

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: 100736

This is to certify that HILTON BETTY ANN /Sterling Builders grow
has permission to remodel upstairs bathroom, tub replaced with shower, vanity relocation
AT 83 ALBA ST City of Portland 179 H013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other closed-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

PERMIT ISSUED

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

JUN 28 2010

City of Portland
Director - Building Inspection Services

PENALTY FOR REMOVING THIS CARD

Taken by: *[Signature]*
WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0736	Issue Date:	CBL: 179 H013001
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Location of Construction: 83 ALBA ST	Owner Name: HILTON BETTY ANN	Owner Address: 83 ALBA ST	Phone:
Business Name:	Contractor Name: Sterling Builders, Steve Morrow	Contractor Address: P O Box 43 Westbrook	Phone: 2078319595
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single Family home	Proposed Use: Single Family Home - remodel upstairs bathroom, tub replaced w/shower, new vanity location	Permit Fee: \$160.00	Cost of Work: \$13,232.00	CEO District: 5	\$5,000.00
Proposed Project Description: remodel upstairs bathroom, tub replaced w/shower, new vanity location		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: SB <i>IRC 2003</i>		

Signature:		Signature:	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied			
Signature:		Date:	

Permit Taken By: Idobson	Date Applied For: 06/23/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>6/23/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
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PERMIT ISSUED

JUN 28 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0736	Date Applied For: 06/23/2010	CBL: 179 H013001
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Location of Construction: 83 ALBA ST	Owner Name: HILTON BETTY ANN	Owner Address: 83 ALBA ST	Phone:
Business Name:	Contractor Name: Sterling Builders, Steve Morrow	Contractor Address: P O Box 43 Westbrook	Phone (207) 831-9595
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - remodel upstairs bathroom, tub replaced w/shower, new vanity location	Proposed Project Description: remodel upstairs bathroom, tub replaced w/shower, new vanity location
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/24/2010

Note: **Ok to Issue:** ✓

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that no new dormers or the raising of the roof is part of this permit application. No such building expansion is being approved with this permit.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/28/2010

Note: **Ok to Issue:** ✓

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

PERMIT ISSUED

JUN 28 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

**Please call 874-8703 or 874-8693 (ONLY)
or email: buildinginspections@portlandmaine.gov**

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

JUN 28 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>83 Alba St 04103</u>		
Total Square Footage of Proposed Structure/Area <u>56 S.F.</u>		Square Footage of Lot <u>5,000'</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>179-H-13</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Betty HILTON</u> Address <u>83 Alba St</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>772-3326</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip Dept. of Building Inspections	Cost Of Work \$ <u>13,232</u> C of O Fee: \$ Total Fee: \$ <u>160</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? <u>No</u> If yes, please name Project description: <u>Remodel upstairs bathroom to create better access for wheelchair, walker use. Tub to replaced with tiled shower and new vanity sink location</u>		
Contractor's name: <u>Sterling Builder Inc</u> Address: <u>POB 43</u> City, State & Zip <u>Westbrook ME 04098</u> Telephone: <u>8541289</u> Who should we contact when the permit is ready: <u>Sere Morrow</u> Telephone: <u>8319595</u> Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

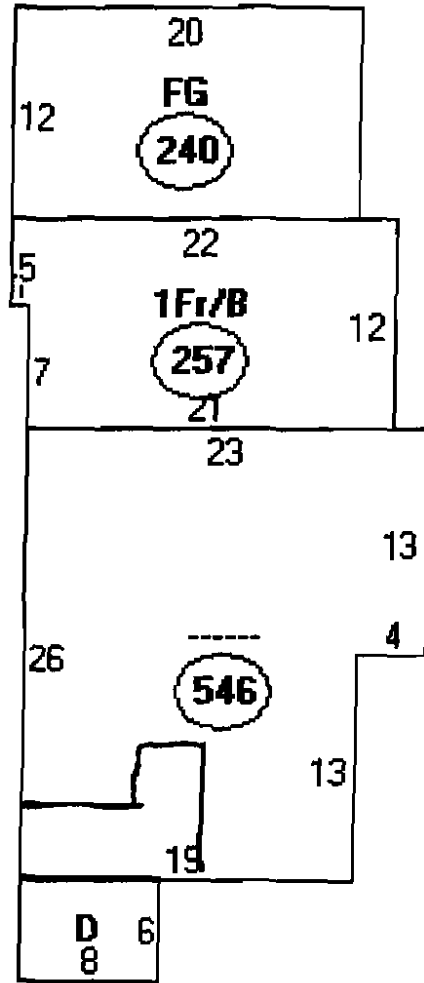
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Chris Helyar Date: 6/22/10

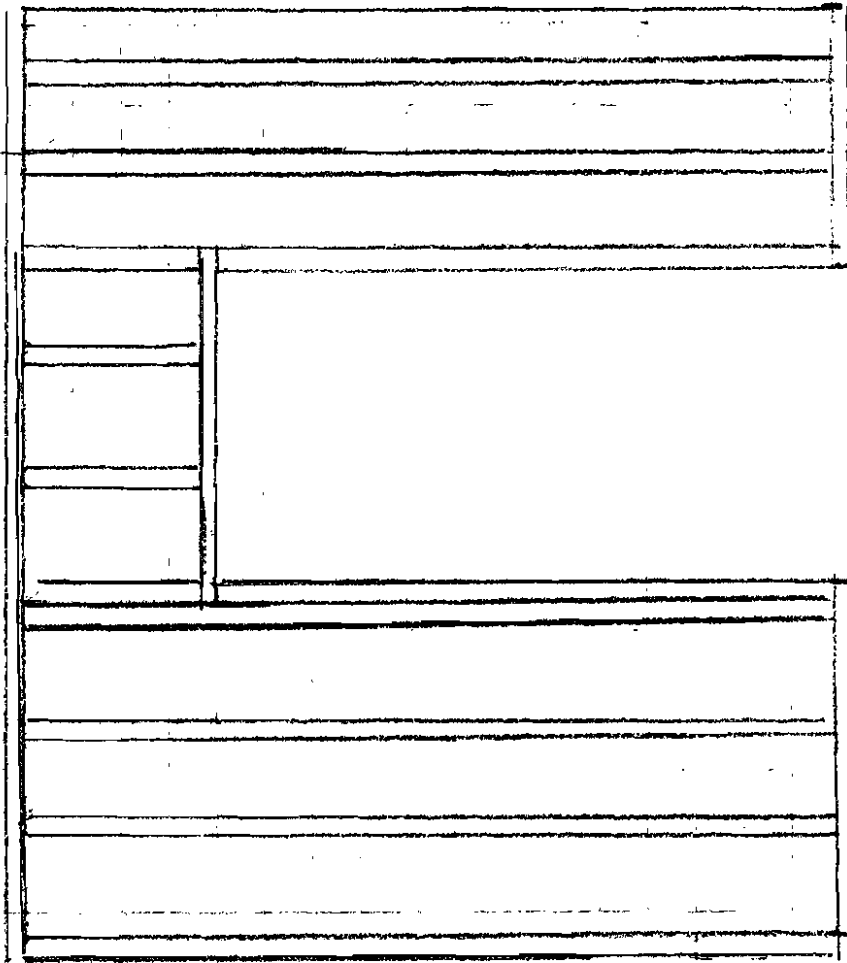
This is not a permit; you may not commence ANY work until the permit is issue

*planned area
2ND FLOOR*



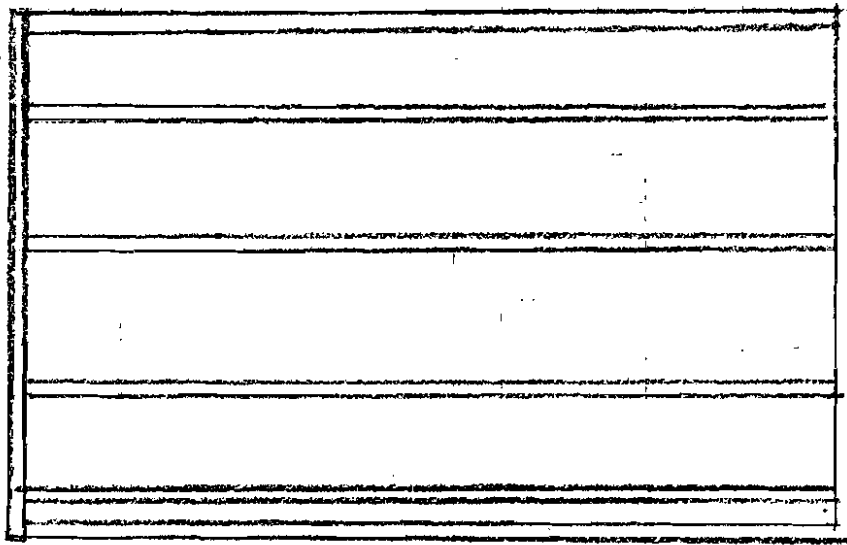
2014 10 24 10:00 AM

Framing for new door
2x4 on 16" O.C.



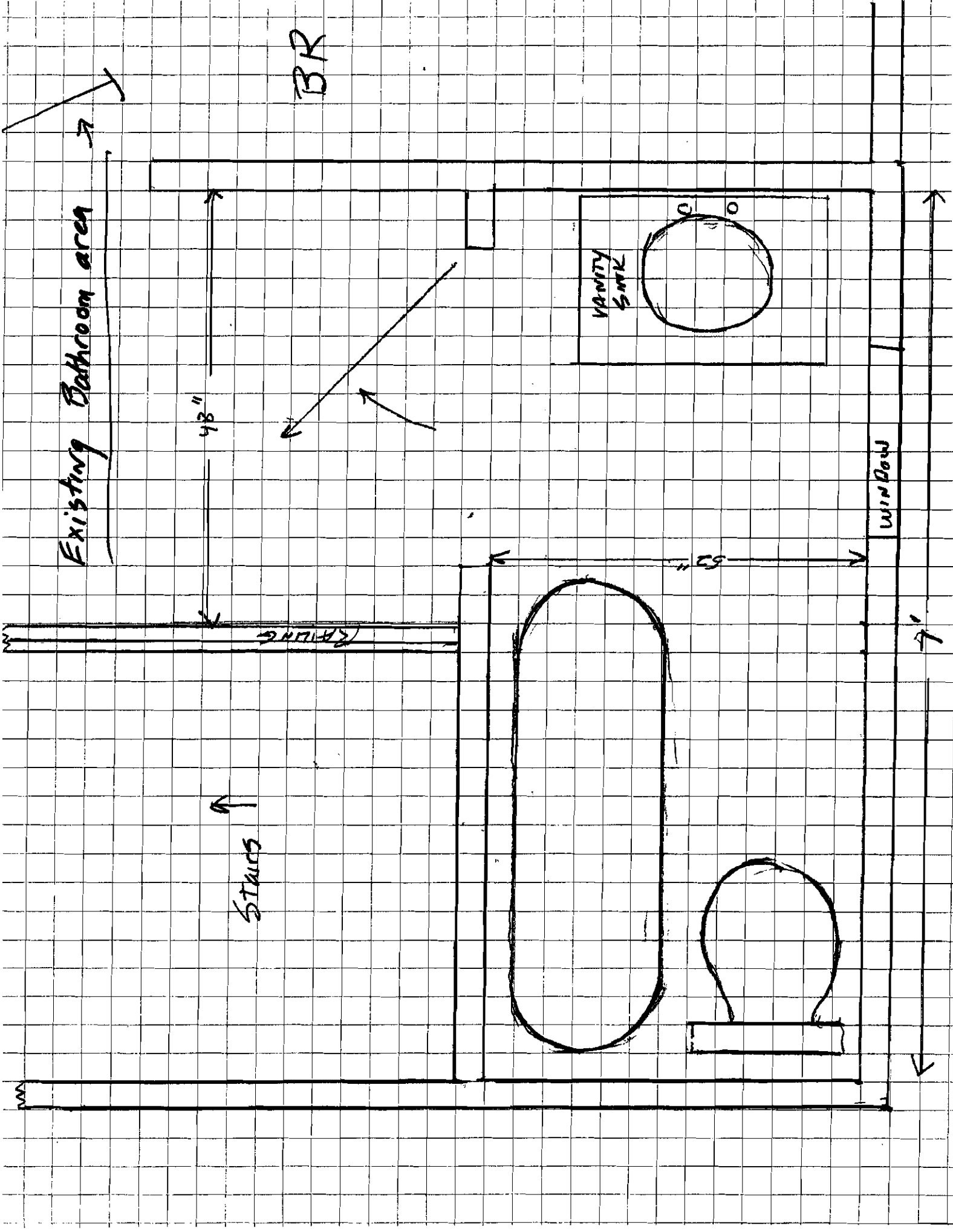
Framing for wall
across from vanity

2x4
16" O.C.



48"

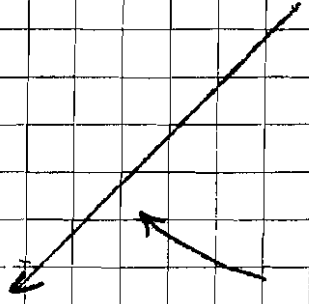
42"



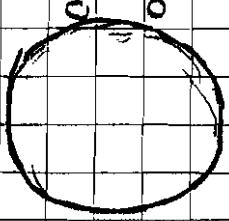
BR

Existing Bathroom area →

48"



VANITY SINK



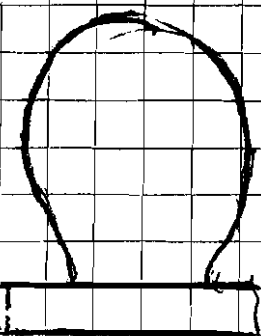
WINDOW

55"

7'

↑
STAIRS

DRAINING



Planned Bathroom Area

20" x 16" h x c

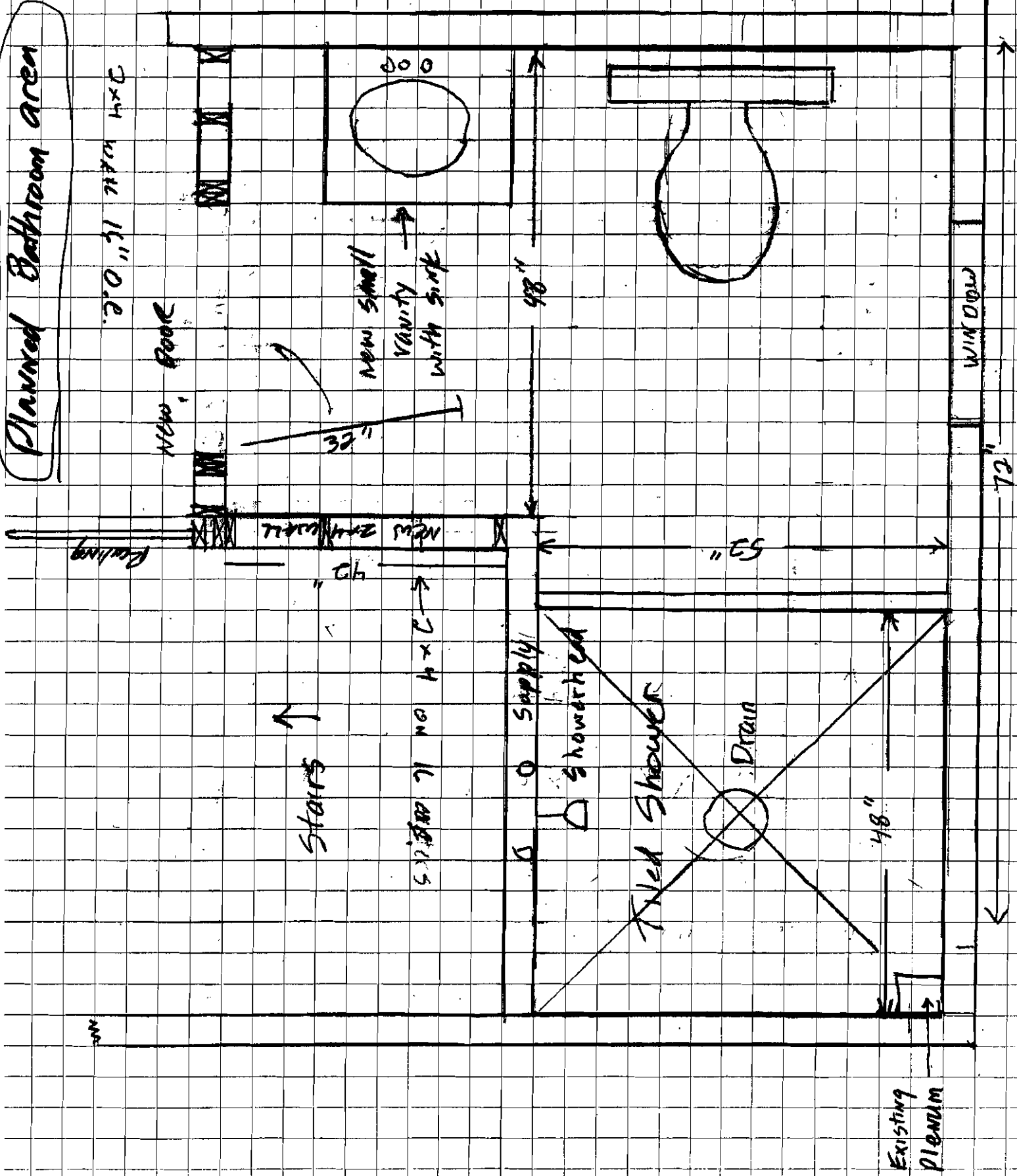
New Door

new small vanity with sink

BR

over

No Scale



Existing Plan

