City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No:	Date Applied:	CBL:	
2011-02-418-SF	2/14/2011	180 - - D - 001 - 001 - - - - -	
Location of Construction: 83 MADELINE ST	Owner Name: JONATHAN G & MERMIN	Owner Address: 83 MADELINE ST PORTLAND, ME - MAINE 04103	Phone: 775-1971
Business Name:	Contractor Name: Holmes, David	Contractor Address: 467 Auburn ST PORTLAND, MAINE04103	Phone: 415-6682
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG – Building addition upward	Zone: R-3
Past Use: SINGLE FAMILY	Proposed Use: SAME: SINGLE FAMILY – Going upward above the front porch	Cost of Work: 28000.00 – Fee WAS $300.00	CEO District:
		Fire Dept: ___ Approved ___ Denied ___ N/A Signature:	Inspection: Use Group: Type: Signature:
Proposed Project Description: 83 Madeline - upward expansion		Pedestrian Activities District (P.A.D.)	

WITHDRAW

Permit Taken By:	Zoning Approval		
	Special Zone or Reviews	**Zoning Appeal**	**Historic Preservation**
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrial work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	___ Shoreland ___ Wetlands ___ Flood Zone ___ Subdivision ___ Site Plan __ Maj __Min __ MM Date:	___ Variance ___ Miscellaneous ___ Conditional Use ___ Interpretation ___ Approved ___ Denied Date:	✓ Not in Dist or Landmark ___ Does not Require Review ___ Requires Review ___ Approved ___ Approved w/Conditions ___ Denied Date:

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHON

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 83 Madelme St.

Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
208 sq.ft	5,400 sq.ft.	2

Tax Assessor's Chart, Block & Lot	Applicant *must be owner, Lessee or Buyer*	Telephone:
Chart# 180 Block# D Lot# 1	Name John & Naomi Mermin Address 83 Madelme St. City, State & Zip Portland, ME 04103	775-1971

Lessee/DBA (If Applicable)	Owner (if different from Applicant)	Cost Of Work: $ 28,000
	Name	C of O Fee: $
	Address	Total Fee: $ 300
	City, State & Zip	

Current legal use (i.e. single family) Single family Number of Residential Units _____
If vacant, what was the previous use? _____
Proposed Specific use: _____
Is property part of a subdivision? _____ If yes, please name _____
Project description: Adding 8'x 26' 2nd floor (above existing 8'x 26' 1st floor.)

Contractor's name: David Holmes / Builder
Address: 467 Auburn St.
City, State & Zip Portland, ME 04103 Telephone: _____
Who should we contact when the permit is ready: David Holmes Telephone: (207) 415-6682
Mailing address: Same

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: David Holmes Date: 2/14/11

This is not a permit; you may not commence ANY work until the permit is issued

Revised 01-20-10

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
04-1032		180 D001001

Location of Construction:	Owner Name:	Owner Address:	Phone:
83 Madeline St	Mermin Jonathan G &	83 Madeline St 791-3220	775-1971
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	David Holmes	467 Auburn St Portland	2074156682
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	**Zone:**
		Alterations - Dwellings	R-3

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
single family residence	single family residence w/porch converted to office	$111.00	$10,000.00	5

FIRE DEPT: ☐ Approved ☐ Denied N/A Signature:

INSPECTION: Use Group: R-3 Type: 5B BOCA 1999 Signature:

Proposed Project Description:
single family residence w/porch closed in to become an office

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied
Signature: Date:

Permit Taken By:	Date Applied For:
jodinea	07/23/2004

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland	☐ Variance	☑ Not in District or Landmark
☐ Wetland OK under 14-427	☐ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone	☐ Conditional Use	☐ Requires Review
☐ Subdivision	☐ Interpretation	☐ Approved
☐ Site Plan	☐ Approved	☐ Approved w/Conditions
Maj ☐ Minor ☐ MM ☐	☐ Denied	☐ Denied
Date: 8/6/04	Date:	Date: 8/6/04

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 83 Madeline St. Portland

Total Square Footage of Proposed Structure: 12'x8' 96 sq. ft

Square Footage of Lot: 106'x50'

Tax Assessor's Chart, Block & Lot
Chart# 180 Block# D Lot# 001

Owner: Naomi & John Mermin

Telephone: 775-1971

Lessee/Buyer's Name (If Applicable)

Applicant name, address & telephone: 415-6682
David Holmes 467 Auburn St. Ptld

Cost Of Work: $ 10,000.00

Fee: $ 111.00

Current use: Porch

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: Close-in porch - to become an office
Project description:

Contractor's name, address & telephone: David Holmes / Builder 467 Auburn St Portland 415-6682

Who should we contact when the permit is ready: Same

Mailing address: Same

We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a $100.00 fee if any work starts before the permit is picked up. **PHONE:** 415-6682

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: David Holmes **Date:** 7/22/04

This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Required yard a distance of not more than two (2) feet.
(Code 1968, § 602.19.D; Ord. No.78-03/04, 10-20-03)

Sec. 14-426. Fences.

In residence zones no wall or fence along a street line or within twenty-five (25) feet of a street line shall be more than four (4) feet in height unless said fence is located in the side or rear yard and is reviewed by the public works authority and found not to be a traffic or public safety hazard, subject to the provisions of section 14-434.
(Code 1968, § 602.19.E; Ord. No. 247-97, 4-9-97)

Sec. 14-427. Enclosure of porches.

Any open porch existing with a roof over the same on June 5, 1957, an encroaching upon any yard required by this article may be enclosed if the major portion of the enclosure is of glass.
(Code 1968, § 602.19.F)

Sec. 14-428. Corner lots.

In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides an depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.
(Code 1968, § 602.19.G)

Sec. 14-429. Lot surrounded by streets or alleys.

Where a lot containing ten thousand (10,000) square feet or less is completely surrounded by streets or alleys, the building area may be increased twenty (20) percent.
(Code 1968, § 602.19.H)

Sec. 14-430. Height limits.

(a) *Roof structure.* Roof structures for the housing of elevators, stairways, tanks, fans, or other building operating equipment not intended for human occupancy, skylights, steeples,

David Holmes / Builder
415-6682

WHIPPLE CALLENDER ARCHITECTS
551 CONGRESS STREET
PORTLAND
ME 04101
775-2226

2 / A1 SOUTH ELEVATION

1/4"=1'=0"

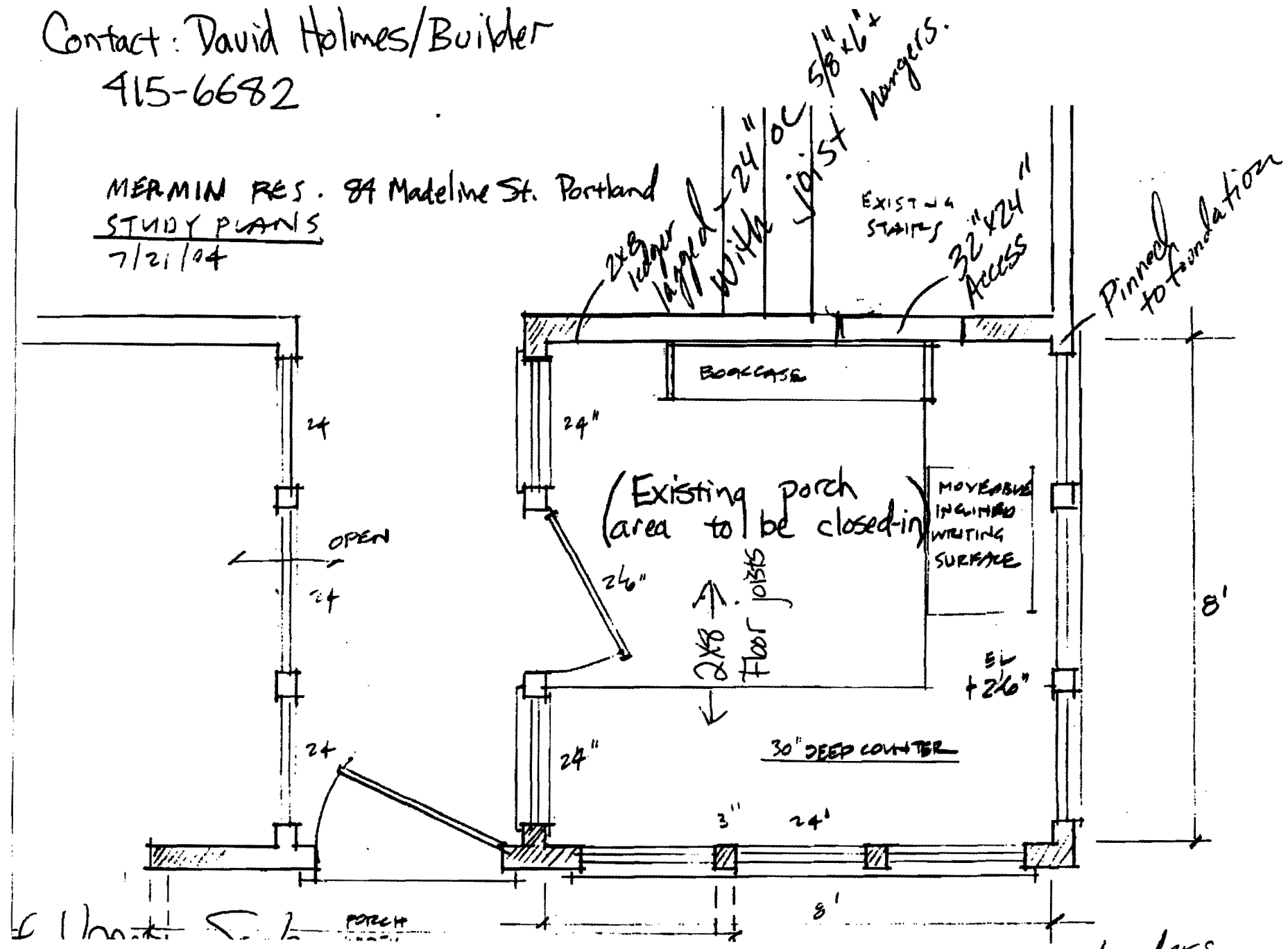
ELEVATIONS

4/12/04

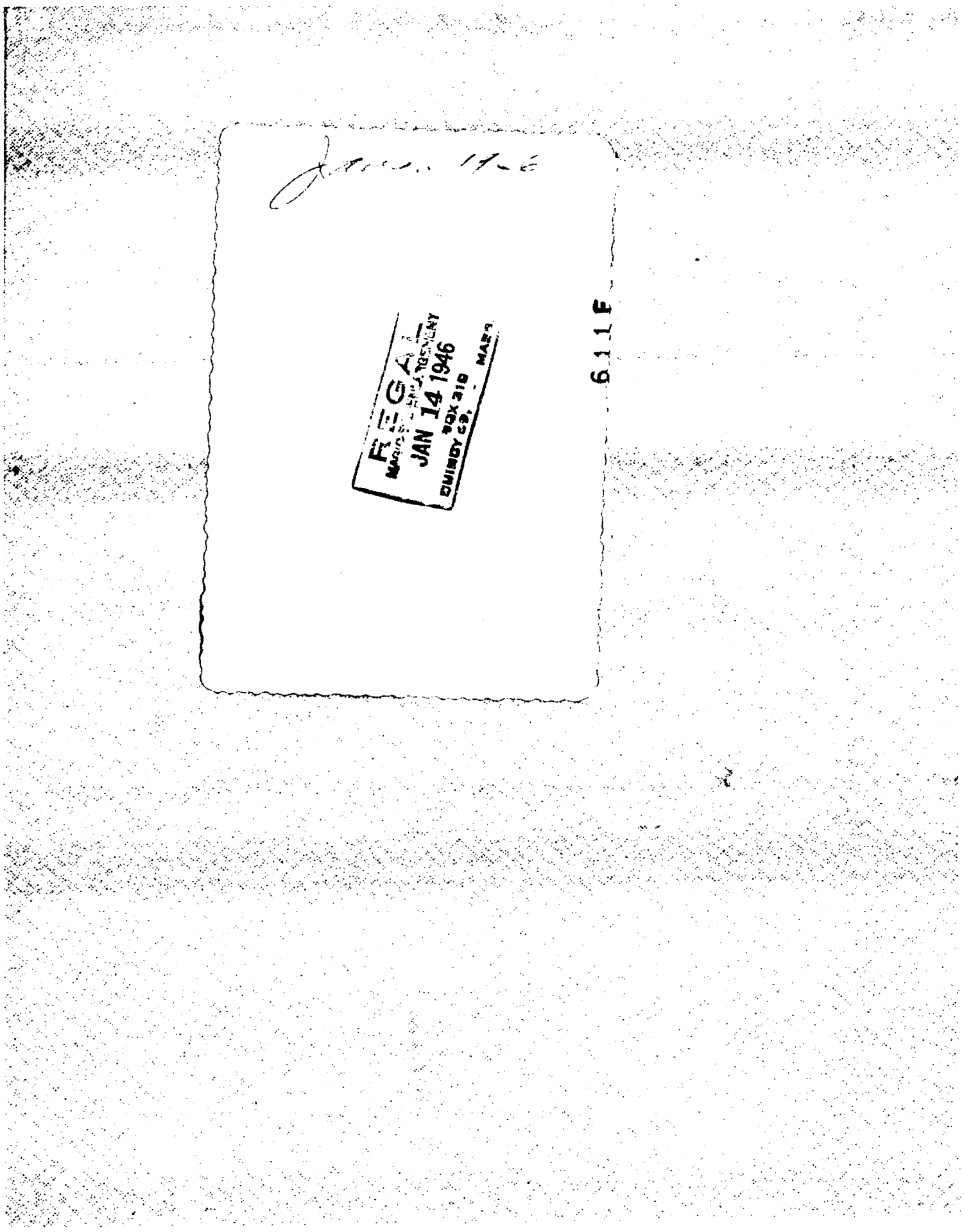
John & Naomi Mermin 83 Madeline St. Portland

Contact: David Holmes/Builder
415-6682

MERMIN RES. 84 Madeline St. Portland
STUDY PLANS
7/21/04



2X6 Construction - 2-2x6 headers
R-19 Ins.


RECEIVED
JAN 14 1946
BOX 318
QUINCY 69, MASS
6 1 1 F

83 Madeline St - File Notes

1.The plot plan is not accurate – it shows setbacks to apparently the curb line. All required setbacks are to the property lines.

2. I am not sure that the new front entry porch with a roof is really only 3'x4'. I want a more detailed plan showing how the new entry porch is now extending into the required front setback.

3. The property is located in an R-3 Zone where the minimum area per dwelling unit is 6,500 sq ft. The Assessor's records show this lot to be 5,366 sq ft in size (both lots 1 & 21). The plot plan shows that the setbacks are legally nonconforming. Therefore section 14- 436(a) is applied. – That section of the ordinance states that the allowed additional floor area SHALL be created in the UPPERMOST floor.... This addition is not being located in the uppermost floor. I will be writing a letter to the owner.

4. Therefore this permit is on hold at this time until and if the applicant can come into compliance with zoning.

2/28/11 – I have been speaking with the owner Naomi Mermin about my letter and her options for an appeal of 14-436(a) – she decided not to pursue this permit and not appeal (she doesn't think she can meet the criteria) – She is withdrawing her permit. I did mention that if the contractor brought in his original receipt, we could issue a refund for most of the fee. Only zoning time was done on this application. It never moved on to building for a review. MES

Penny St. Louis - Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator

February 15, 2011

David Holmes
467 Auburn Street
Portland, ME 04103

John & Naomi Mermin
83 Madeline Street
Portland, ME 04103

RE: 83 Madeline Street – R-3 Zone – 180-D-001 & 021

Dear Mr. Holmes,

I am in receipt of your letter concerning an upward expansion for the building located at 83 Madeline Street. I cannot approve the application request as submitted because the proposal does not meet the requirements of the R-3 Zone in which this property is located.

First of all the submitted plot plan is not accurately showing setbacks. Portland's required setbacks are always measured to property lines, not apparent curb lines. Your submitted plot plant should be revised to show the correct setbacks. The submitted plot plan is not to scale. The submitted plans should be scalable. It is difficult for me to know the size of the new front entryway and how it is meeting the setbacks and requirements.

This lot is legally nonconforming for land area. The minimum area per dwelling unit in the R-3 zone is 6,500 square feet. The Assessor's records show the size of the lot to be 5,366 square feet. Because the lot does not have the required area per dwelling unit, nor the current required setbacks, an upward expansion on the existing footprint is limited by the Land Use Zoning Ordinance. Section 14-436 states: "For principal structures lawfully nonconforming as to land area per dwelling unit as of July 19, 1988: The floor area of the expansion shall be limited to no more than fifty (50) percent of the first floor footprint. The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures needed to provide the minimum height required for habitable space while preserving the existing roof configuration to the maximum extent possible".

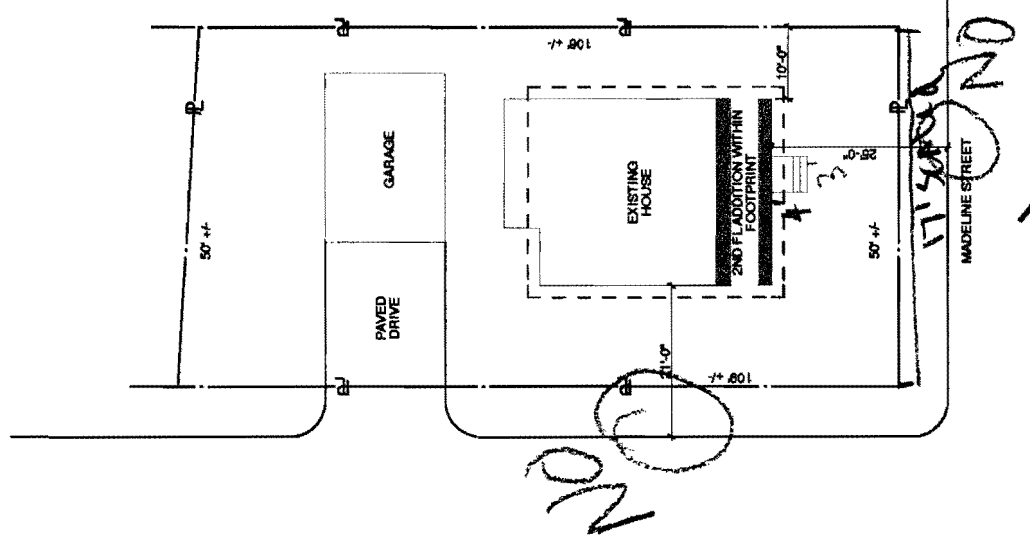
Your proposal is not meeting the requirement to create additional floor area in the uppermost floor. The new area is at a lower level above a front porch. The existing roof configuration of the front porch is being altered and not meeting another criteria of the ordinance.

Your application is on hold until you can submit drawings that can meeting the requirements of the Land Use Zoning Ordinance.

If you have any questions regarding this matter, please do not hesitate to contact me at 874-8695.

Very truly yours,

Marge Schmuckal
Zoning Administrator



1 Lot Plan
SCALE: 1/16" = 1'-0"

PROJECT:
ADDITION
NAOMI & DAVID MERMIN
83 MADELINE STREET
PORTLAND, ME

DRAWING: LOT PLAN
Building Permit Set
SCALE:
DRAWN BY: LML
DATE: JANUARY 2011
REVISED:

C-1.1

PORTLAND, ME 04101
207-233.1251

Job Summary Report
Job ID: 2011-02-418-SF

Report generated on Feb 15, 2011 8:37:53 AM

Job Type:	Single Family	**Job Description:**	83 Madeline	**Job Year:**	2011
Building Job Status Code:	Initiate Plan Review	**Pin Value:**	655	**Tenant Name:**	
Job Application Date:		**Public Building Flag:**	N	**Tenant Number:**	
Estimated Value:	28,000	**Square Footage:**			
Related Parties:		JONATHAN G MERMIN		*Property Owner*	
		Holmes Builder - David Holmes		*GENERAL CONTRACTOR*	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance

Location ID: 25460

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
A05600	180 D 001 001		M				-70.301073	43.676063

S.F.

-9, 180-D-21

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				83 MADELINE STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE	R-3				DISTRICT 7	DEERING-ROSEMONT

Structure Details

Structure: single family home

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0			83 MADELINE STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference

User Defined Property	Value

Permit #: 20111266

Permit Data

5366☆

Job Summary Report
Job ID: 2011-02-418-SF

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
25460	single family home	Initialized	Add 8' x 26' 2nd floor above extisting space			

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	$300.00							

Permit #: 20111267

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
25460	single family home	Initialized				

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment

Permit #: 20111268

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
25460	single family home	Initialized				

Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment

1.The plot plan is not accurate – it shows setbacks to apparently the curb line. All required setbacks are to the property lines. & Not to scale – has been reduced

2. I am not sure that the new front entry porch with a roof is really only 3'x4'. I want a more detailed plan showing how the new entry porch is now extending into the required front setback. – Not to scale

3. The property is located in an R-3 Zone where the minimum area per dwelling unit is 6,500 sq ft. The Assessor's records show this lot to be 5,366 sq ft in size (both lots 1 & 21). The plot plan shows that the setbacks are legally nonconforming. Therefore section 14- 436(a) is applied. – That section of the ordinance states that the allowed additional floor area SHALL be created in the UPPERMOST floor.... This addition is not being located in the uppermost floor. I will be writing a letter to the owner. & contractor

4. Therefore this permit is on hold at this time until and if the applicant can come into compliance with zoning.

Standard Percolation Test Rate of Percolation (minutes)	*Lot Area Required (square feet)*
2	7,800
3	8,400
4	8,800
5	9,100
10	10,500
15....	11,800
30	13,800
45	15,500

(Code 1968, § 602.19.N)

Sec. 14-436. Building extensions.

Existing non-residential and residential principal structures which are nonconforming as to any area and/or yard requirements may be enlarged within the existing footprint subject to the following provisions:

(a) *For principal structures lawfully nonconforming as to land area per dwelling unit as of July 19, 1988*: The floor area of the expansion shall be limited to no more than fifty (50) percent of the first floor footprint.

The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures needed to provide the minimum height required for habitable space while preserving the existing roof configuration to the maximum extent possible.

(b) *For residential principal structures conforming as to land area per dwelling unit as of July 19, 1988, but lawfully nonconforming as to any yard setback or nonresidential principal structures that are lawfully nonconforming as to any yard setback*: The floor area of the expansion shall be limited to no more than eighty (80) percent of the first floor footprint. The additional floor area shall be created by raising the existing roof configuration the minimum amount required to create an additional story of habitable space, or by the use of dormers, turrets or similar structures.

Building expansions under this section may occur only once during the lifetime of an existing structure.

(Ord. No. 61-97, 8-18-97; Ord. No. 284-99, §3, 5-17-99, enacted as an emergency to take effect immediately pursuant to Article II, Sec. 8 of the Portland City Charter)

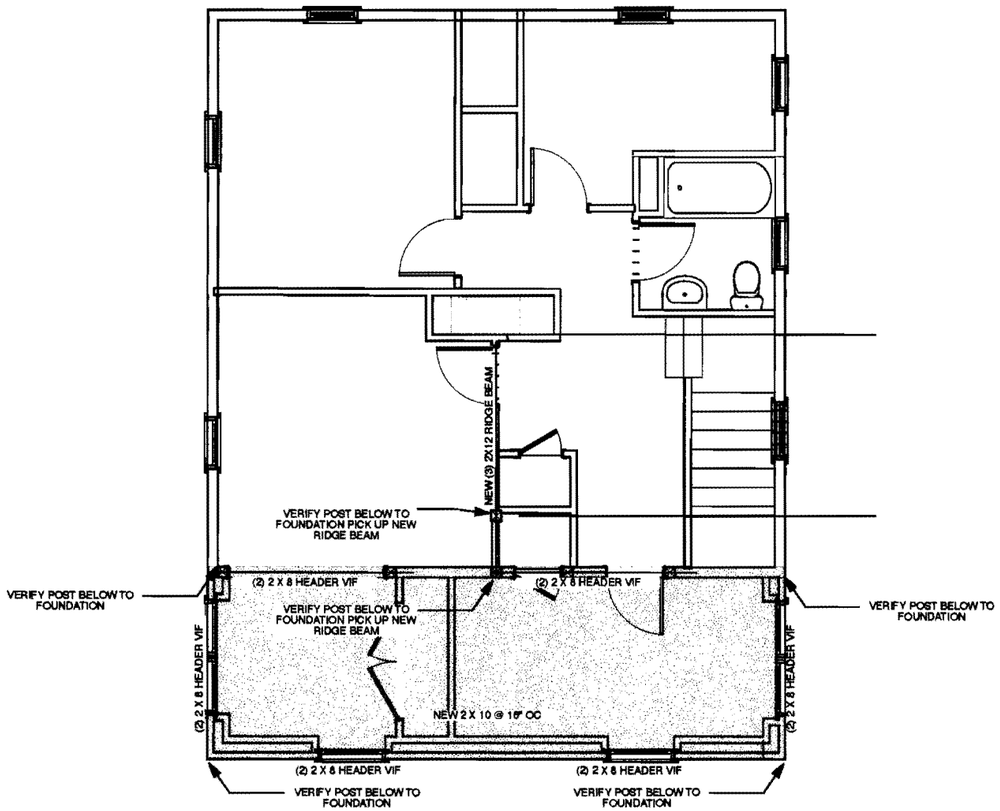
***Editor's note--Ord. No. 61-97, adopted Aug. 18, 1997, repealed former § 14-436 and enacted similar new provisions as herein set out. Formerly, such section derived from § 602.19.0 of the 1968 Code as amended by Ord. No. 92-88, adopted July 19, 1988.**

Sec. 14-437. Setback reductions.

(a) *Authority*. The zoning administrator may grant setback reductions to the extent provided by this section.

(b) *Procedure*. Application for a setback reduction shall be submitted to the building inspections division. A payment of a nonrefundable application fee, as established from time to time by order of the city council to cover administrative costs, shall accompany each application. The application shall be in such form as prescribed by the zoning administrator and shall contain at least the following information and documentation:

1. The name and address of the applicant and his or her

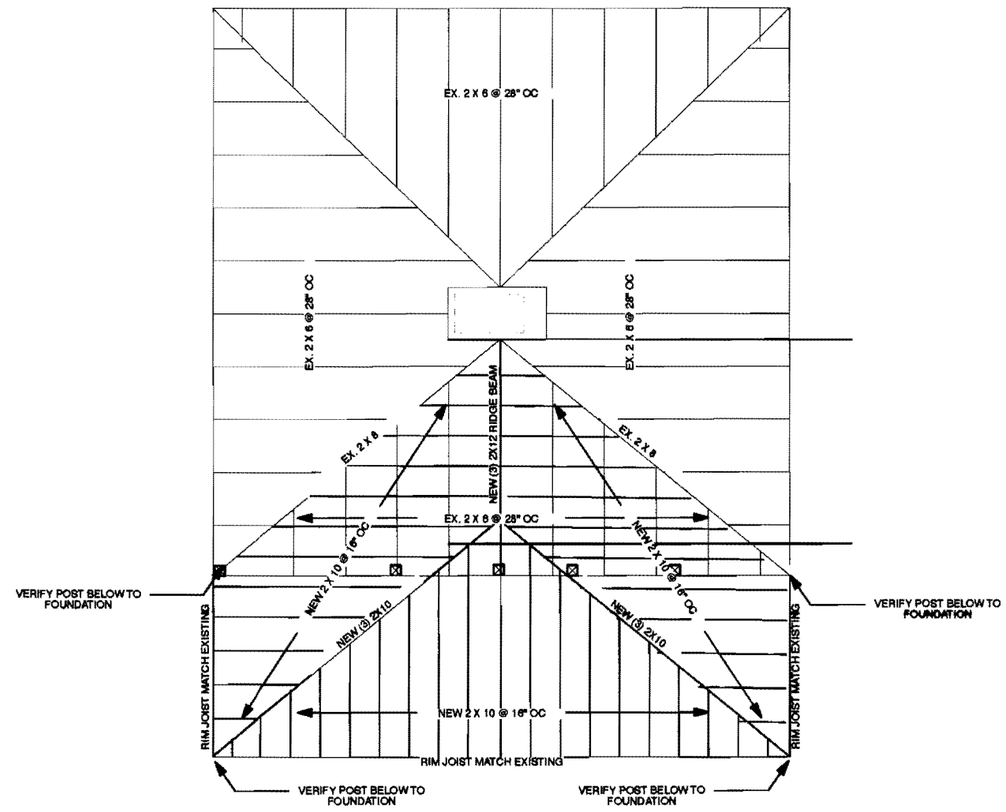


1 Upper Floor
SCALE: 1/4" = 1'-0"

PORTLAND, ME 04101
207-233.1251

PROJECT:
ADDITION
NAOMI & DAVID MERMIN
83 MADELINE STREET
PORTLAND, ME

DRAWING: LAYOUT
Building Permit Set
SCALE:
DRAWN BY: LML
DATE: JANUARY 2011
REVISED:
S-LOS-1.2



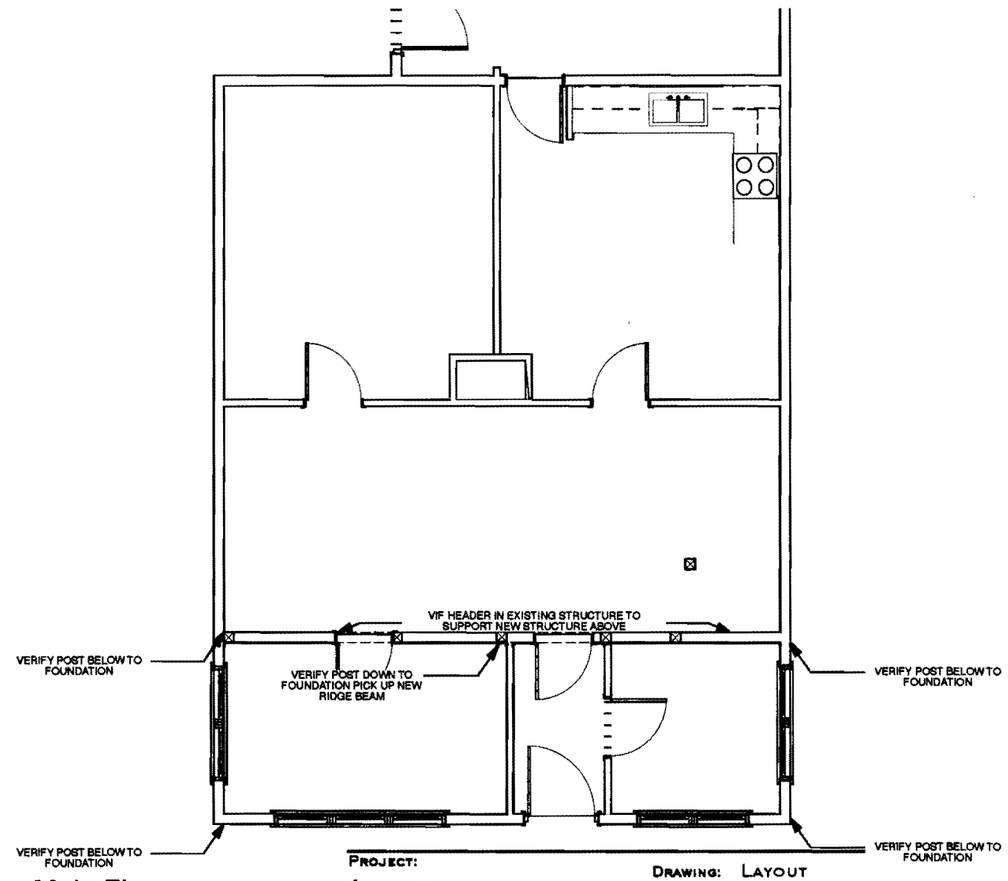
1 Top Plate (Main Roof)
SCALE: 1/4" = 1'-0"

PORTLAND, ME 04101
207-233.1251

Project:
Addition
Naomi & David Mermin
63 Madeline Street
Portland, ME

Drawing:	Layout		Building Permit Set
Scale:		Drawn by:	LmL
Date:	January 2011	Revised:	

S-1.0S-1.1



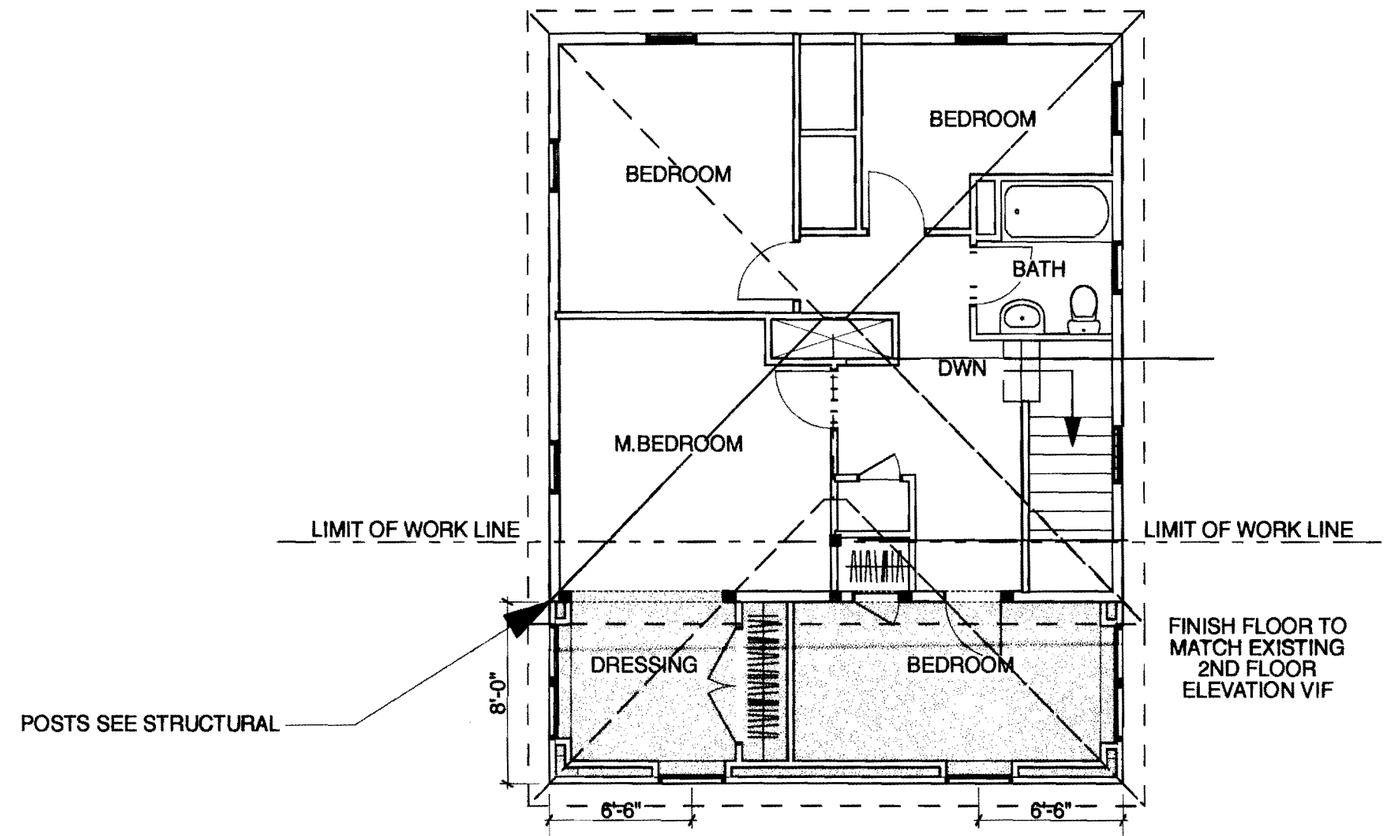
1 Main Floor
SCALE: 1/4" = 1'-0"

PORTLAND, ME 04101
207-233.1251

PROJECT:
ADDITION
NAOMI & DAVID MERMIN
83 MADELINE STREET
PORTLAND, ME

DRAWING: LAYOUT
Building Permit Set
SCALE:
DRAWN BY: L.M.
DATE: JANUARY 2011
REVISED:

S-1.0S-1.3



1 Upper Floor
SCALE: 1/4" = 1'-0"

PORTLAND, ME 04101
207-233.1251

PROJECT:
ADDITION
NAOMI & DAVID MERMIN
83 MADELINE STREET
PORTLAND, ME

DRAWING: UPPER FLOOR
SCALE:
DATE: JANUARY 2011
DRAWN BY: LML
REVISED:

Building Permit Set

A-1.2

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z

Best viewed at 800x600, with Internet Explorer

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

CBL	180 D001001
Land Use Type	SINGLE FAMILY
Property Location	83 MADELINE ST
Owner Information	MERMIN JONATHAN G & NAOMI S MERMIN JTS
	83 MADELINE ST PORTLAND ME 04103
Book and Page	18255/107
Legal Description	180-D-1-21 MADELINE ST 83 BEST ST 5366 SF
Acres	0.123

Current Assessed Valuation:

TAX ACCT NO.	25460	**OWNER OF RECORD AS OF APRIL 2010** MERMIN JONATHAN G & NAOMI S MERMIN JTS 83 MADELINE ST PORTLAND ME 04103
LAND VALUE	$86,200.00	
BUILDING VALUE	$115,300.00	
NET TAXABLE - REAL ESTATE	$201,500.00	
TAX AMOUNT	$3,610.88	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Building Information:

Card 1 of 1

Year Built	1910
Style/Structure Type	OLD STYLE
# Stories	2
Bedrooms	3
Full Baths	1
Total Rooms	6
Attic	NONE
Basement	FULL
Square Feet	1558

View Sketch View Map View Picture

Outbuildings/Yard Improvements:

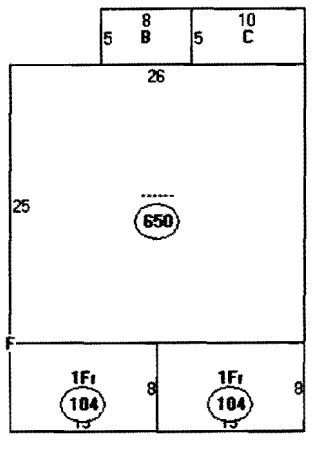
Card 1

Year Built	1990
Structure	GARAGE-WD/CB
Size	14X20
Units	1
Grade	C
Condition	A

Sales Information:

Sale Date	Type	Price	Book/Page
10/1/2002	LAND + BUILDING	$168,000.00	18255/107
5/3/2000	LAND + BUILDING	$124,000.00	15452/318
10/1/1996	LAND + BUILDING	$87,275.00	12778/185

New Search



Descriptor/Area

A: -----
650 sqft

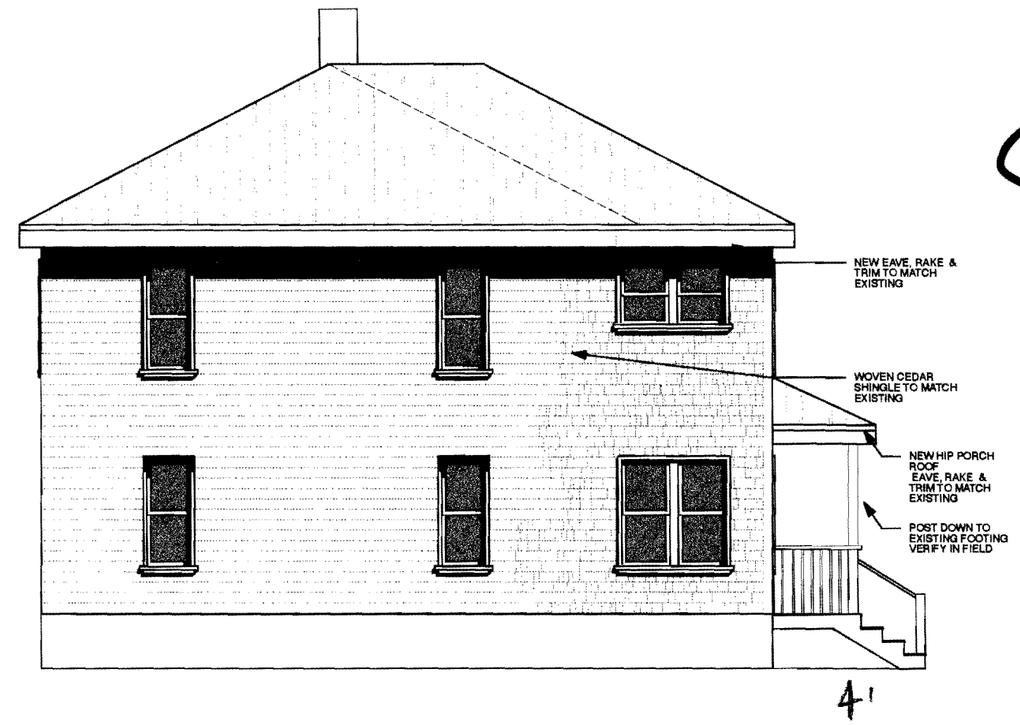
B: EP
40 sqft

C: 1Fr
50 sqft

D: 1Fr
104 sqft

E: 1Fr
104 sqft

F: RG1
280 sqft



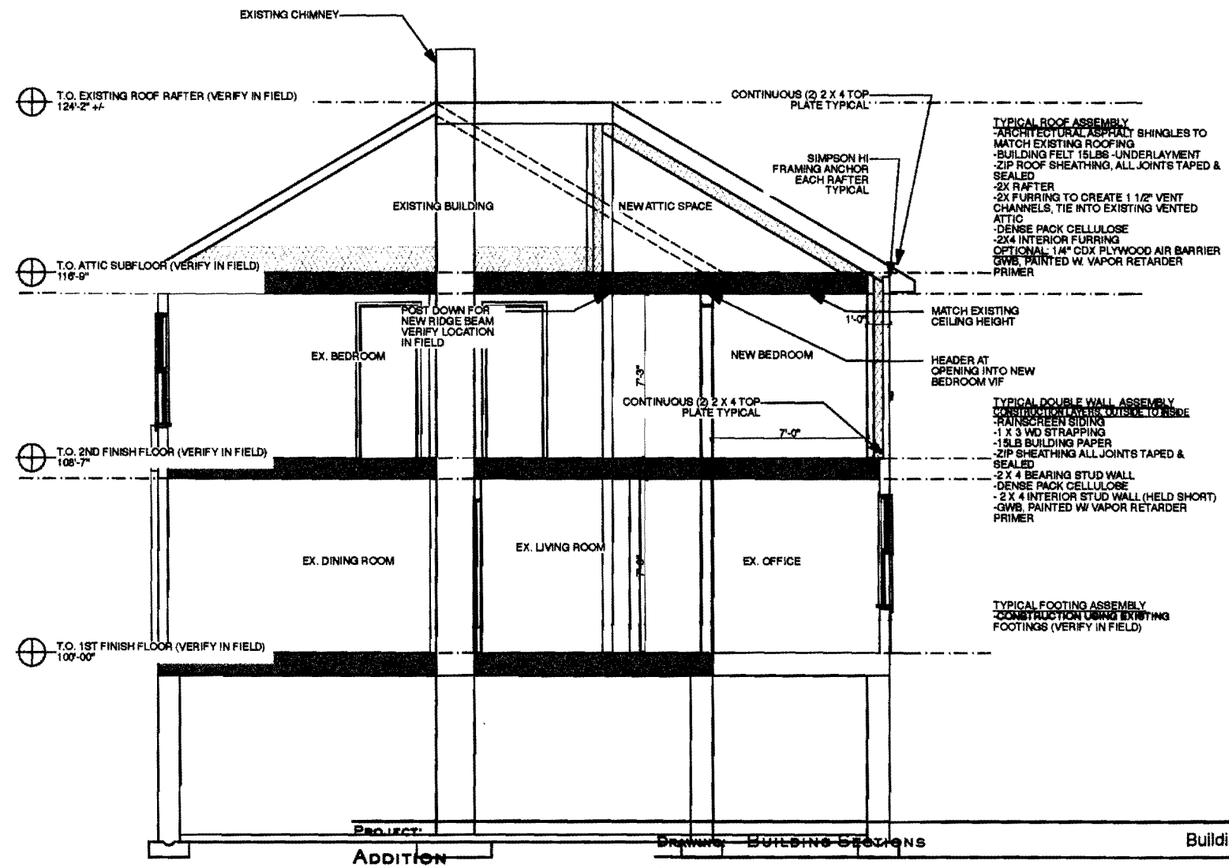
1 West Elevation

SCALE: 1/4" = 1'-0"

PORTLAND, ME 04101
207-233.1251

PROJECT:
ADDITION
NAOMI & DAVID MERMIN
83 MADELINE STREET
PORTLAND, ME

DRAWING:	WEST ELEVATION		Building Permit Set
SCALE:		DRAWN BY: LML	A-2.3
DATE:	JANUARY 2011	REVISED:	



1 North / South Section
SCALE: 1/4" = 1'-0"

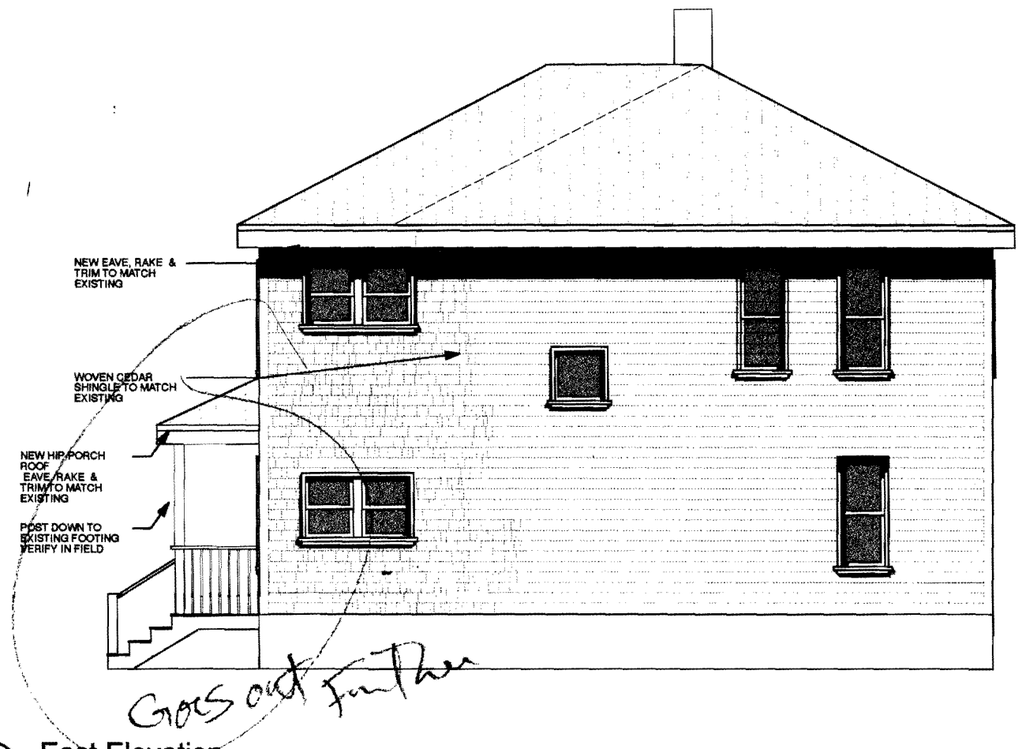
PORTLAND, ME 04101
207-233.1281

PROJECT:
ADDITION
NAOMI & DAVID MERMIN
83 MADELINE STREET
PORTLAND, ME

DRAWING: BUILDING SECTIONS
SCALE:
DRAWN BY: LML
DATE: JANUARY 2011
REVISED:

Building Permit Set

A-3.1



2 East Elevation
SCALE: 1/4" = 1'-0"

PORTLAND, ME 04101
207-233.1251

PROJECT:
ADDITION
NAOMI & DAVID MERMIN
83 MADELINE STREET
PORTLAND, ME

DRAWING: EAST ELEVATIONS
Building Permit Set
SCALE:
DRAWN BY: LML
DATE: JANUARY 2011
REVISED:

A-2.2

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
03-0937	AUG 05 2003	180 D001001

Location of Construction:	Owner Name:	Owner Address:	Phone:
83 Madeline St	Mermin Jonathan G &	83 Madeline St CITY OF PORTLAND	207-775-1970
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
	Holmes, David	467 Auburn Street Portland	2077979349
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	**Zone:**
		Alterations - Dwellings	R-3

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
single family	single family - renovate kitchen & add windows and relocate door & stairs	$156.00	$15,000.00	3

FIRE DEPT:	INSPECTION:
☐ Approved ☐ Denied	Use Group: R-3 Type: 5B
	BOCA 99
Signature:	Signature:

Proposed Project Description:
renovate kitchen & add windows & relocate door & stairs

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied
Signature: Date:

Permit Taken By:	Date Applied For:
tmm	08/05/2003

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland	☐ Variance	☑ Not in District or Landmark
☐ Wetland	☐ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone	☐ Conditional Use	☐ Requires Review
☐ Subdivision	☐ Interpretation	☐ Approved
☐ Site Plan	☐ Approved	☐ Approved w/Conditions
Maj ☐ Minor ☐ MM ☐	☐ Denied	☐ Denied
Date: 8/5/03	Date:	Date: 8/5/03

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 83 Madeline St.

Total Square Footage of Proposed Structure: No change

Square Footage of Lot:

Tax Assessor's Chart, Block & Lot
Chart# 180 Block# D Lot# 1

Owner: Jonathan + Naomi Hermin Telephone: 775-1971

Lessee/Buyer's Name (If Applicable)

Applicant name, address & telephone:

Cost Of Work: $ 15,000

Fee: $ 150

Current Specific use: mudroom / Kitchen

Proposed Specific use: mudroom / Kitchen

Project description: Removing wall between pantry/mudroom + between kitchen/pantry + mudroom. Moving sink back to original location. adding windows to back wall. changing location of back door.

Contractor's name, address & telephone: David Holmes 797-9349 / Architect Joe Delaney 775-2696 x101

Who should we contact when the permit is ready: Naomi Hermin

Mailing address: 83 Madeline St
Portland, ME 04103

Phone: 775-1971
cell 240-3731

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Naomi S. Hermin Date: 7/30/03

This is not a Permit; you may not commence any work until the Permit is issued.

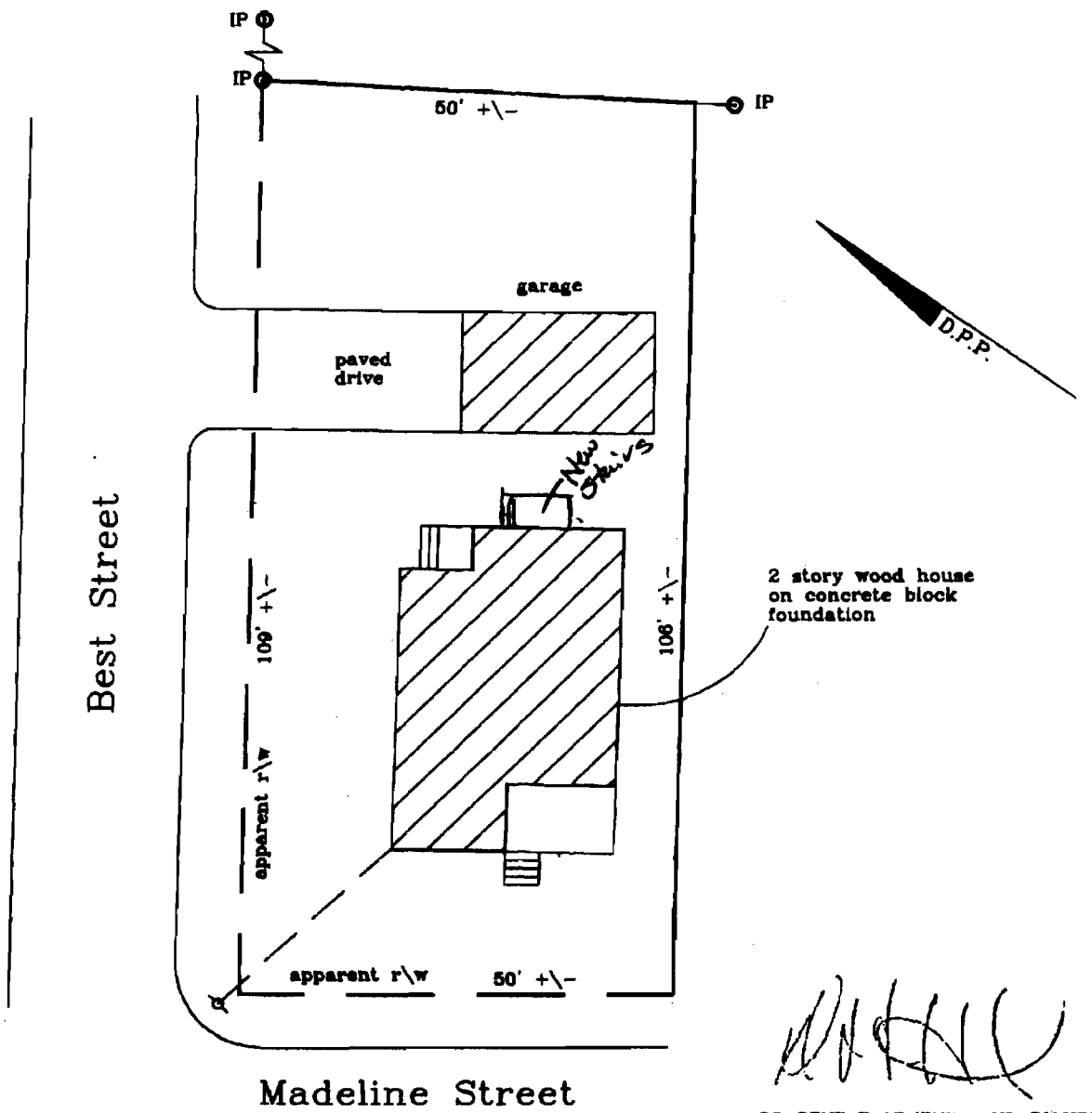
THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 9789 PAGE 118 COUNTY Cumberland
PLAN BOOK -- PAGE -- LOT --

ADDRESS: 83 Madeline Street, Portland, Maine

Job Number: 141-12-R
Inspection Date: 09-23-02
Scale: 1" = 20'

Buyers: Naomi S. & Jonathan G. Mermin
Seller: Virginia M. House



APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

I HEREBY CERTIFY TO: Hopkinson, Abbondanza & Backer, the lender and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

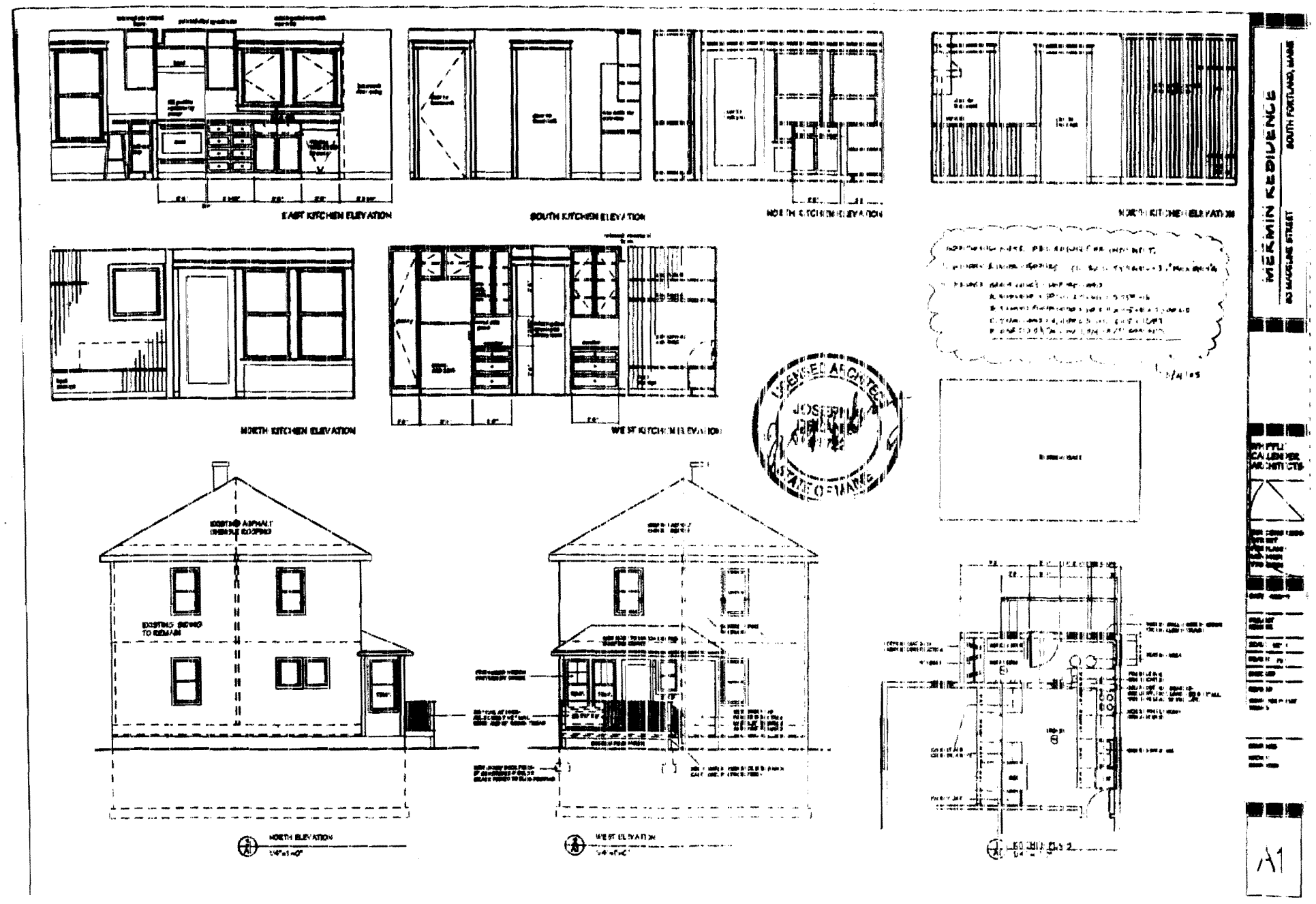
As delineated on the Federal Emergency Management Agency Community Panel # 230051-0007B :

The dwelling does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

Livingston - Hughes
Professional Land Surveyors
88 Guinea Road
Kennebunkport - Maine 04046
207-967-9761 phone/fax

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY


EAST KITCHEN ELEVATION
SOUTH KITCHEN ELEVATION
NORTH KITCHEN ELEVATION
NORTH KITCHEN ELEVATION
WEST KITCHEN ELEVATION
EXISTING ASPHALT
EXISTING BRICK TO REMAIN
NORTH ELEVATION
WEST ELEVATION
LICENSED ARCHITECT
JOSEPH
STATE OF MAINE
HERMIN RESIDENCE
83 MAGNOLIA STREET
SOUTH PORTLAND, MAINE
A1