Michael Char

has permission to install frame work to existing back to support some panels

AT 122 JEANNE ST 180 1005001

provided that the person or persons in or on the premises accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or enclosed-in-4 HOUR NOTICE IS REQUIRED.

Apply to Public Works for street line and grade if nature of work requires such information.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services



# DENIED

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0450	Issue Date:	CBL: 180 I005001
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Location of Construction: 122 JEANNE ST	Owner Name: INNES RICHARD B WWII VET &	Owner Address: 122 JEANNE ST	Phone:
Business Name:	Contractor Name: Michael Charek	Contractor Address: 25 Hartley Street Portland	Phone 2077610556
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Past Use: Single Family Home	Proposed Use: Single Family Home/ install frame work to existing deck to support solar panels	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 5
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

**Proposed Project Description:**  
install frame work to existing deck to support solar panels

Signature: \_\_\_\_\_ Signature: \_\_\_\_\_

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: Idobson	Date Applied For: 04/05/2006	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: _____</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
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# DENIED

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>122 JEANNE ST.</u>		
Total Square Footage of Proposed Structure <u>UNDER 150</u>	Square Footage of Lot <u>8907</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>CBL# 180-I-005-001</u>	Owner: <u>RICHARD B. &amp; RACHEL B. INNES</u>	Telephone: <u>773-8315</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>As ABOVE</u>	Cost Of Work: \$ <u>1000</u> Fee: \$ <u>30<sup>00</sup>/D</u> C of O Fee: \$ _____
Current Specific use: <u>NONE (COVER DRIVEWAY, WHICH WILL CONTINUE IN USE)</u>	Proposed Specific use: <u>SUPPORT OF SOLAR ENERGY COLLECTION PANELS</u>	
Project description: <u>Open 11' X 13' 6" frame for solar panels OPEN TIMBER FRAME FITTED TO REQUIREMENTS OF SOLAR COLLECTORS AND TO ZONING RESTRICTIONS ON SUCH USE. (ARCHITECT'S AND ENGINEERS' SPECS ATTACHED)</u>	<u>Single Family</u>	
Contractor's name, address & telephone: <u>PHILIP LEE 24 CATHERINE ST PORTLAND</u>		
Who should we contact when the permit is ready: <u>INNES</u>		
Mailing address: _____ Phone: <u>773-8315</u>		
<u>Co- Building @ 2's 761-0556 Mr. Charak</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Richard B Innes</u>	Date: <u>30 MAR 06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

\_\_\_\_\_ 20 \_\_\_\_\_

Received from \_\_\_\_\_

Location of Work \_\_\_\_\_

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Building (IL) \_\_\_\_ Plumbing (I5) \_\_\_\_ Electrical (I2) \_\_\_\_ Site Plan (U2) \_\_\_\_

Other \_\_\_\_\_

CBL: \_\_\_\_\_

Check #: \_\_\_\_\_ **Total Collected \$** \_\_\_\_\_

# **THIS IS NOT A PERMIT**

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

*Lee Urban- Director of Planning and Development  
Marge Schmuckal, Zoning Administrator*

April 28, 2006

Richard B. Innes  
122 Jeanne Street  
Portland, ME 04102

RE: 122 Jeanne Street – 180-I-005 – R3 - frame for solar panels – permit application # - 06-0450

Dear Mr. Innes,

I am in receipt of your application to attach an 11' by 13.5' frame to you porch in order to install solar panels. Section 14 - 90(d)(4) of the ordinance states that a principal or accessory structure must be a minimum of 20' from the property line if it is located in a side yard on a side street. The front left corner of the proposed frame scales at 9.5' from the side property line on Phipps Road. Since the frame has to be a minimum of 20' feet from the property line on Phipps Road, we must deny your request to install the frame and solar panels.

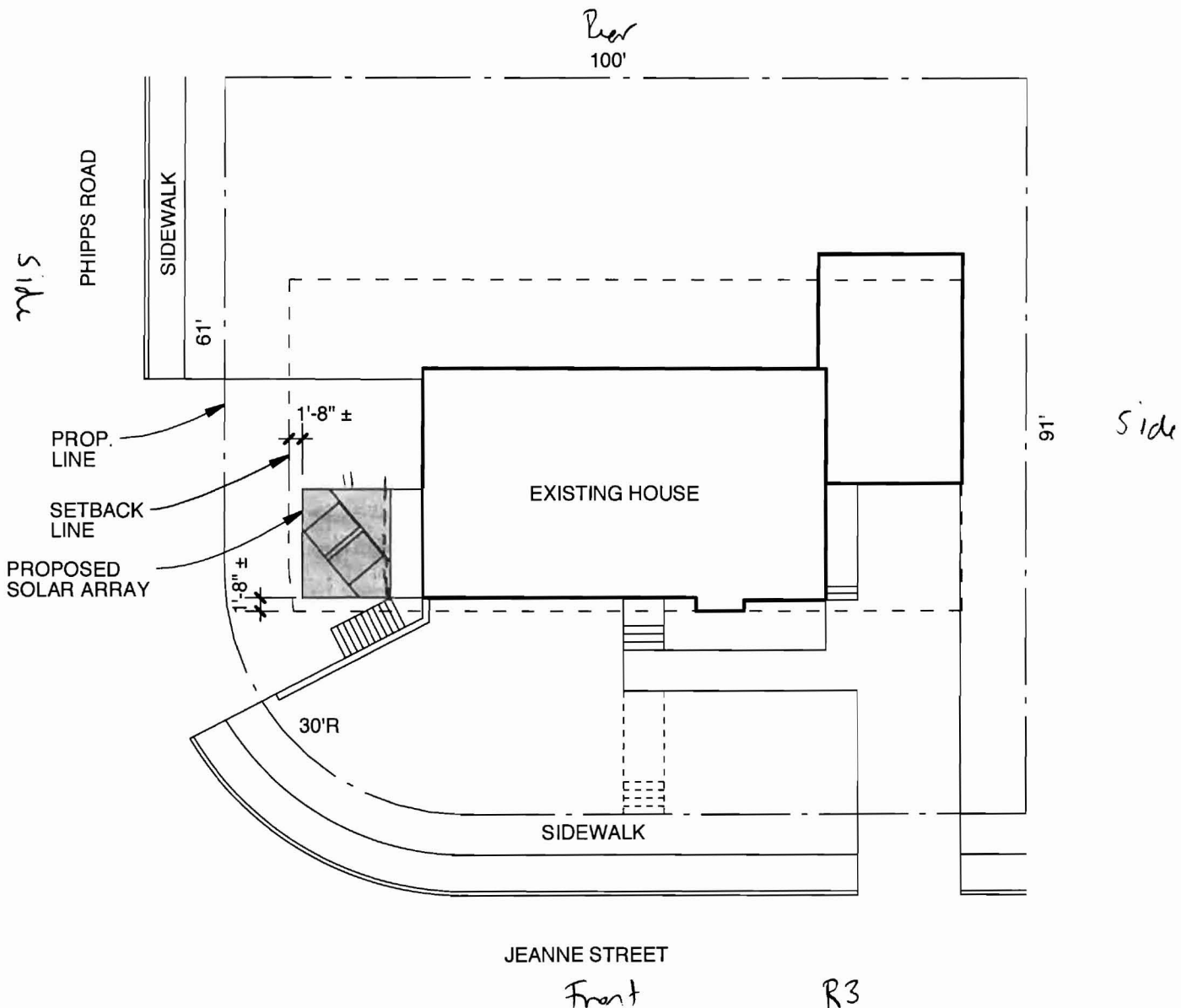
You have the right to appeal my decision. If you wish to exercise your right to appeal, you have thirty days from the date of this letter in which to appeal. If you should fail to do so, my decision is binding and not subject to appeal. Please contact this office for the necessary paperwork that is required to file an appeal. If you choose not to file an appeal, you are entitled to get most of your money back if you bring in the original receipt you got when you applied for the permit.

If you have any questions regarding this matter please feel free to call.

Sincerely,

Ann B. Machado  
Zoning Specialist  
(207) 874-8709

Cc. file



**NOTES:**

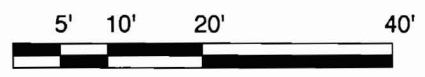
1. PROPERTY LOCATED AT 122 JEANNE STREET, PORTLAND, MAINE 04102
2. SITE PLAN BASED ON CITY OF PORTLAND TAX MAPS AND ON CLOTH TAPE MEASUREMENTS IN THE FIELD. LINES AND BUILDING LOCATIONS ARE APPROXIMATE - NOT A BOUNDARY SURVEY.

R3  
 F 25' req.  
 R 25' req.  
 S - side street 20' req.  
 lot coverage 30% S. of rear or 2140.5 #/Shawn  
 not as high as house.

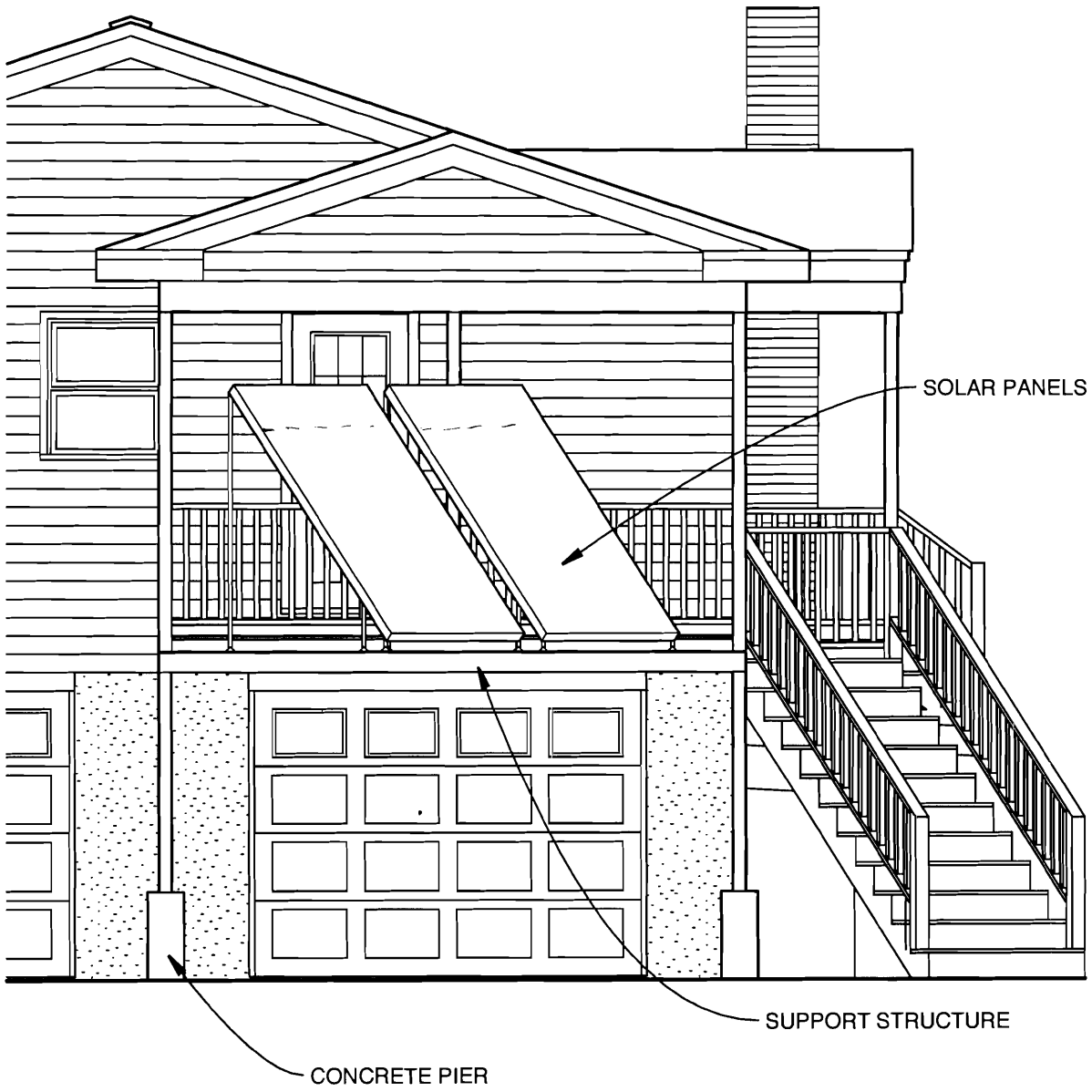
Sheet L1



Title: Site Plan  
 Scale: 1" = 20'-0"  
 Date: 1/20/05  
 Project: Innes Residence Solar Panels

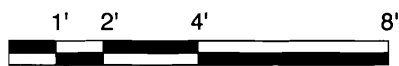


Michael R. Charek, Architect  
 25 Hartley Street  
 Portland, Maine 04103  
 (207) 761-0556



## Sheet A4

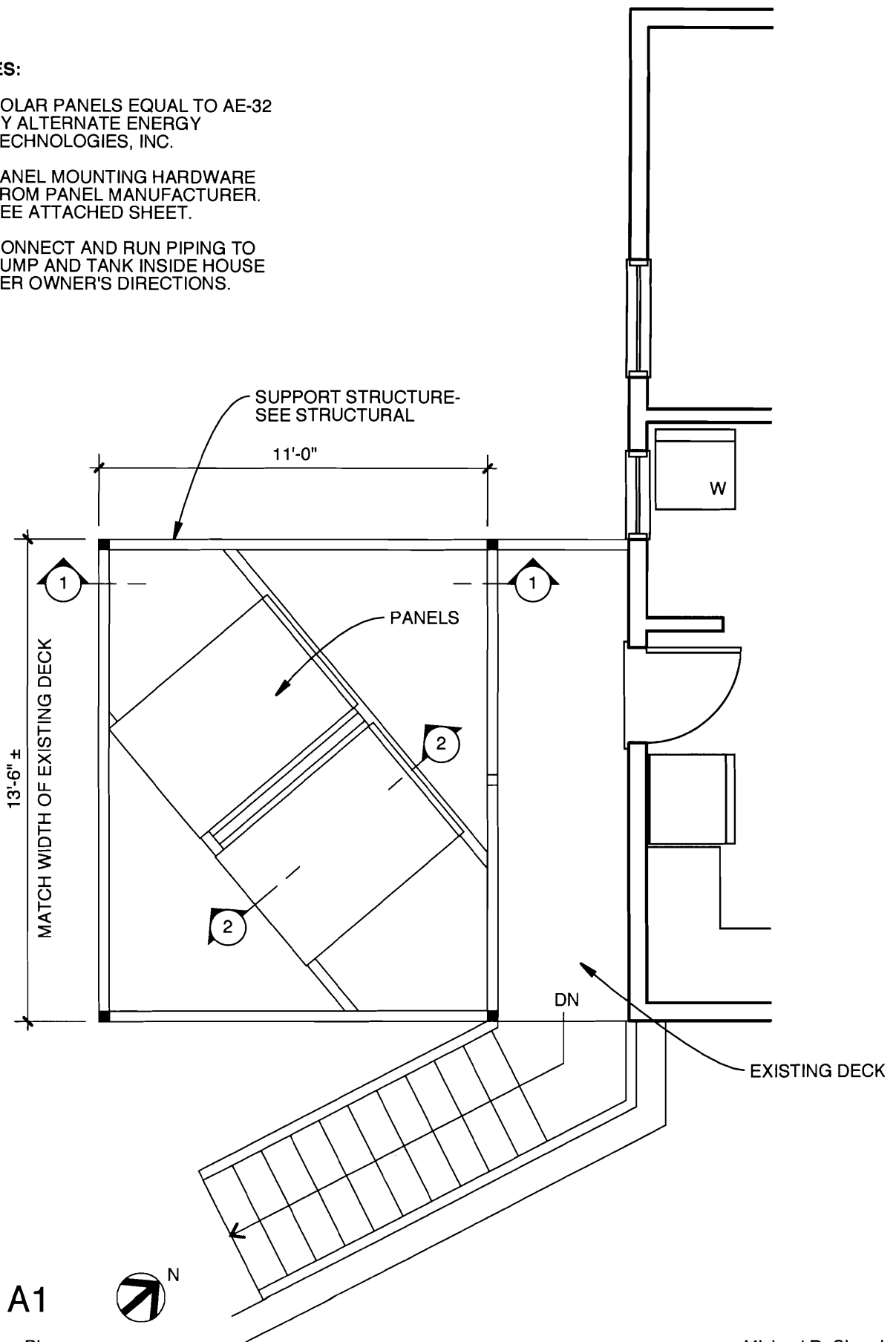
Title: Phipps Road Elevation  
Scale: 1/4" = 1'-0"  
Date: 1/20/05  
Project: Innes Residence Solar Panels



Michael R. Charek, Architect  
25 Hartley Street  
Portland, Maine 04103  
(207) 761-0556

**NOTES:**

- 1. SOLAR PANELS EQUAL TO AE-32 BY ALTERNATE ENERGY TECHNOLOGIES, INC.
- 2. PANEL MOUNTING HARDWARE FROM PANEL MANUFACTURER. SEE ATTACHED SHEET.
- 3. CONNECT AND RUN PIPING TO PUMP AND TANK INSIDE HOUSE PER OWNER'S DIRECTIONS.

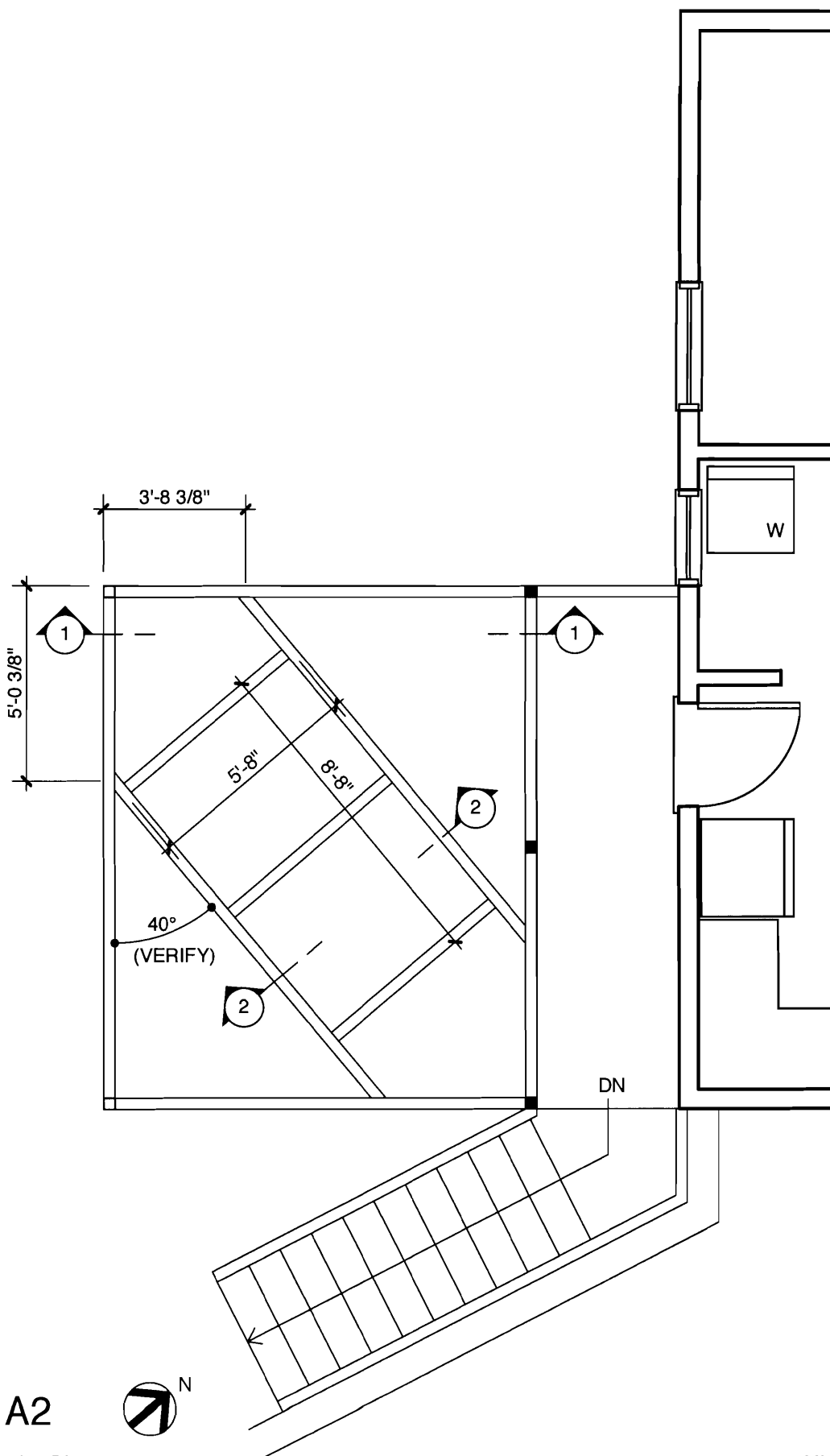


**Sheet A1**

Title: Floor Plan  
Scale: 1/4" = 1'-0"  
Date: 1/20/05  
Project: Innes Residence Solar Panels

Michael R. Charek, Architect  
25 Hartley Street  
Portland, Maine 04103  
(207) 761-0556

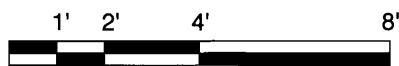




# Sheet A2

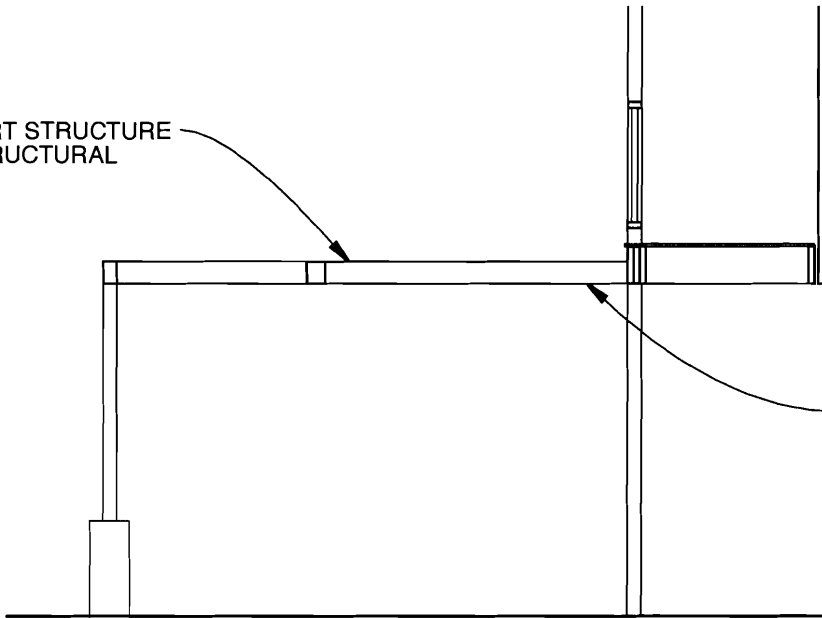


Title: Framing Diagram  
 Scale: 1/4" = 1'-0"  
 Date: 1/20/05  
 Project: Innes Residence Solar Panels



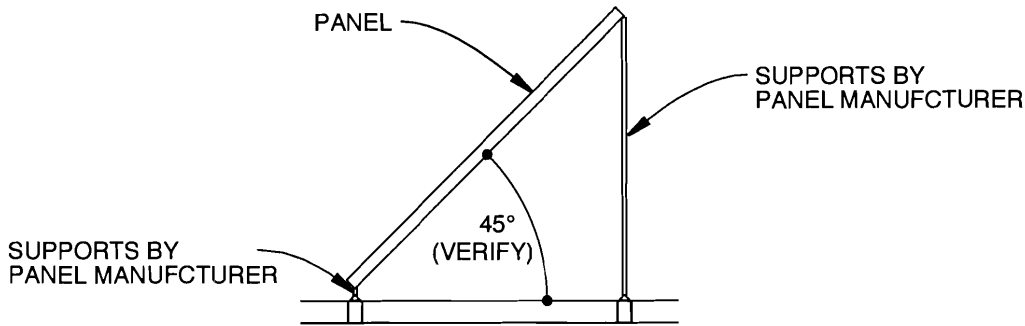
Michael R. Charek, Architect  
 25 Hartley Street  
 Portland, Maine 04103  
 (207) 761-0556

SUPPORT STRUCTURE  
SEE STRUCTURAL



SET UNDERSIDE OF  
SUPPORT STRUCTURE  
FLUSH WITH BOTTOM  
OF DECK FRAMING

**1** SECTION  
SCALE: 1/4" = 1'-0"



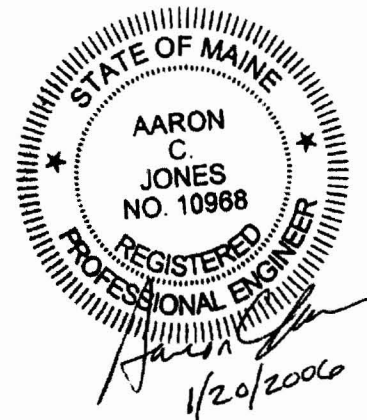
**2** SECTION  
SCALE: 1/4" = 1'-0"

# Sheet A3

Title: Sections  
Scale: 1/4" = 1'-0"  
Date: 1/20/05  
Project: Innes Residence Solar Panels



Michael R. Charek, Architect  
25 Hartley Street  
Portland, Maine 04103  
(207) 761-0556



**GENERAL STRUCTURAL NOTES**

SI Job # 06-0007  
Innes Residence Solar Deck  
Portland, Maine

**DESIGN LIVE LOADS:**

- |                   |                  |                              |
|-------------------|------------------|------------------------------|
| * Ground Snow, Pg | 2003 IBC, U.O.N. | 50 psf                       |
| * Wind            |                  | 90 mph, exp B, 3 second gust |

**FOUNDATION:**

- \* Footings shall be placed on undisturbed natural soil.
- \* Maximum design soil pressure: 1,500 psf

**CONCRETE AND REINFORCEMENT:**

- \* Concrete shall conform to applicable provisions of ACI-301 and 318. Minimum 28 day compressive strength (F'c)  
All Concrete: 3,000 psi w/ 4-6% air entrainment
- \* Cement Type: I/II
- \* Deformed reinforcement: ASTM A615 grade 60, except bars specified to be field-bent, stirrups, and ties which shall be grade 40.
- \* Concrete cover over reinforcing: 1 1/2" for concrete placed against forms; 3" for concrete placed against earth. See also drawings.
- \* Keep reinforcement clean and free of dirt, oil, and scale. Oil forms prior to placing reinforcement.

**WOOD FRAMING:**

- \* Dimension Lumber is designed and shall be supplied using BASE VALUES Design Criteria.
- \* S.P.F. #2 and better (Maximum Moisture Content 19%) U.O.N.  
"Pressure treated lumber" shall be framing material of the specified species which has been pressure treated with a decay and insect resistant solution, meeting all current standards for wood in contact with concrete or earth.  
Acceptable treatment mediums for wood in contact with earth or in exterior applications include ACQ-C and ACQ-D (Alkaline Copper Quaternary) and copper azole (CBA-A and CBA-B).  
DO NOT USE WOODS WHICH HAVE BEEN TREATED WITH AMMONIA BASED CARRIERS.  
All connectors shall meet the recommendations of the pressure treated wood manufacturer, but shall be not less than Hot Dipped Galvanized meeting requirements of ASTM A653, such as Simpson ZMAX (G185). All screws, nails and bolts shall match hangers and other connectors, and shall meet ASTM A123 for individual connectors and ASTM A153 for fasteners.  
For durability, it is our recommendation that connectors used in exposed conditions with treated lumber be stainless steel.  
Do not mix galvanized and stainless products.  
Do not allow aluminum to contact treated wood.
- \* Minimum nailing shall comply with IBC Table 2304.9.1
- \* Metal connectors: Simpson Strong Tie unless otherwise noted, installed with number and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special order.
- \* All beams shall be braced against rotation at points of bearing.

**STRUCTURAL ERECTION AND BRACING REQUIREMENTS**

- \* The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
- \* These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.

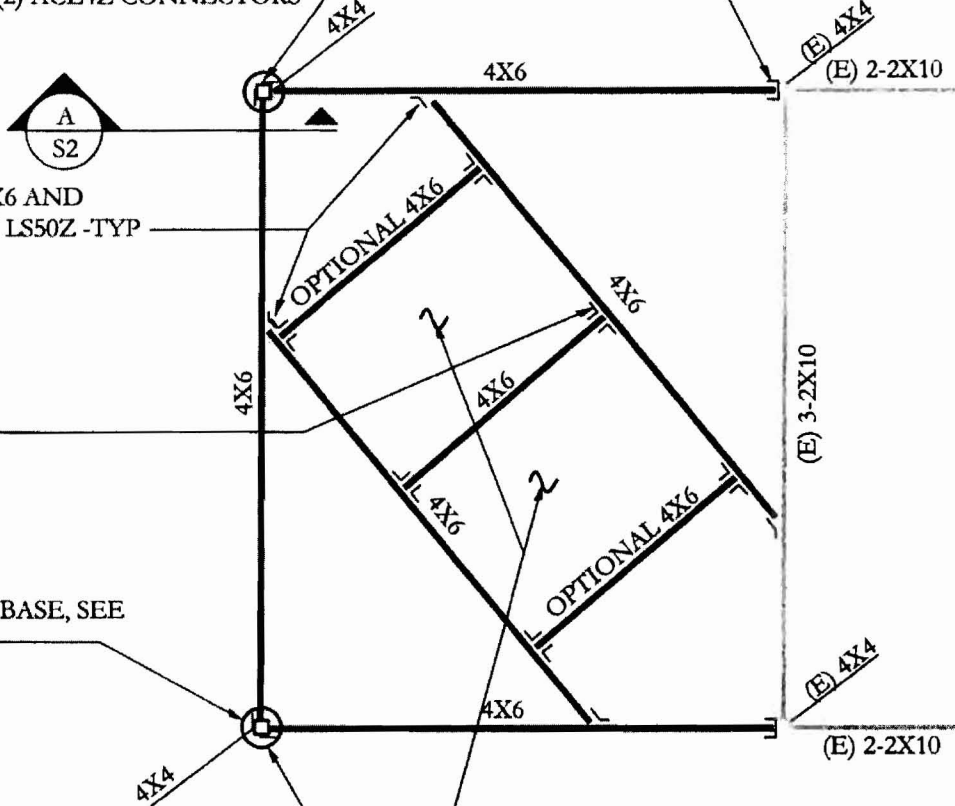
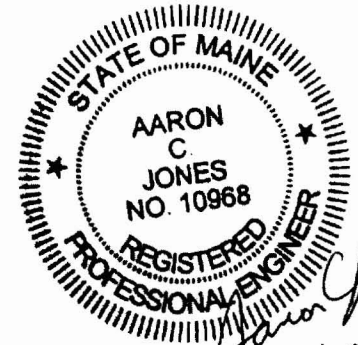
Sheet S0

BUILD WITH CONFIDENCE

S.I. JOB# 06-0007

MITER CUT EACH 4X6 AND FASTEN TO 4X4 POST W/ (2) ACE4Z CONNECTORS

HUC46Z HANGERS @ 4X6 TO (E)



MITER CUT 4X6 AND CONNECT W/ LS50Z -TYP

LUS46Z -TYP

ABU44Z POST BASE, SEE SECTION

10" Ø CONCRETE PIER W/ (4) #4 VERT BARS AND (4) #3 TIES. SEE SECTION.

FASTEN SOLAR PANELS W/ HARDWARE SUGGESTED BY MANUFACTURER W/ 3/8" Ø x 4" LAG BOLTS



## FRAMING PLAN

NOTES:

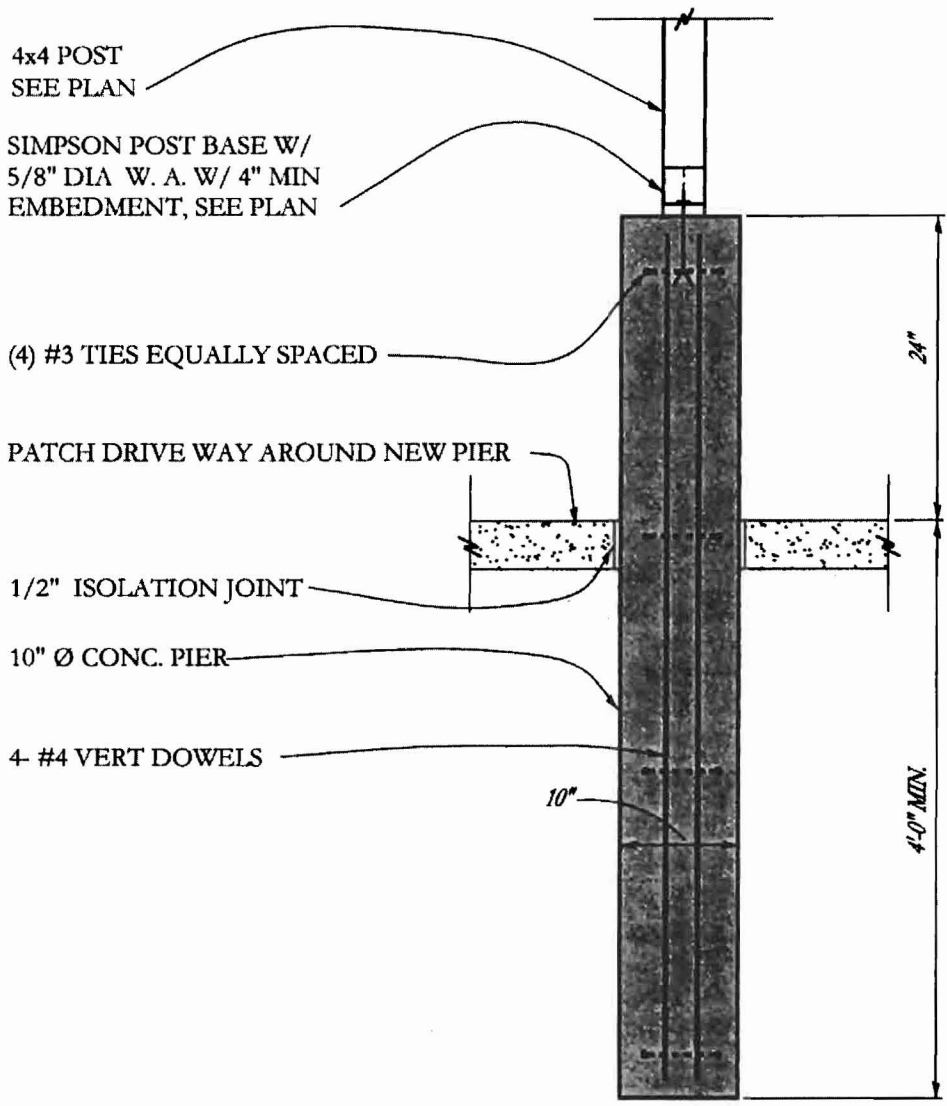
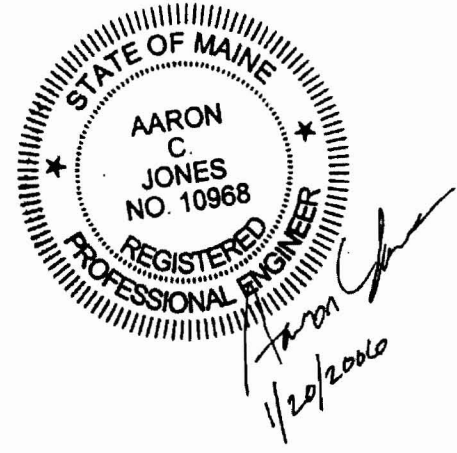
SCALE 1/4"=1'-0"

1. ALL MEMBERS ARE TO BE PRESSURE TREATED
2. SEE SHEET S0 FOR GENERAL STRUCTURAL NOTES
3. "(E)" INDICATES AN EXISTING MEMBER TO REMAIN

Sheet S1

Title: FRAMING PLAN  
Scale: 1/4" = 1'-0"  
Date: 1/20/05  
Project: Innes Residence Solar Panels

Michael R. Charek, Architect  
25 Hartley Street  
Portland, Maine 04103  
(207) 761-0556



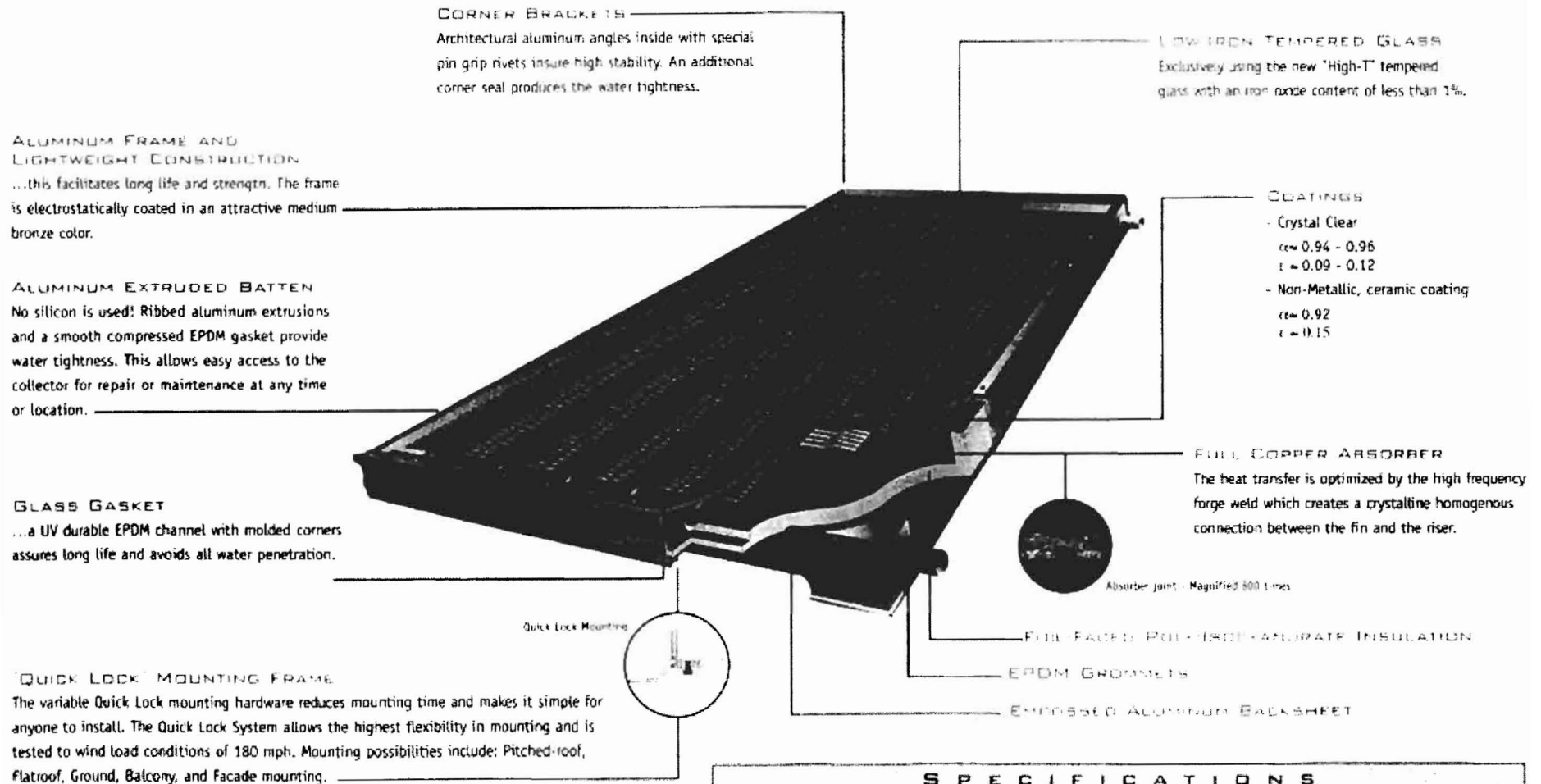
SECTION A  
S2 3/4"=1'-0

Sheet S2

Title: SECTION  
Scale: 3/4" = 1'-0  
Date: 1/20/05  
Project: Innes Residence Solar Panels

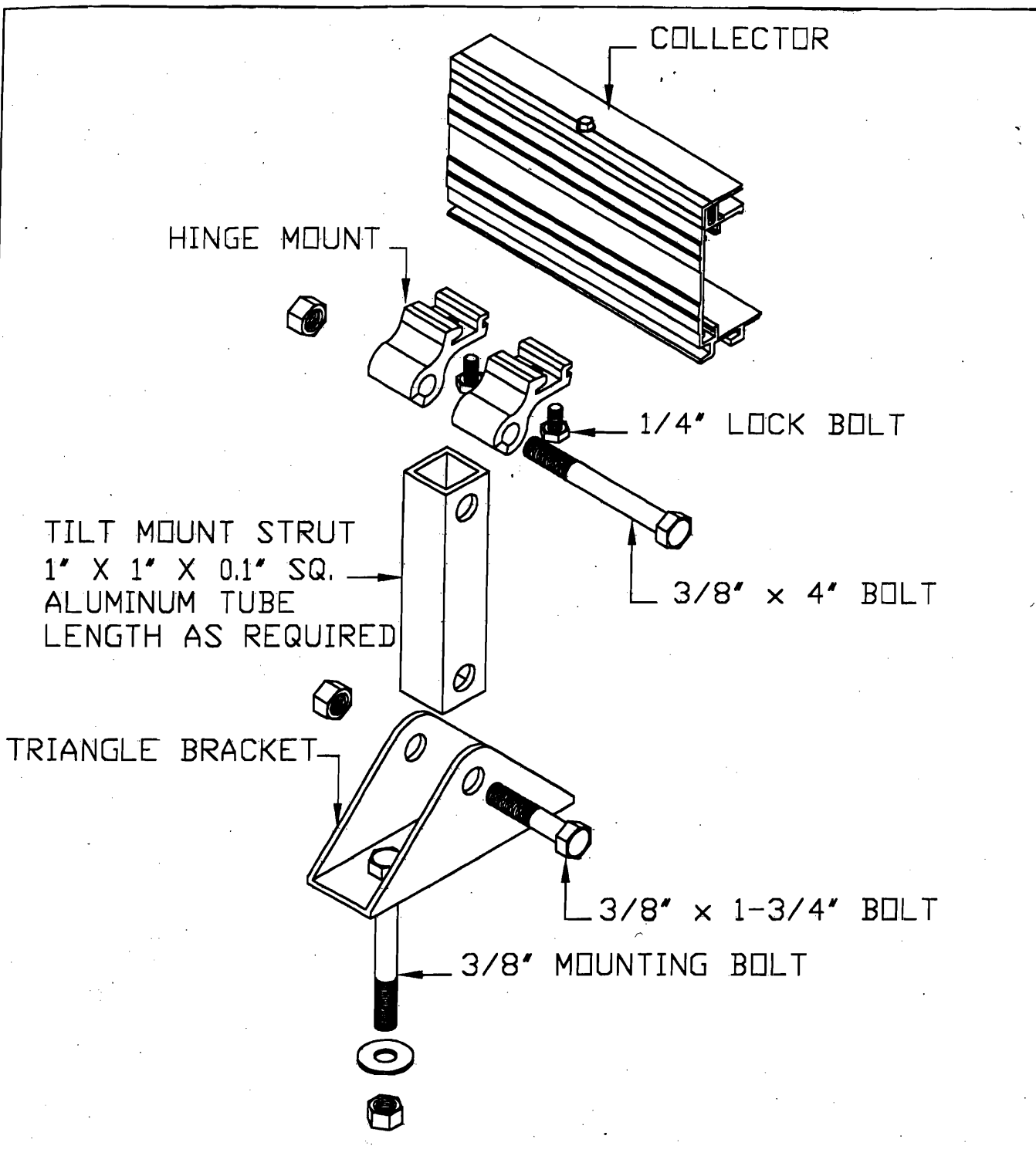
Michael R. Charek, Architect  
25 Hartley Street  
Portland, Maine 04103  
(207) 761-0556

# The AE Collector - Series



ALTERNATE ENERGY TECHNOLOGIES, LLC

SPECIFICATIONS						
Collector	AE-21	AE-24	AE-26	AE-28	AE-32	AE-40
	AE-21E	AE-24E	AE-26E	AE-28E	AE-32E	AE-40E
Gross Area (ft <sup>2</sup> )	20.82	23.75	25.29	27.92	31.85	39.71
Dimensions (in)	85 <sup>3</sup> / <sub>16</sub> x 35 <sup>1</sup> / <sub>16</sub>	97 <sup>1</sup> / <sub>16</sub> x 35 <sup>1</sup> / <sub>16</sub>	77 <sup>3</sup> / <sub>16</sub> x 47 <sup>1</sup> / <sub>16</sub>	85 <sup>3</sup> / <sub>16</sub> x 47 <sup>1</sup> / <sub>16</sub>	97 <sup>1</sup> / <sub>16</sub> x 47 <sup>1</sup> / <sub>16</sub>	121 <sup>1</sup> / <sub>16</sub> x 47 <sup>1</sup> / <sub>16</sub>
Transparent Area (ft <sup>2</sup> )	19.20	21.90	23.60	28.10	29.90	37.40
Weight (lb)	74	84	90	99	113	153
Tested: TUV (DIN 4757), RAPPERSWILL, ONORM M7714, FSEC, SRCC, Metropolitan Dade County, Miami Test Lab						

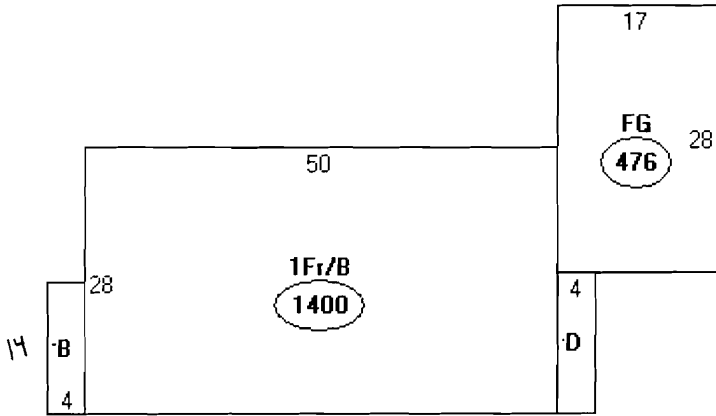


Revision	Description of Change	Date	TOLERANCES		PART NAME	
			ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE:		TILT MOUNT	
			FRACTIONAL		DRAWN BY	DATE
			M.M. = ± 0.002		SK	FINISH
			DEC. = ± 0.001		APPROVED BY	PART NUMBER
			INCH = ± 0.005			
			ANGULAR			
			MOM. = ± 0.50°			
SHEET: 1 of 1			SCALE: Not to Scale			

**AET**  
 Alternate Energy Technologies, LLC  
 1887 N. Ellis Road - Unit 6 Jacksonville, FL 32204

The thoughts and ideas expressed here within are the exclusive property of Alternate Energy Technologies, LLC. The use of these products without the written consent of Alternate Energy Technologies, LLC Incorporated, is not permitted.

MATERIAL SPEC:



Descriptor/Area

- A: 1Fr/B  
1400 sqft
- B: OFF  
56 sqft
- C: FG  
476 sqft
- D: OFF  
60 sqft

lot coverage  $3095.08$   
 $\cdot 035$   
 OK R3  $85437$   
 $1992 \text{ } \neq$   
 $148.5$   
 $11 \times 13.5 =$   
 $2140.5$

F 25' req.  
 R 25' req.  
 S 15' bry = 8' req.  
 S ~~20'~~ district 20' req.



