

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 02-0568 Issue Date: JUN 10 2002 CBL: 179 B040001

Location of Construction: 92 Hamblet Ave	Owner Name: Weigel Anne Dunmore	Owner Address: 92 Hamblet Ave	Phone: 828-3789
Business Name:	Contractor Name: M & M Industries	Contractor Address: 90 Pearl St. #1 So. Portland	Phone: 2073294875
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$51.00	Cost of Work: \$3,700.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied N/A	INSPECTION: Use Group: RB Type: SB BOCA 1999	

**Proposed Project Description:**  
 Addition of 28' x 16' Deck in Rear of Home

Signature: [Signature] Signature: [Signature]

**PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)**

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: gad	Date Applied For: 05/24/2002	<b>Zoning Approval</b>	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 6/6/02	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 6/6/02
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Application ID Number: 2-0568

Department: Building

Status: Approved

Reviewer: Tammy Munson

Comments:

Approval Date: 06/06/2002

Given On Date: 05/28/2002

OK to Issue Permit

Name: Tammy Munson

Date: 06/06/2002

Date 2:

Conditions Section:

If the elevation of the deck is over 15 1/2' above grade a 36" high guardrail system must be installed.

Create Date: 05/28/2002

By: gad

Update Date: 06/06/2002

By: tm

02-0568

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

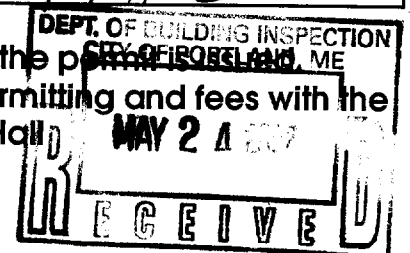
Location/Address of Construction: <u>92 Hemblet Avenue</u>		
Total Square Footage of Proposed Structure <u>480</u>	Square Footage of Lot <u>7380</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>179</u> Block# <u>B</u> Lot# <u>40</u>	Owner: <u>Anne D. Weigel</u>	Telephone: <u>828-3789</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Anne D. Weigel</u>	Cost Of Work: \$ <u>3700</u> Fee: \$ <u>51.00</u>
Current use: <u>residential Single Family</u>		
If the location is currently vacant, what was prior use: <u>—</u>		
Approximately how long has it been vacant: <u>—</u>		
Proposed use: <u>Addition of Deck to Single Family</u>		
Project description: <u>Addition of rear deck 28' x 16' Deck</u>		
Contractor's name, address & telephone: <u>M + M Industries 90 Pearl St. South Portland 04106 207-329-4875</u>		
Who should we contact when the permit is ready: <u>Mark Malihinney - 329-4825</u>		
Mailing address: <u>90 Pearl St. So. Portland</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b>		

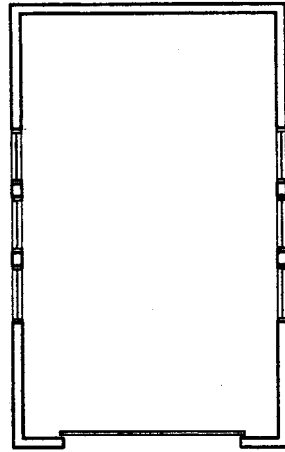
**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

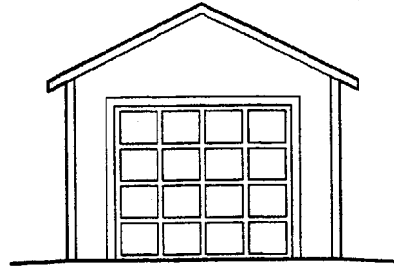
Signature of applicant: <u>Anne D. Weigel</u>	Date: <u>5/19/02</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall.**

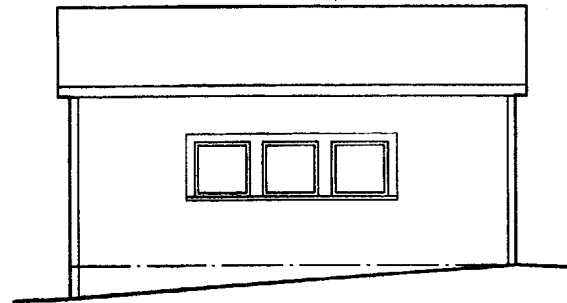




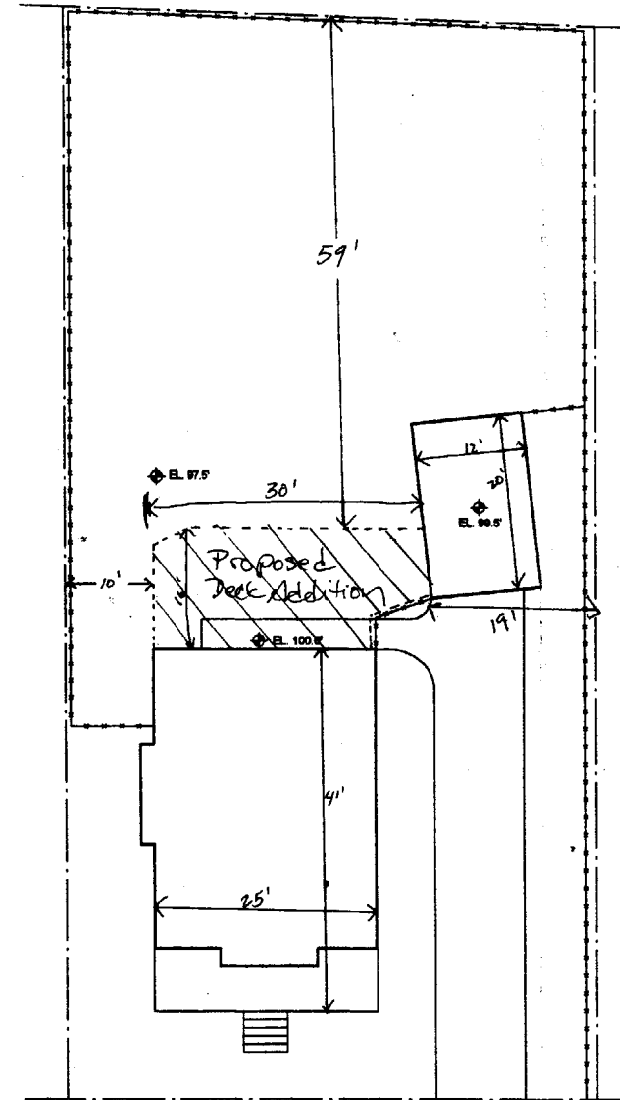
2 GARAGE FLOOR PLAN - EXISTING  
SCALE: 1/4" = 1'-0"



3 GARAGE EAST ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"



4 GARAGE SOUTH ELEVATION - EXISTING  
SCALE: 1/4" = 1'-0"



1 SITE PLAN - EXISTING  
SCALE: 1" = 10'-0"

*R-B  
Rear - 25'  
Side - 8'  
hot cover - OK*

Michael R. Charek  
Architect

25 Hartley Street  
Portland, Maine 04103  
(207) 761-0556

Welgel - Carlton Residence  
Renovations

92 Hamblet Avenue  
Portland, ME 04103

Title  
EXISTING SITE  
PLAN

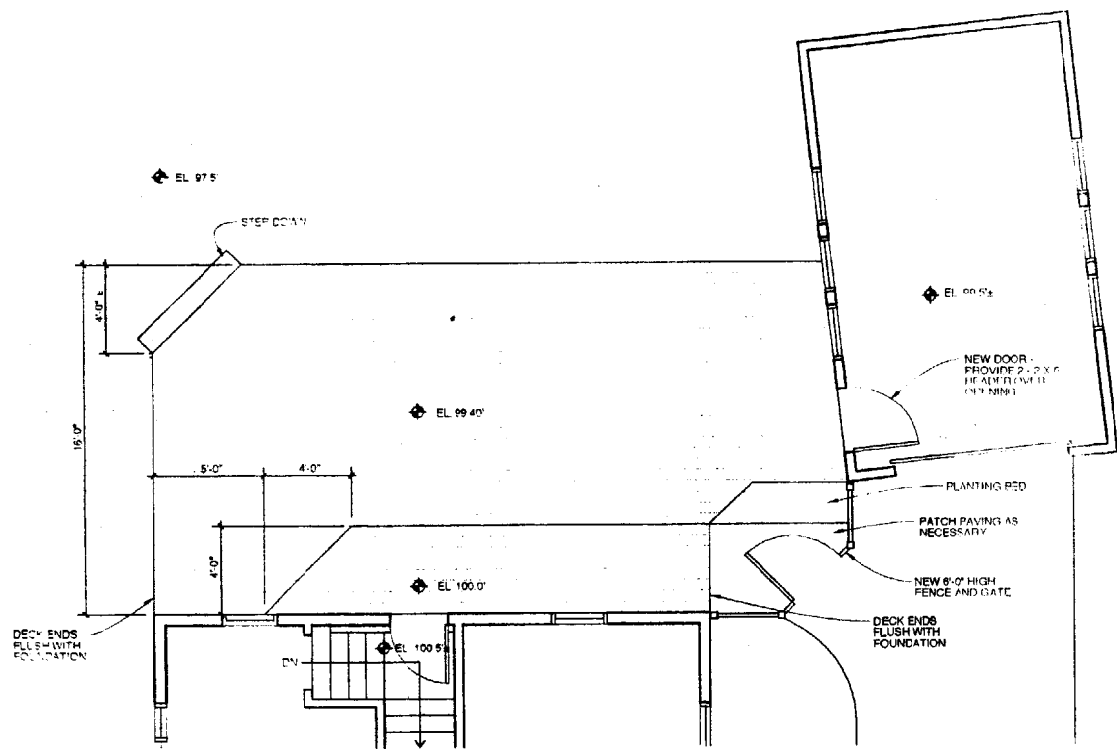
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Date: 9/20/01

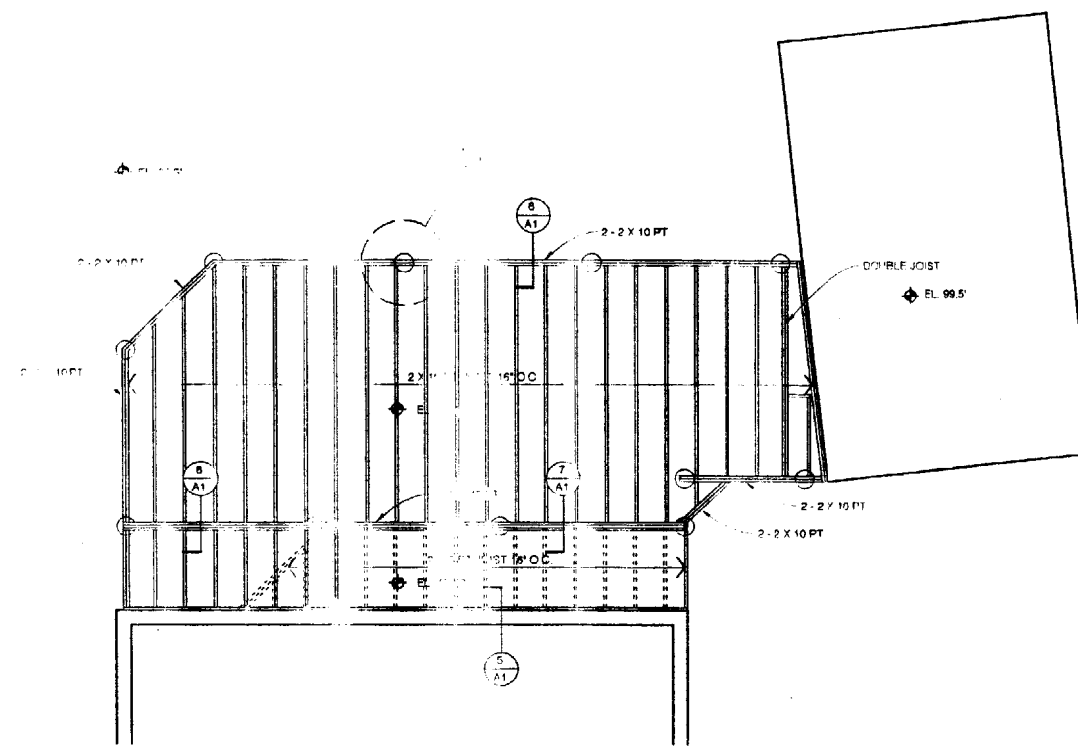
Revisions

Sheet

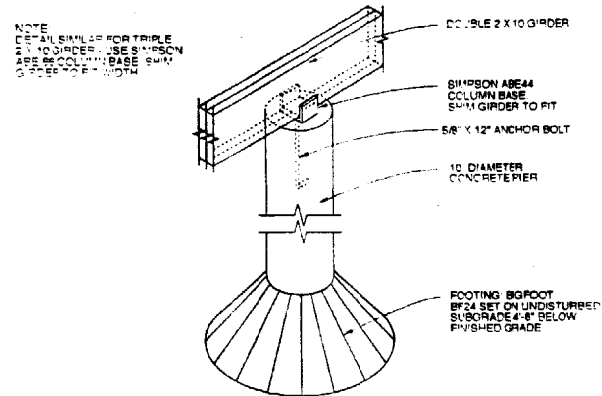
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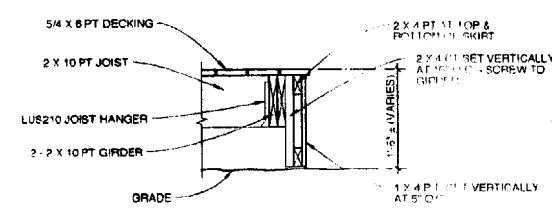
**1 DECK LAYOUT PLAN**  
SCALE: 1/4" = 1'-0"



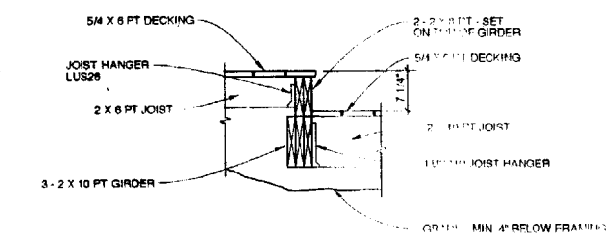
**2 DECK FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



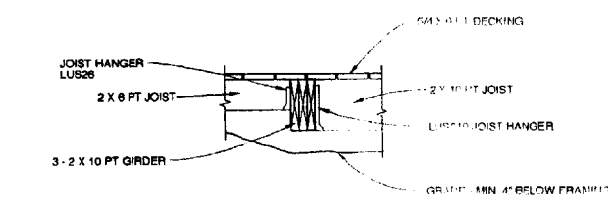
**4 DECK DETAIL**  
NOT TO SCALE



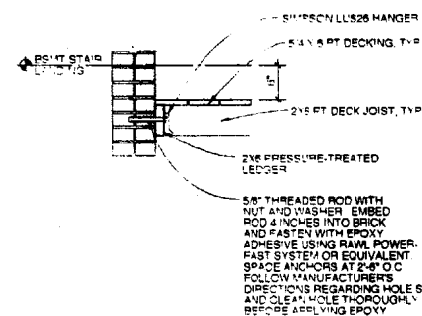
**6 DECK DETAIL**  
SCALE: 3/4" = 1'-0"



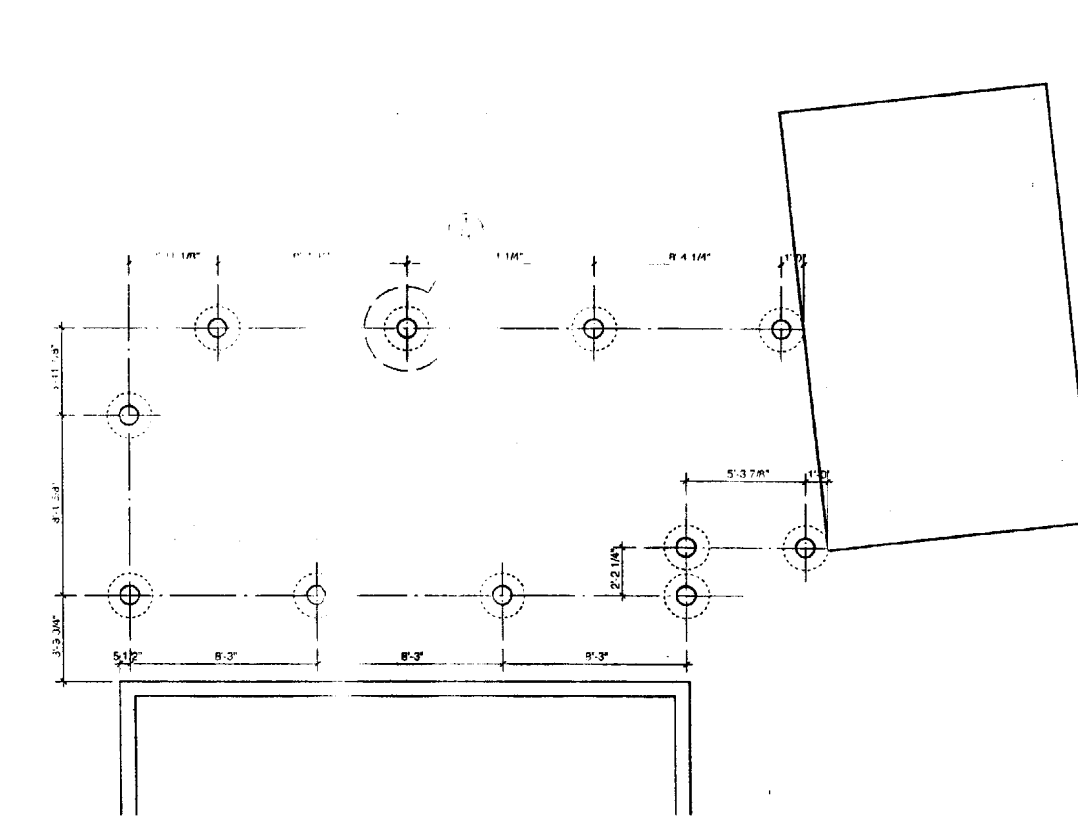
**7 DECK DETAIL**  
SCALE: 3/4" = 1'-0"



**8 DECK DETAIL**  
SCALE: 3/4" = 1'-0"



**5 DECK DETAIL**  
SCALE: 3/4" = 1'-0"



**3 DECK FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



**Michael R. Charek**  
Architect  
25 Hartley Street  
Portland, Maine 04103  
(207) 761-0556

**Weigel - Carleton Residence**  
Renovations  
92 Hamblet Avenue  
Portland, ME 04103

Title  
DECK PLAN  
AND DETAILS

Scale: AS NOTED

Date: 10/20/11

Revisions

Sheet  
**A1**