

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that JAMES LAGRANGE

Located At 55 MADELINE ST

Job ID: 2012-05-3984-ALTR

CBL: 180- D-007-001

has permission to Destruct deck and reconstruct porch

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD



PORTLAND MAINE

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Acting Director of Planning and Urban Development
Gregory Mitchell

Job ID: 2012-05-3984-ALTR

Located At: 55 MADELINE ST

CBL: 180- D-007-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted and a re-measuring of the rear setback by the owners. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Fire

All construction shall comply with City Code Chapter 10.

All smoke detectors and smoke alarms shall be photoelectric.

Hardwired Carbon Monoxide alarms with battery back up are required on each floor.

A sprinkler system is recommended but not required based on the following:

Plans indicate the addition will not exceed _50_% of the total completed structure.

Building

1. Application approval based upon information provided by the applicant or design professional. Any deviation from approved plans requires separate review and approval prior to work.
2. Guards must be 34 nches in height with openings less than 4 inches on each side of the stairs. Graspable rails must be installed on one side of the stair guard at 34" to 38". Stair treads shall not be less than 10". Stair risers shall not be more than 7-3/4".
3. Tempered glazing shall be installed in any window within 24" of the arc of a door.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-05-3984-ALTR	Date Applied: 5/11/2012	CBL: 180- D-007-001	
Location of Construction: 55 MADELINE ST	Owner Name: JAMES & TERESA LAGRANGE	Owner Address: 55 MADELINE ST PORTLAND, ME 04103	Phone: 879-8987 232-5525 (C)
Business Name:	Contractor Name: Nate Nelson @ Back Bay Builder	Contractor Address: 85 Dorset Street - Portland, ME 04102	Phone: 232-1247
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ADDITION	Zone: R-3
Past Use: Single Family	Proposed Use: Same: Single Family - to remove rear deck (never permitted) and replace with a 3 season porch - 10' x 15'	Cost of Work: \$3,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A Signature: <i>Capt. Perrine</i>	Inspection: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 09</i> Signature: <i>[Signature]</i>
Proposed Project Description: Destruct deck and reconstruct porch		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Brad		Zoning Approval	

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>5/10/12</i> <i>OK with conditions</i>	Date:	Date: <i>[Signature]</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

Entered 5/11/12

2-3

2012-05-3984-ALTR

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>55 Madeline St.</u>		
Total Square Footage of Proposed Structure/Area <u>130 sq. ft.</u>	Square Footage of Lot <u>4680</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>180 D 7</u>	Applicant: (must be owner, lessee or buyer) Name <u>James Lagrange</u> Address <u>55 Madeline St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207-879-8987</u>
Lessee/DBA RECEIVED MAY 11 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>3,000</u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____ Total Fee: \$ <u>50.00</u>
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>3 season porch 10' x 15'</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>3 season porch w/ 2 doors + about 6 windows. destroying original deck + building a porch.</u>		
Contractor's name: <u>Nate Nelson</u> Email: <u>backbaybuilder@gmail.com</u> Address: <u>85 Dorset St.</u> City, State & Zip: <u>Portland, ME 04102</u> Telephone: <u>232-1247</u>		Who should we contact when the permit is ready: <u>Teresa or Jim Lagrange</u> Telephone: <u>232-5525</u>
Mailing address: <u>55 Madeline St Portland, Me 04103</u>		

No permit record for the Deck

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Teresa Lagrange Date: May 8, 2012

This is not a permit, you may not commence ANY work until the permit is issued



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Receipts Details:

Tender Information: Check , Check Number: 23020

Tender Amount: 50.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 5/11/2012

Receipt Number: 43864

Receipt Details:

Referance ID:	6496	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	50.00	Charge Amount:	50.00
Job ID: Job ID: 2012-05-3984-ALTR - Destruct deck and reconstruct porch			
Additional Comments: 55 Madeline			

Thank You for your Payment!

NO EVIDENCE ON FILE THAT
IT WAS EXISTING DECK,
EVEN TO BE TURNED INTO
PERMITS FOR SEASON PORCH

HOUSE

DRIVE WAY

MADELINE STREET

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

CBL 180 D007001
Land Use Type SINGLE FAMILY
Property Location 55 MADELINE ST
Owner Information LAGRANGE JAMES & TERESA
 LAGRANGE JTS
 55 MADELINE ST
 PORTLAND ME 04103
Book and Page 17853/198
Legal Description 180-D-7
 MADELINE ST 55-57
 4680 SF
Acres 0.107

Current Assessed Valuation:

TAX ACCT NO.	25470	OWNER OF RECORD AS OF APRIL 2011
LAND VALUE	\$85,300.00	LAGRANGE JAMES &
BUILDING VALUE	\$97,500.00	TERESA LAGRANGE JTS
HOMESTEAD EXEMPTION	(\$10,000.00)	55 MADELINE ST
NET TAXABLE - REAL ESTATE	\$172,800.00	PORTLAND ME 04103
TAX AMOUNT	\$3,158.78	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Building 1

Year Built 1957
Style/Structure Type GARRISON
Stories 2
Units 1
Bedrooms 3
Full Baths 1
Total Rooms 6
Attic NONE
Basement FULL
Square Feet 1274

[View Sketch](#) [View Map](#) [View Picture](#)

Sales Information:

Sale Date	Type	Price	Book/Page
7/1/2002	LAND + BUILDING	\$173,000.00	17853/198
7/2/1986	LAND + BUILDING	\$0.00	7254/224

New Search!

Services

Applications

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Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)



Best viewed at 800x600, with Internet Explorer



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.





owner's phone call

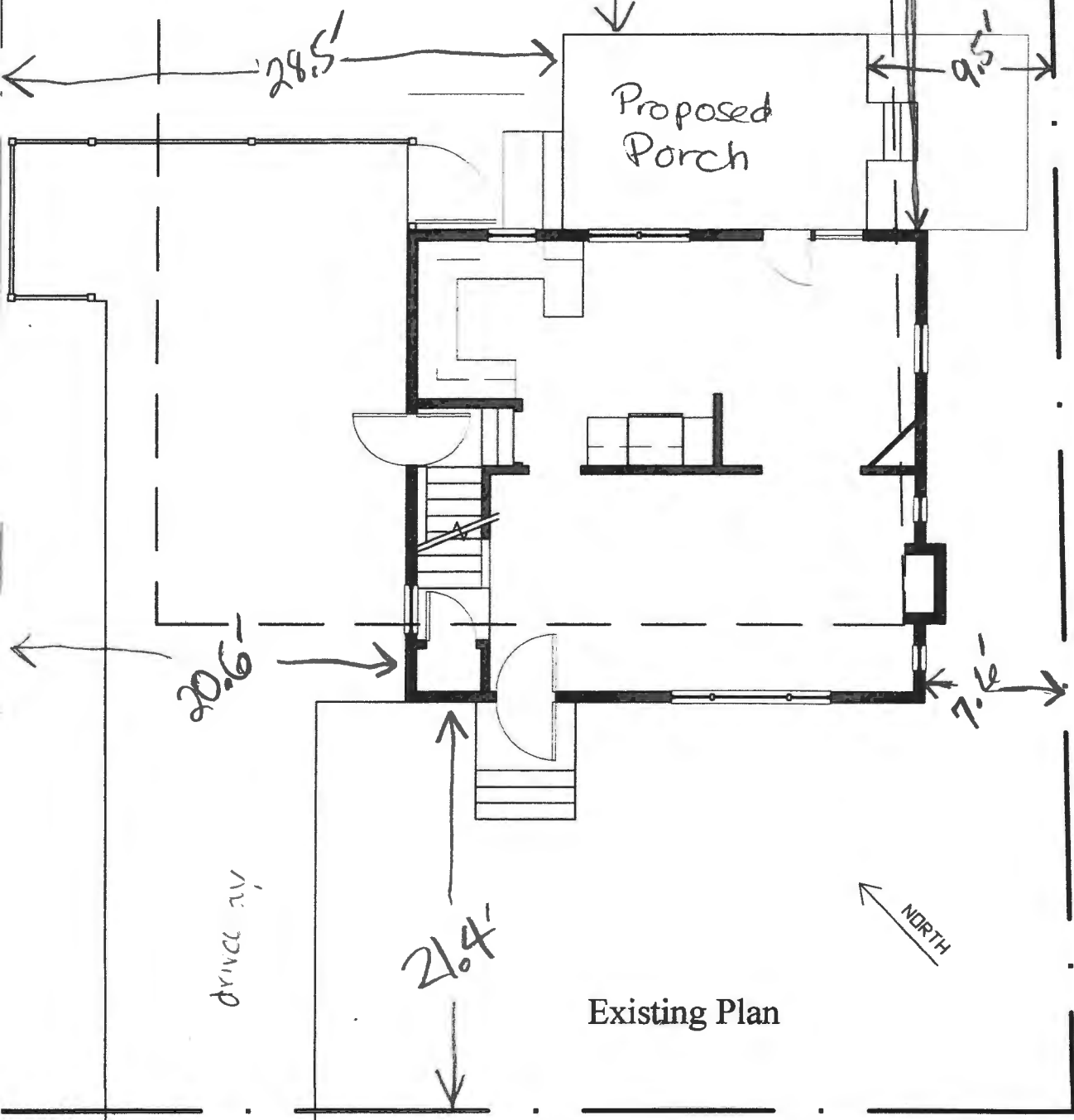
Existing Mature Maple

R-3 zone

○ Rear: 25' min - 31' show
Side: 1st story 9' - 9.5' show
Front 25' min - 25' show

31' per owner's phone call
5/18/12

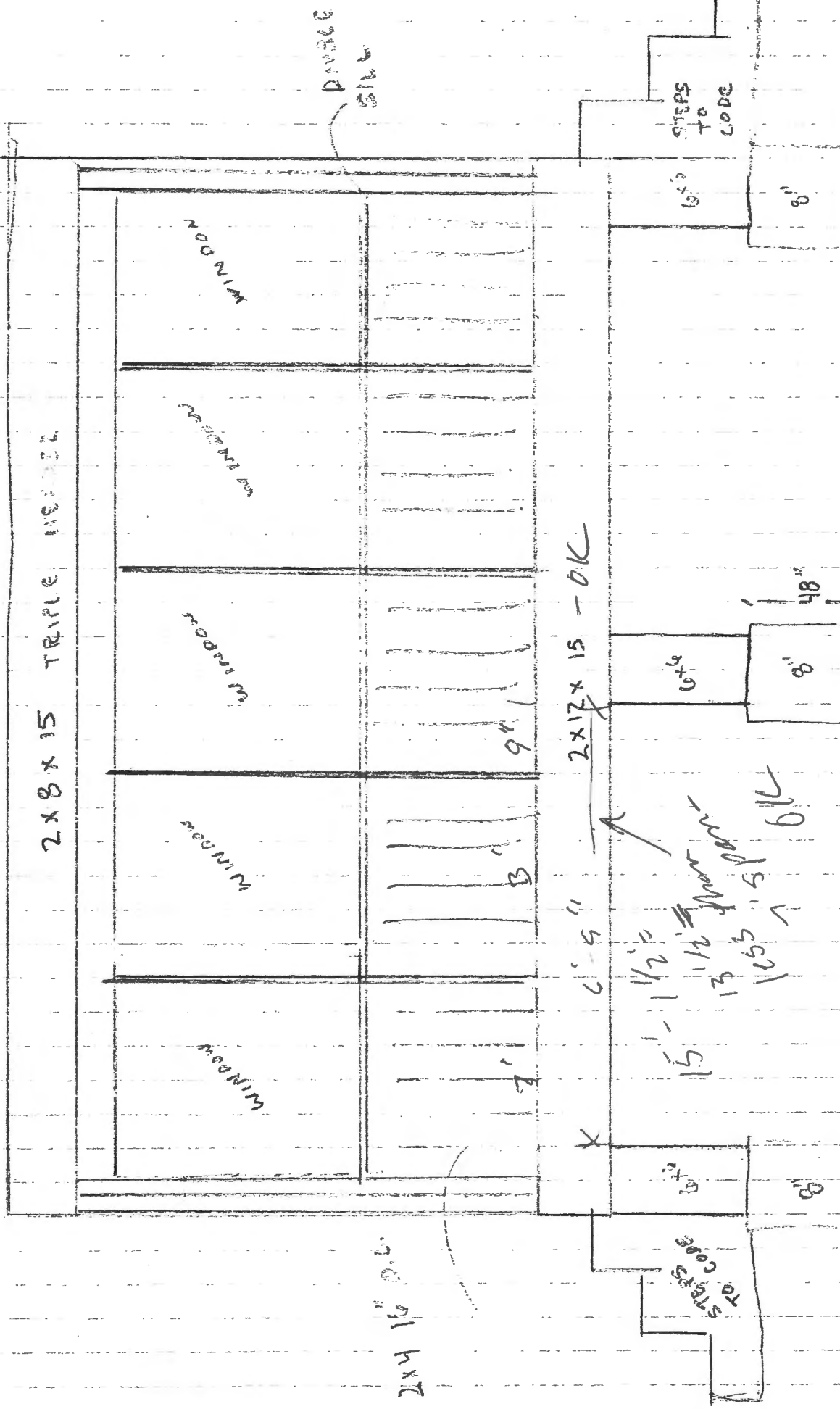
SETBACK ENVELOPE



Existing Plan

City of Portland Property

NOTE: A

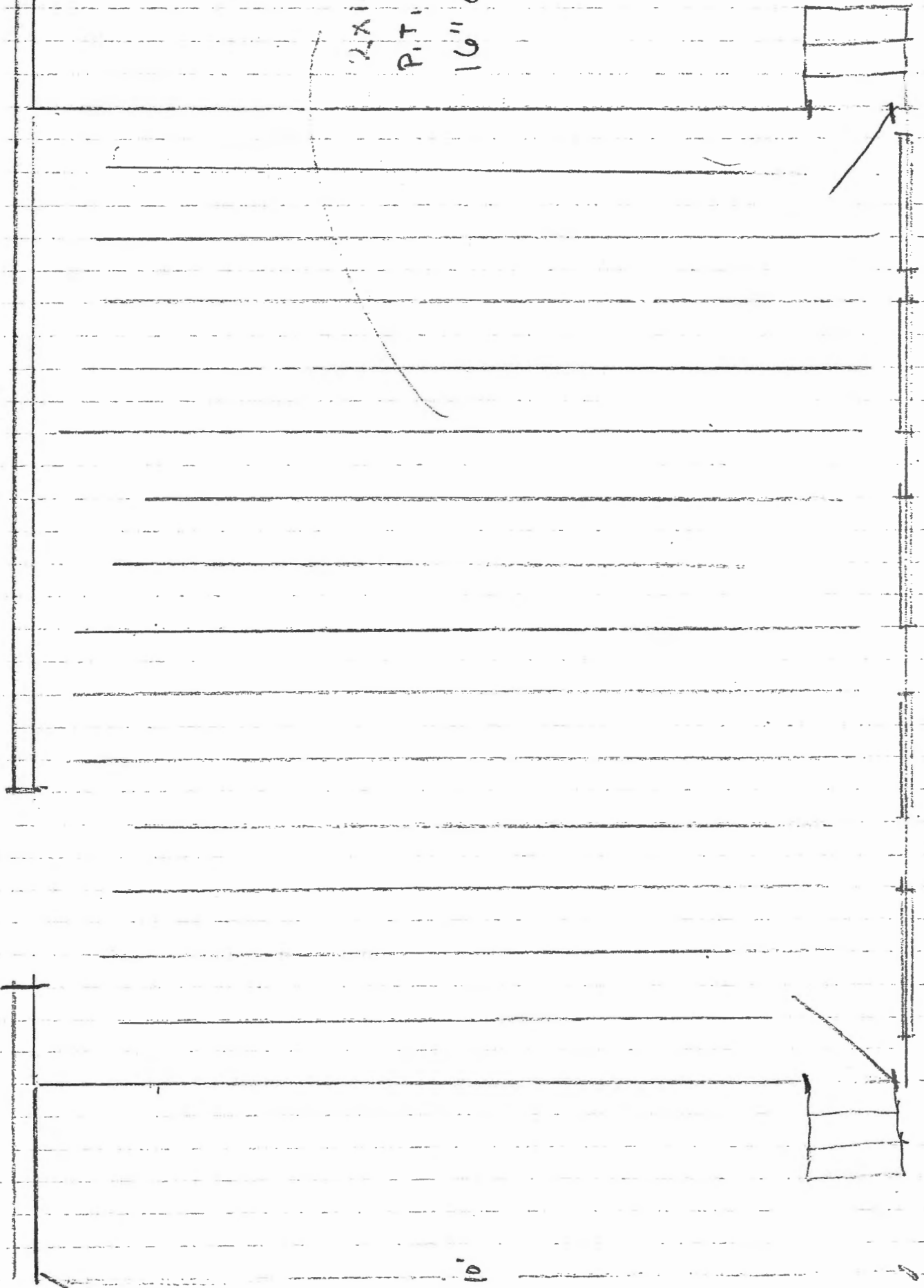


HOUSE

2x10x10
P.T. ✓
16" o.c.

10'

15'



THREE SEASON PORCH

(NO INTERIOR FINISHES/ELECTRICAL)

WINDOW

EXISTING HOUSE

10'

2x10x14

4x12

TRIPLE 2x8x15

2x10x10 P.T.

2x12
LEADER

FASTENED
w/ 5" LAG BOLTS
& BRACKETS

RUBBER ROOF
w/ FIBER
UNDERLAYMENT

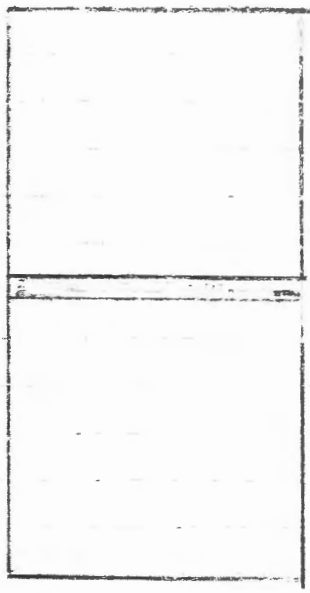
OSB
SHEATHING

1 1/2" O.C.
2x4 FRAME
1/2" OSB SHEATHING

3/4 ADIATECH

TRIPLE
2x12

6x6 P.T.
48" SQUARE TUBE





INTERURBAN
PLANNING & DESIGN, INC.
400 Intervale Road
New Gloucester, Maine 04120
207.826-3939

LAGRANGE RESIDENCE

55 Madeline Street, Portland, Maine

PRELIMINARY DESIGN

IN ACCEPTING THESE DRAWINGS THE CLIENT REALIZES THAT THEY ARE CONCEPTUAL ONLY. THEY FURTHER UNDERSTAND THAT INTERURBAN PLANNING & DESIGN IS NOT A LICENSED ARCHITECTURE OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT IT IS THE BUILDER'S OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL CONSTRUCTION IS DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES. THE CLIENT AND BUILDER WILL REVIEW THESE DRAWINGS PRIOR TO CONSTRUCTION TO VERIFY THAT THEY ARE SUITABLE FOR THE CLIENT'S NEEDS. IF ANY ERRORS ARE FOUND, INTERURBAN PLANNING & DESIGN WILL CORRECT THEM PRIOR TO START OF CONSTRUCTION.

Plot
Plan

DWG. 1 of 5

29 OCT. 04

1"=20'

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION