

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 001102

PERMIT ISSUEDThis is to certify that Thompson James Jesse & /selfhas permission to Second floor addition to single family house**OCT 16 2009**AT 95 Madeline St

CB 179 F013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise enclosed-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas H. Malley 10/14/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
09-1102		4/14 179 F013001

Location of Construction: 95 Madeline St	Owner Name: Thompson James Jesse &	Owner Address: 95 Madeline St	Phone: 207-210-8253
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family / Second floor addition to single story house.	Permit Fee: \$1,020.00	Cost of Work: \$100,000.00	CEO District: 5	12,335#
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003		

Proposed Project Description: Second floor addition to single story house.	Signature:	Signature: Jm 10/14/09
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: Date:		

Permit Taken By: gg	Date Applied For: 10/05/2009	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED**OCT 16 2009****City of Portland**

Special Zone or Reviews <input type="checkbox"/> Shoreland using 14-436 <input type="checkbox"/> Wetland 48% of 1800 <input type="checkbox"/> Flood Zone Allowance is being used <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: sk with conditions 10/6/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: S
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1102	Date Applied For: 10/05/2009	CBL: 179 F013001
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Location of Construction: 95 Madeline St	Owner Name: Thompson James Jesse &	Owner Address: 95 Madeline St	Phone: 207-210-8253
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family / Second floor addition to single story house.	Proposed Project Description: Second floor addition to single story house.
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/06/2009**Note:** **Ok to Issue:** ☒

- 1) The building is meeting the land area per dwelling unit, but not all the setbacks. Using 14-436(b). Is using 48% of the 80% expansion allowed.
- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 10/14/2009**Note:** **Ok to Issue:** ☒

- 1) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

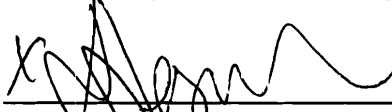
 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

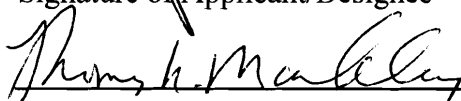
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

10/15/2009
Date



Signature of Inspections Official

10/14/09
Date



General Building Permit Application

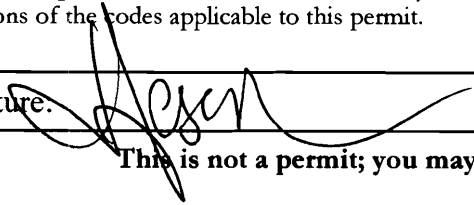
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 95 MADELINE ST, 04103		
Total Square Footage of Proposed Structure/Area 835		Square Footage of Lot 12,335
Tax Assessor's Chart, Block & Lot Chart# 26271/069 Block# 179-F-13-14 Lot#	Applicant * must be owner, Lessee or Buyer* Name JESSE THOMPSON Address 95 MADELINE ST. City, State & Zip PORTLAND, ME 04103	Telephone: (207) 210-8253
Lessee/DBA (If Applicable) RECEIVED OCT 5 2009 Dept. of Building Inspections City of Portland, Maine	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 100,000 C of O Fee: \$ Total Fee: \$ 1,020.00
	Current Use: SINGLE FAMILY If vacant, what was the previous use? Proposed Specific use: SINGLE FAMILY Is property part of a subdivision? N/A If yes, please name Project description: SECOND FLOOR ADDITION TO EXISTING SINGLE STORY HOUSE	
Contractor's name: JESSE THOMPSON Address: 95 MADELINE ST City, State & Zip PORTLAND, ME 04103 Telephone: 210-8253 Who should we contact when the permit is ready: JESSE THOMPSON Telephone: " Mailing address: 95 MADELINE ST		

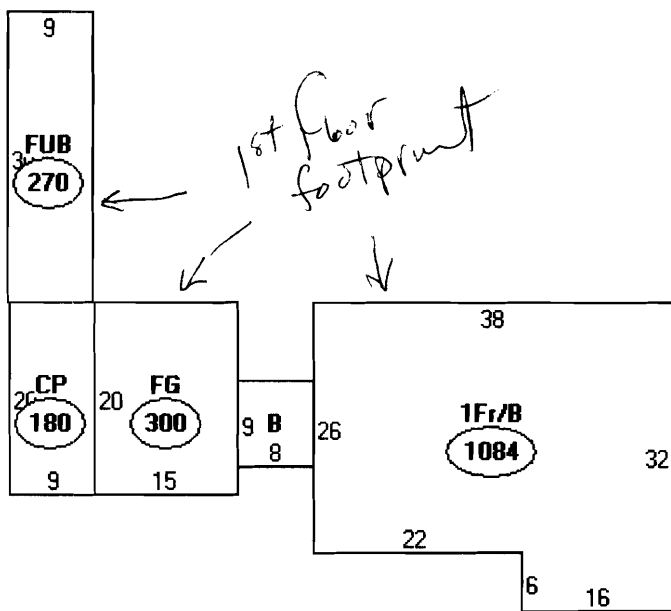
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 	Date: 10/4/2009
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This is not a permit; you may not commence ANY work until the permit is issued



Descriptor/Area

A: 1Fr/B
1084 sqft
B: EP
72 sqft
C: FG
300 sqft
D: CP
180 sqft
E: FUB
270 sqft

1084

72

300

180

270

1906 Existing footprint

141.61 = New Deck

88.33 = New Stairs

229.94 New

1906

230

2136

$$12335 \times 35\% = (4317.25) \text{ max lot cov}$$

R-3 - HAS lot area but not ^{two} setback (side & rear)

80% rule - 14 - 436
based on existing footprint

$$1906 \text{ sqft} \times 80\% = 1527.2 \text{ sqft}$$

MAX 2nd floor

New 2nd floor Area

$$14.5' \times 23' = 333.5 \text{ sqft}$$

$$17' \times 34' = 578.0 \text{ sqft}$$

$$911.5 \text{ sqft}$$

OK

less Than The MAX
permitted

using APPROX 48% of The 80%
Allowed

$$12335 - 167$$

$$12168$$

$$1245 \text{ sqft just the main living area} \times 80\% = 996 \text{ sqft MAX}$$

still less

CITY OF PORTLAND, MAINE
BOARD OF APPEALS

MISCELLANEOUS APPEAL

June 27, 1960

Ernest Sylvester, owner of property at 93-99 Madeline Street, under the provisions of Section 23 of the Zoning Ordinance of the City of Portland, hereby respectfully petitions the Board of Appeals to permit construction of an open addition 9 feet by 20 feet to be used for carport on side of single car garage attached to the dwelling at this location. This permit is presently not issuable because the addition is to extend to within 5 feet of the side lot line and thus would be an unlawful encroachment upon the side yard width of 8 feet required by Section 4-B-2 of the Ordinance applying to the R-3 Zone in which the property is located.

LEGAL BASIS OF APPEAL:

Such permit may be granted only if the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

Ernest Sylvester
APPELLANT

DECISION

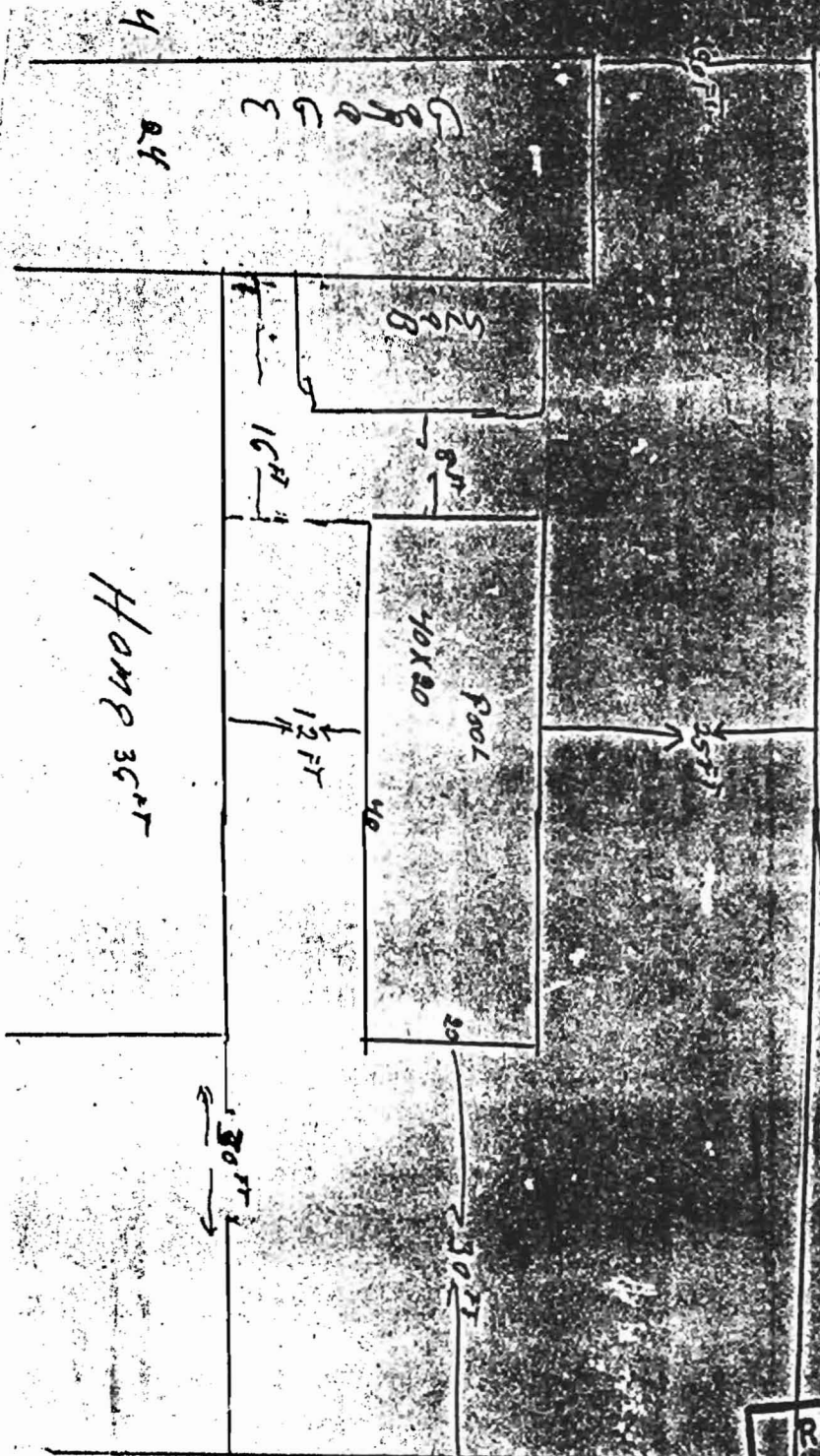
After public hearing held July 14, 1960, the Board of Appeals finds that enforcement of the terms of the Ordinance would result in undue hardship and desirable relief may be granted without substantially departing from the intent and purpose of the Ordinance.

It is, therefore, determined that such permit should be issued.

Franklin G. Nimbley
Harry M. Smith
Stephen J. King
BOARD OF APPEALS

Pool: \$8,500.
 SLE-1572110d 500
 Total: \$3,000

Builds Lot 12, 3 + 58 FT 100 FT X 180 FT APPROX



RECEIVED
 MAR 8 4 1975
 DEPT. OF BLDG. INSP.
 CITY OF PORTLAND

Handwritten notes at the bottom left corner, possibly indicating a date or location.

The additional floor area shall be created in the uppermost floor by the use of dormers, turrets or similar structures needed to provide the minimum height required for habitable space while preserving the existing roof configuration to the maximum extent possible.

- (b) *For residential principal structures conforming as to land area per dwelling unit as of July 19, 1988, but lawfully nonconforming as to any yard setback or nonresidential principal structures that are lawfully nonconforming as to any yard setback:* The floor area of the expansion shall be limited to no more than eighty (80) percent of the first floor footprint. The additional floor area shall be created by raising the existing roof configuration the minimum amount required to create an additional story of habitable space, or by the use of dormers, turrets or similar structures.

Building expansions under this section may occur only once during the lifetime of an existing structure.

(Ord. No. 61-97, 8-18-97; Ord. No. 284-99, §3, 5-17-99, enacted as an emergency to take effect immediately pursuant to Article II, Sec. 8 of the Portland City Charter)

*Editor's note--Ord. No. 61-97, adopted Aug. 18, 1997, repealed former § 14-436 and enacted similar new provisions as herein set out. Formerly, such section derived from § 602.19.0 of the 1968 Code as amended by Ord. No. 92-88, adopted July 19, 1988.

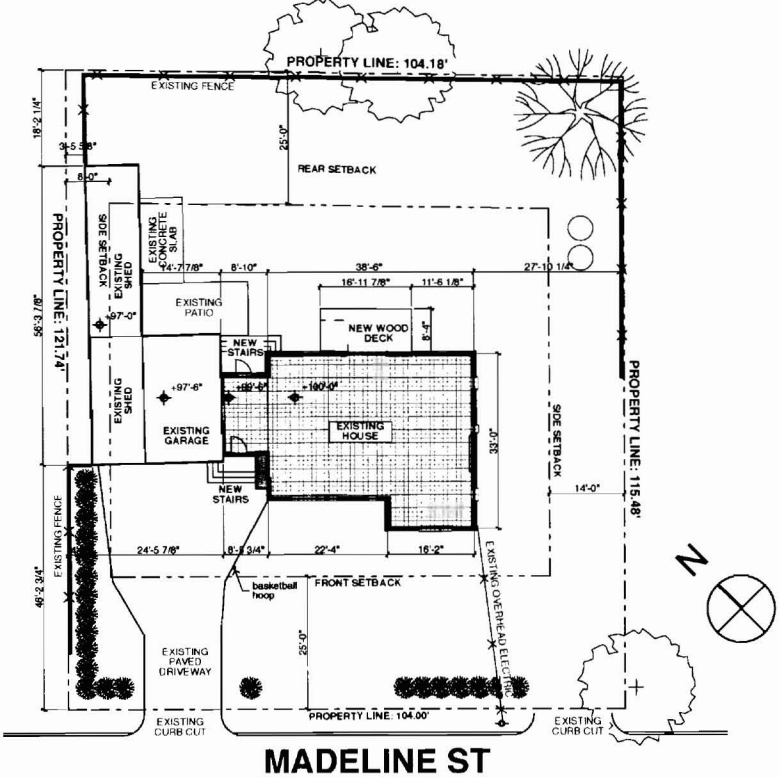
Sec. 14-437. Setback reductions.

(a) *Authority.* The zoning administrator may grant setback reductions to the extent provided by this section.

(b) *Procedure.* Application for a setback reduction shall be submitted to the building inspections division. A payment of a nonrefundable application fee, as established from time to time by order of the city council to cover administrative costs, shall accompany each application. The application shall be in such form as prescribed by the zoning administrator and shall contain at least the following information and documentation:

1. The name and address of the applicant and his or her

95 MADELINE ADDITION



1 SITE PLAN
SCALE: 1/16" = 1'-0"

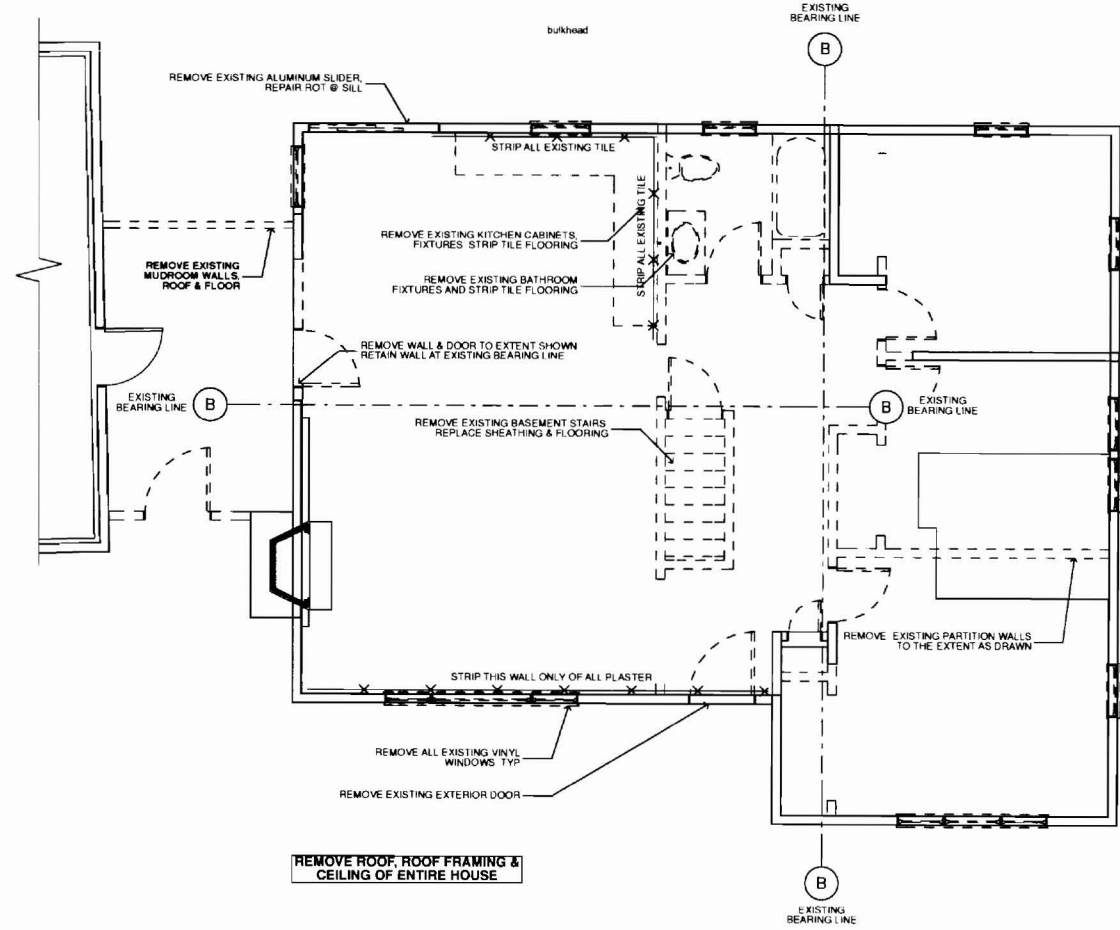
PROJECT INFORMATION

Client: Thompson / Scheintaub
Architect: Kaplan Thompson Architects
Contractor: Jesse Thompson
Map / Lot: 26271 / 069
Project Address: 95 Madeline St. : 179-F-13-14
Zoning: Portland R-3
Building Codes: IRC 2003
NFPA / 1999

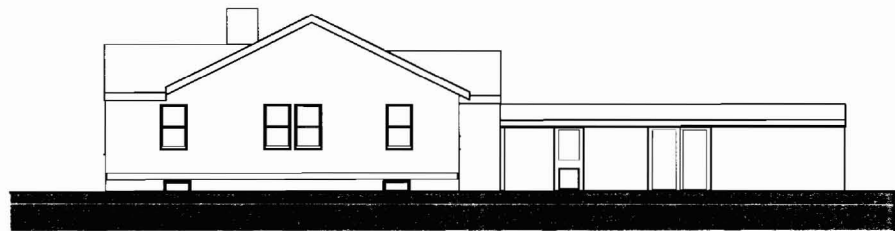
Site Area: 12,335 SF / 0.28 ACRE
Building SF: 1,900 SF
Occupancy: Single Family Residential
Maximum Building Height: 35'-0"
Setbacks: Front: 25'-0"
Side: 8'-0" 1 story, 14'-0" 2 story, 16'-0" 2 1/2 story
Rear: 25'-0"

DRAWING INDEX

- COVER SHEET / SITE PLAN
- D-1.1 DEMOLITION / EXISTING PLANS
- A-1.1 BASEMENT & MAIN PLANS
- A-1.2 UPPER & ROOF PLANS
- A-2.1 BUILDING ELEVATIONS
- A-3.1 BUILDING SECTIONS
- S-1.1 FRAMING PLANS



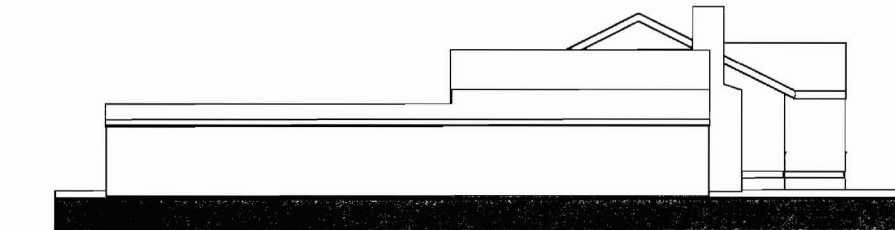
1 DEMOLITION PLAN: Main Floor
SCALE 1/4" = 1'-0"



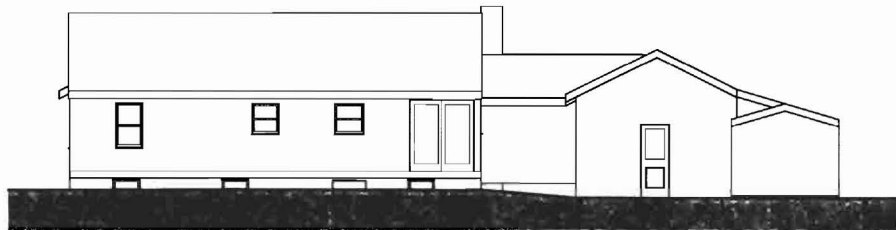
5 EXISTING: Northeast Elevation
SCALE 1/8" = 1'-0"



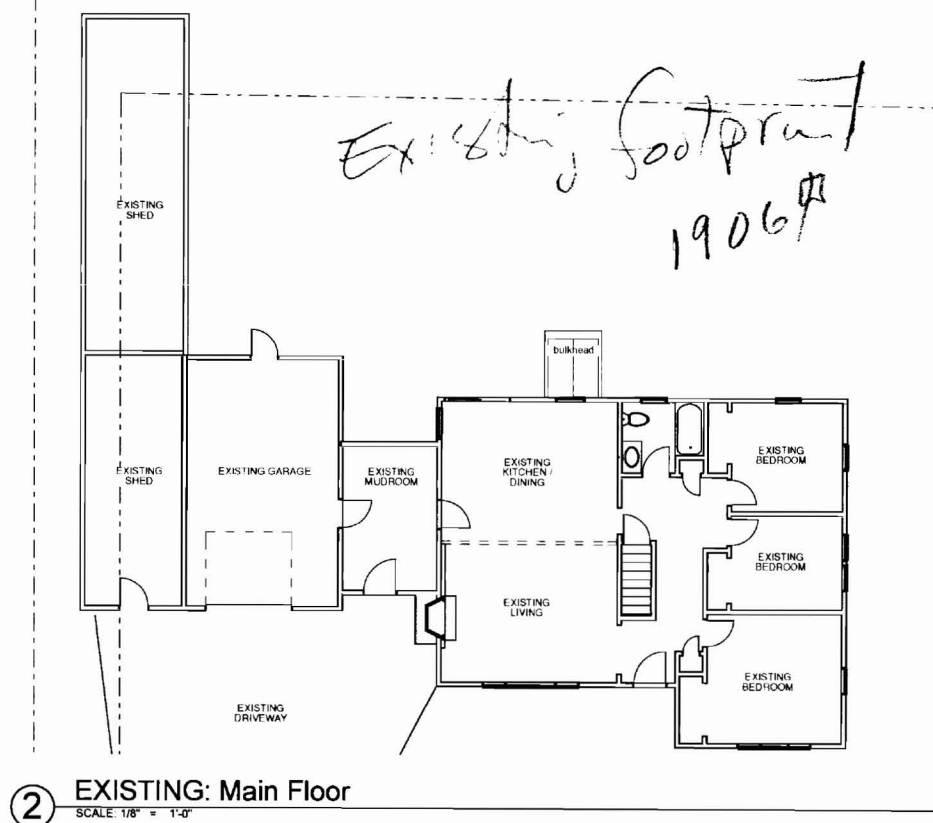
3 EXISTING: Southwest Elevation
SCALE 1/8" = 1'-0"



6 EXISTING: Northwest Elevation
SCALE 1/8" = 1'-0"

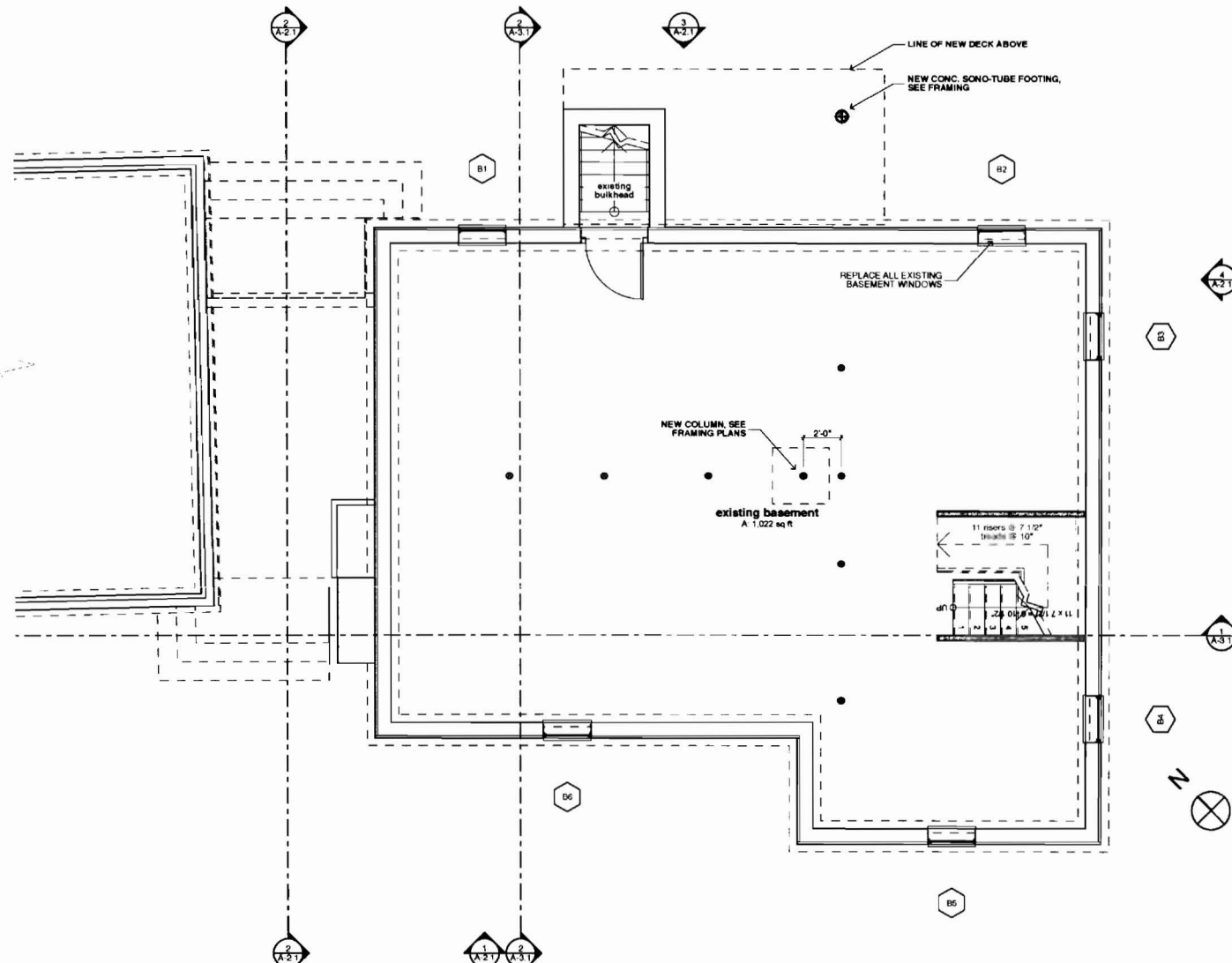


4 EXISTING: Southeast Elevation
SCALE 1/8" = 1'-0"

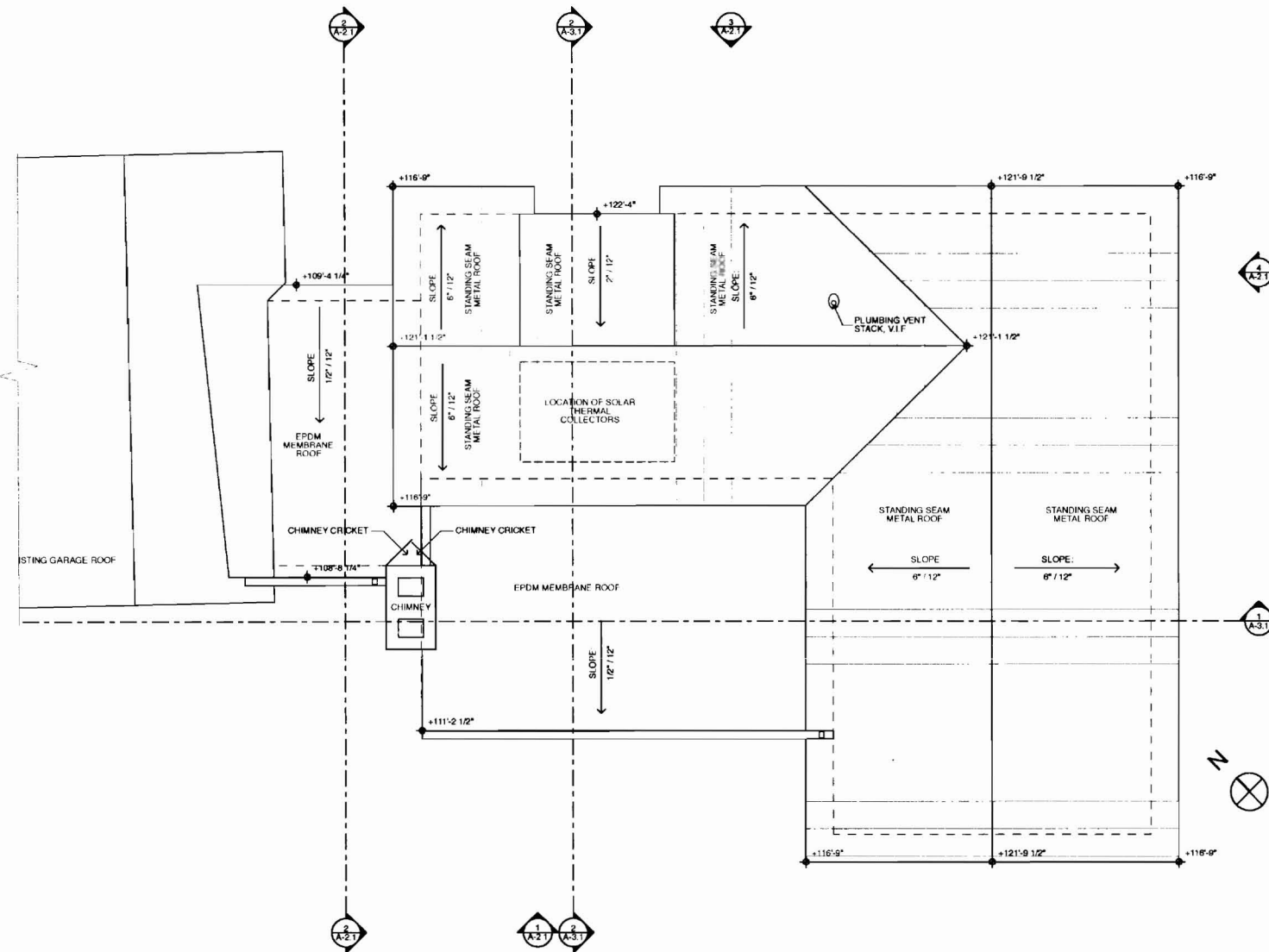


2 EXISTING: Main Floor
SCALE 1/8" = 1'-0"

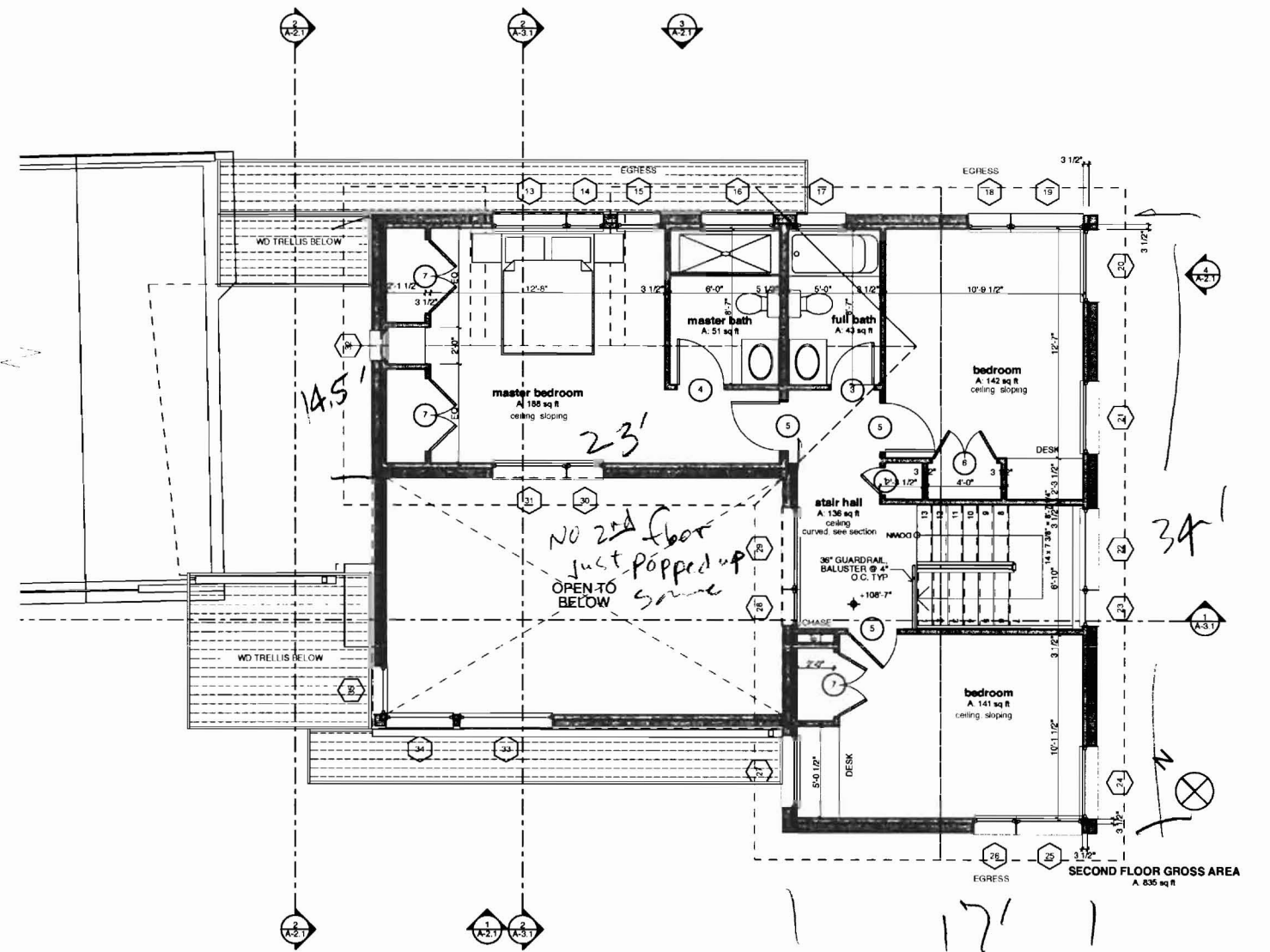
WINDOW SCHEDULE														
ID	FRAME Size		Quantity	SF	Type	Orientation	Model #	Manufacturer	Material	Glazing	U-Value	Egr...	Tempered	NOTES
	Width	Height												
1	2'-4"	5'-0"	1	12	CSMT	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22		Y	
2	2'-4"	2'-8"	1	6	AWN	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
3	1'-6"	5'-0"	1	6	CSMT	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
4	2'-6"	3'-4"	1	8	AWN	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
5	2'-4"	3'-4"	1	8	CSMT	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
6	4'-0"	3'-4"	1	13	FIX	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
7	2'-0"	4'-0"	1	8	CSMT	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
8	2'-0"	4'-0"	1	8	CSMT	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
9	2'-0"	4'-0"	1	8	CSMT	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
10	5'-0"	4'-0"	1	26	FIX	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
11	4'-0"	3'-4"	1	13	FIX	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
12	2'-0"	3'-4"	1	7	CSMT	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
13	4'-0"	4'-4"	1	17	FIX	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
14	2'-0"	4'-4"	1	9	FIX	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
15	2'-4"	3'-8"	1	9	CSMT	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22		Y	
16	4'-0"	2'-4"	1	9	AWN	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
17	2'-8"	2'-4"	1	6	AWN	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
18	2'-4"	3'-8"	1	9	CSMT	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22		Y	
19	4'-0"	4'-8"	1	18	FIX	NE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
20	4'-0"	3'-8"	1	15	FIX	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
21	4'-0"	2'-4"	1	9	AWN	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22		Y	
22	4'-8"	3'-8"	1	17	FIX	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22		Y	
23	2'-0"	3'-8"	1	7	CSMT	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
24	4'-0"	3'-8"	1	15	FIX	SE		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
25	3'-8"	3'-8"	1	13	FIX	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
26	2'-4"	3'-8"	1	9	CSMT	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22		Y	
27	4'-0"	2'-8"	1	11	AWN	NW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
28	2'-0"	2'-8"	1	5	AWN	NW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
29	4'-6"	2'-8"	1	12	FIX	NW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
30	2'-0"	2'-8"	1	5	TILT	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
31	4'-0"	2'-8"	1	11	FIX	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
32	4'-8"	4'-8"	1	8	AWN	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22		Y	
33	5'-0"	2'-3"	1	11	FIX	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
34	3'-8"	2'-3"	1	8	AWN	SW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
35	2'-8"	2'-3"	1	6	FIX	NW		IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
61	2'-8"	1'-3 1/2"	1	3	FIXED			IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
62	2'-8"	1'-3 1/2"	1	3	FIXED			IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
63	2'-8"	1'-3 1/2"	1	3	FIXED			IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
64	2'-6"	1'-3 1/2"	1	3	FIXED			IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
65	2'-6"	1'-3 1/2"	1	3	FIXED			IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
66	2'-6"	1'-3 1/2"	1	3	FIXED			IN-LINE	FIBERGLASS	TRIPLE LOW-E	0.22			
			41	372 sq ft										



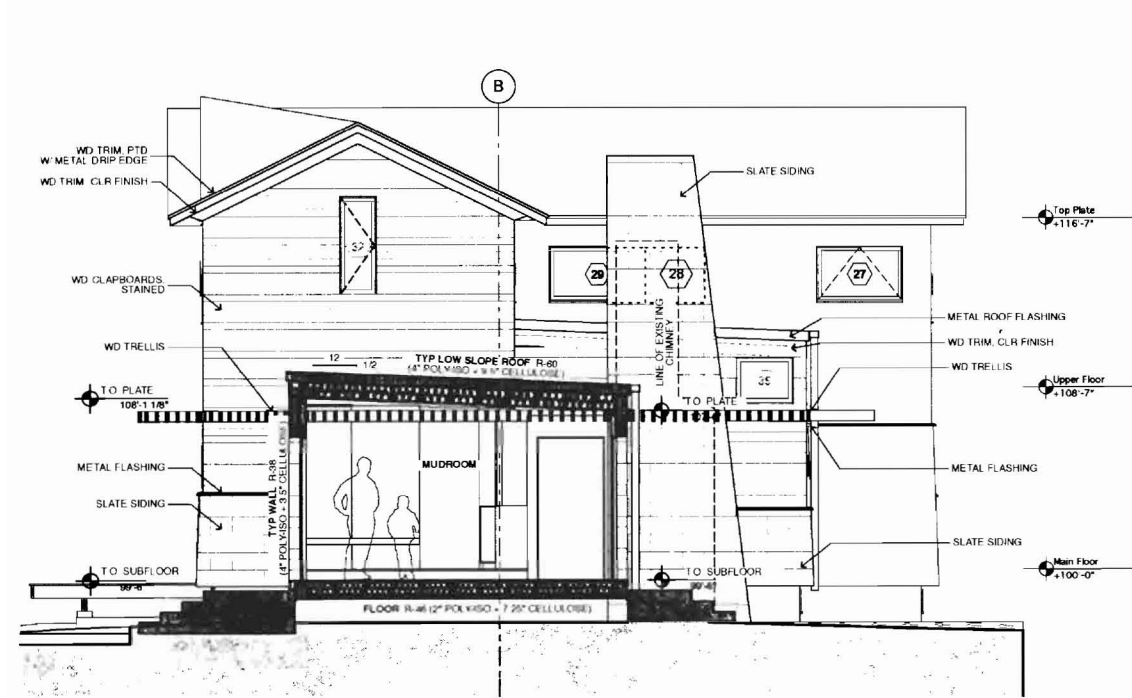
1 **Basement**
SCALE: 1/4" = 1'-0"



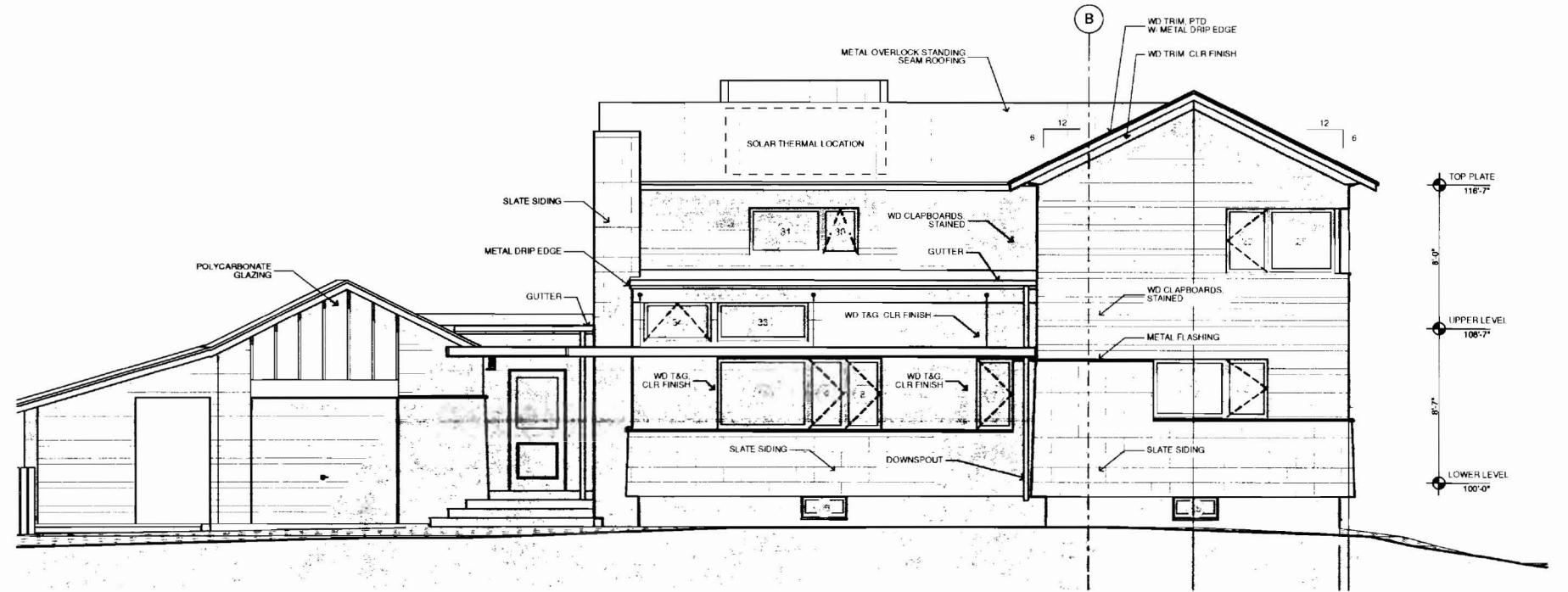
2 Roof Plan
SCALE: 1/4" = 1'-0"



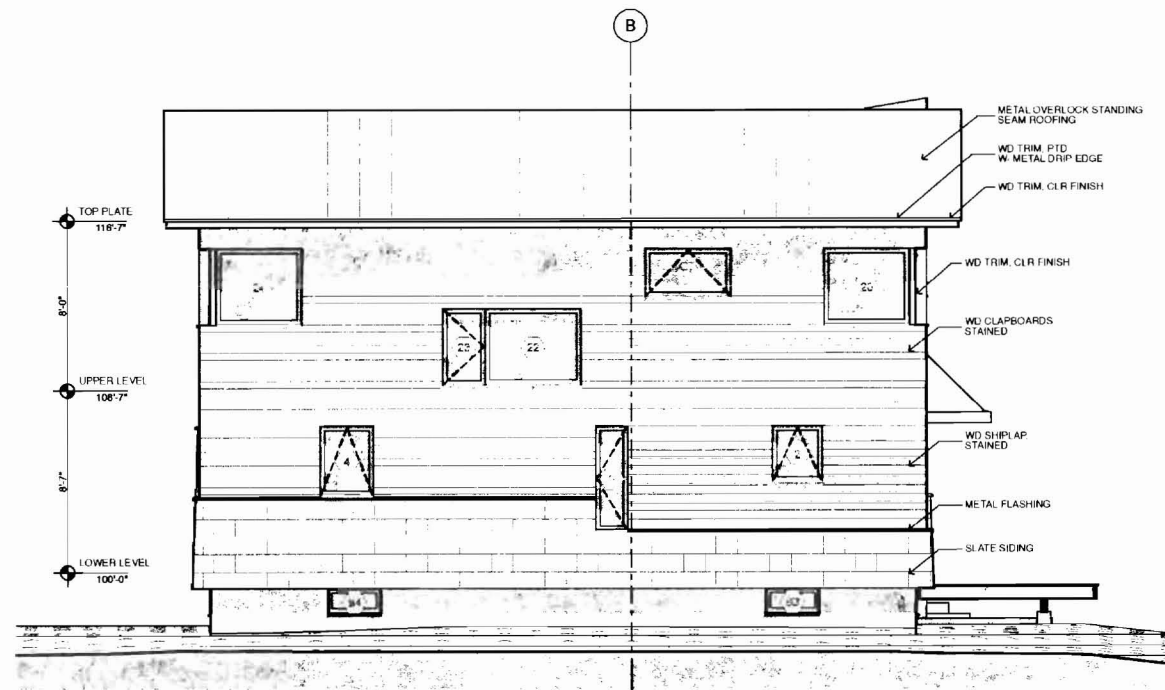
1 Upper Floor
SCALE: 1/4" = 1'-0"



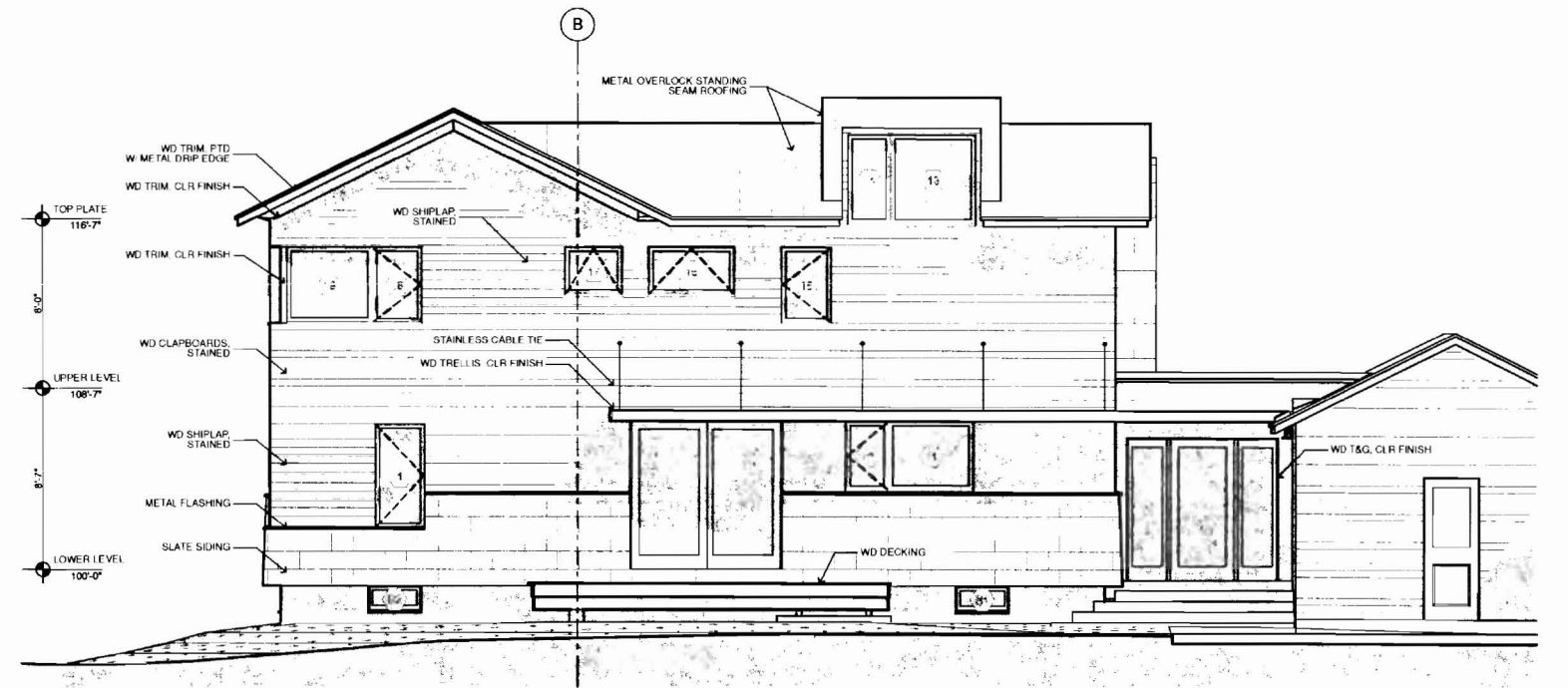
2 N/S SECTION: MUDROOM
SCALE: 1/4" = 1'-0"



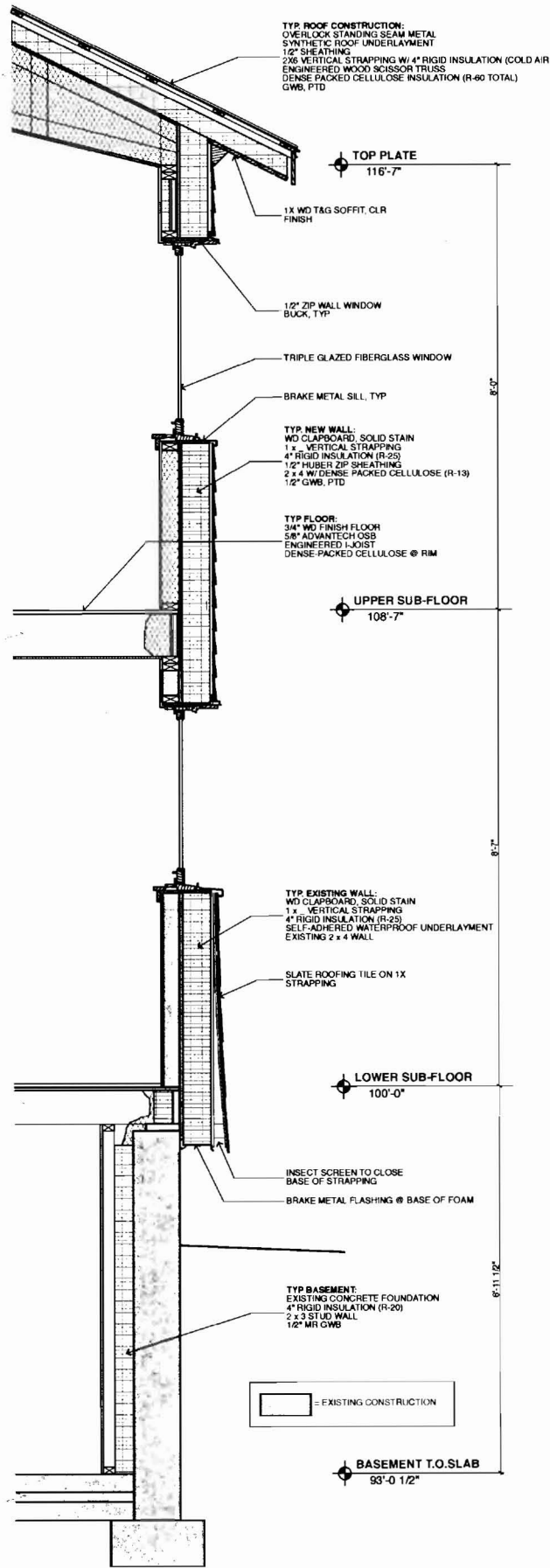
1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



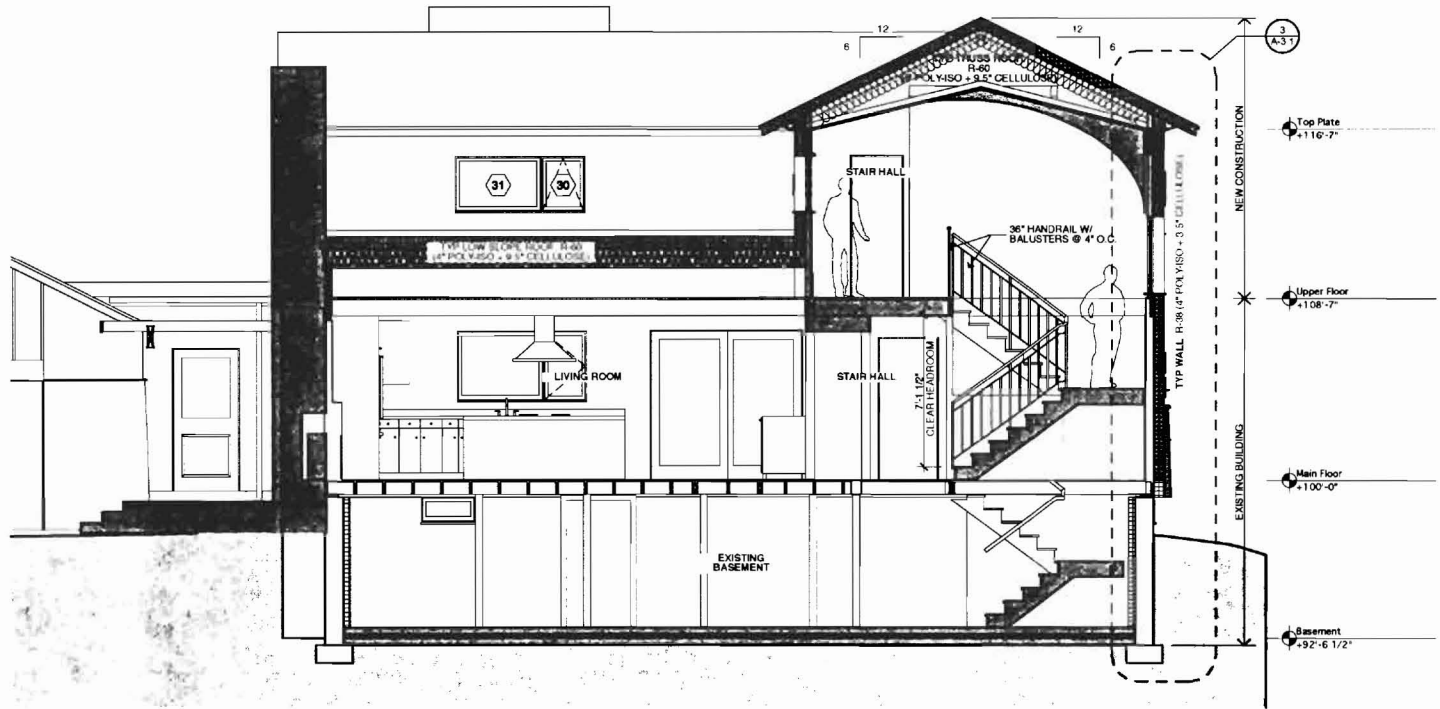
4 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



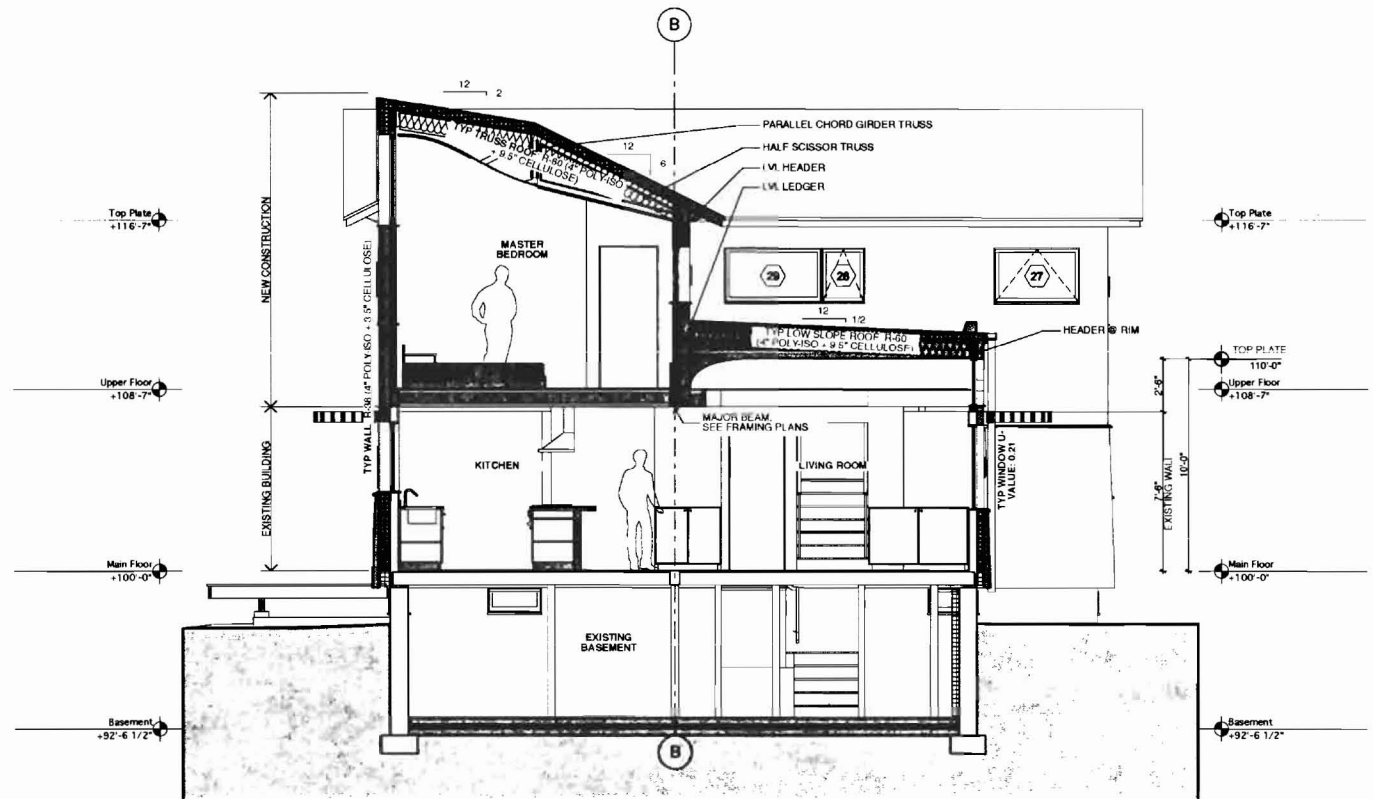
3 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



3 WALL SECTION, TYP
SCALE 3/4" = 1'-0"



1 E/W SECTION: LIVING / STAIR
SCALE 1/4" = 1'-0"



2 N/S SECTION: KITCHEN / MASTER
SCALE 1/4" = 1'-0"

