

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that LACHMAN, DENIS & DENIS & LACHMAN

Located At 55 HAMBLET

Job ID: 2011-06-1503-ALTR

CBL: 179 - - F - 001 - 001 - - - - -

has permission to add sunroom addition to rear provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

[Handwritten signature]
2-11-11

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-06-1503-ALTR	Date Applied: 6/17/2011	CBL: 179 - - F - 001 - 001 - - - - -	
Location of Construction: 55 HAMBLET ST	Owner Name: DENIS LACHMAN & KAREN SMITH	Owner Address: 55 HAMBLET AVE PORTLAND, ME - MAINE 04103	Phone: 772-1195
Business Name:	Contractor Name: BRUCE DAVIS,	Contractor Address: 45 QUEBEC ST PORTLAND MAINE 04101	Phone: 756-0185
Lessee/Buyer's Name:	Phone:	Permit Type: single family alteration	Zone: R-3
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to add sunroom addition in rear	Cost of Work: 20000.00	CEO District:
		Fire Dept: <i>N/A</i>	Inspection: Use Group: Type: <i>SB</i>
		Signature: <i>[Handwritten Signature]</i>	Signature: <i>[Handwritten Signature]</i>
Proposed Project Description: 75 sq ft sunroom addition to rear of building		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		Zoning Approval	

	Special Zone or Reviews	Zoning Appeal	Historic Preservation
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK with conditions 6/23/11</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Handwritten Signature]</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-06-1503-ALTR

Located At: 55 HAMBLET

CBL: 179 - - F - 001 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
3. Separate permits shall be required for future decks, sheds, pools, and/or garages.

Building

1. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Setback inspection required prior to pouring concrete.
 2. Close-in inspection required prior to insulating or drywalling.
 3. Final inspection required upon completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 55 Hamblet St.		
Total Square Footage of Proposed Structure/Area 75 SF	Square Footage of Lot 10,000	Number of Stories 1
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 179 F 001-003	Applicant * <u>must</u> be owner, Lessee or Buyer* Name: Denis Lachman & Kaven Smith Address: 55 Hamblet Ave City, State & Zip: Port 04103	Telephone: 772-1195
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 20,000 C of O Fee: \$ _____ Total Fee: \$ 220⁰⁰
Current legal use (i.e. single family) Single Family Number of Residential Units 1 If vacant, what was the previous use? NA Proposed Specific use: same Is property part of a subdivision? No If yes, please name _____ Project description: 75 sf sunroom addition e rear. 2-3		
Contractor's name: Bruce Davis Address: 45 Quebec St. City, State & Zip: Portland, 04101 Telephone: 756-0185 Who should we contact when the permit is ready: Denis Lachman Telephone: 772-1195 Mailing address: 55 Hamblet Ave, Portland, 04103		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: **Denis Lachman** Date: **6.17.11**

This is not a permit; you may not commence ANY work until the permit is issued

RESURGENCE

ENGINEERING AND PRESERVATION, INC.

132 BRENTWOOD STREET
PORTLAND, MAINE 04103
V/F (207) 773-4880
CELL: (207) 615-9985
WWW.RESURGENCEENGINEERING.COM
AL@RESURGENCEENGINEERING.COM

June 21, 2011

City of Portland Maine
Inspections Division: Attn: Tammy Munson
389 Congress Street, Room 315
Portland, ME 04101

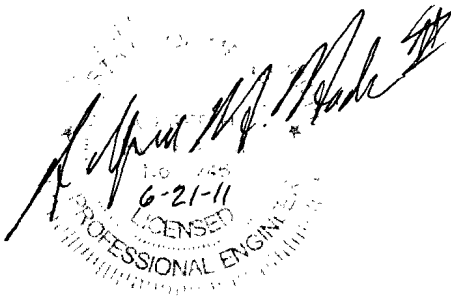
Re: Denis Lachman and Kiya Smith Residence
Sunroom addition
55 Hamblet St.
Portland, ME
Lot - 179 - F - 001

Dear Tammy,

I have reviewed the structural considerations of the sunroom addition and assisted the Owners with resolving the structural elements of the design. I have reviewed sizing and spacing of members, including concrete piers, girders, steel lintels, fasteners, joists, headers, and rafters, as included in the building permit application drawing set for this property.

If you have any further questions, please feel free to call me.

Sincerely,



NOTE: This may be an electronic copy of the original letter, forwarded for convenience. The original copy of this document has a dated signature placed over the engineering seal. It has been sent by mail or fax, and should be the copy redistributed or forwarded to parties as required.

Alfred H. Hodson III, P.E.

AHH/ah
cc: Denis Lachman

c:\2011\11jobs\11-025 Lachman Residence\Lachman Residence codes enf letter 062111.doc or pdf

RECEIVED
JUN 22 2011
Dept. of Building Inspections
City of Portland Maine

35% max lot cov

9978

11.7%

EXISTING LOT COVERAGE AREA = 1170 SQFT/10000 SQFT LOT = 11.7%

9978

PROPOSED LOT COVERAGE AREA = 1245 SQFT/10000 SQFT LOT = 12.5%

12.5%

R-3 Zone

REAR: 25' min - 32' given
side setback: 20' min - ~43' given
zone yard 86' min - 20' feet

ADJACENT PROPERTY

100'

WOOD STOCKADE FENCE

32'-0"

wing should be 25'

20' SETBACK LINE

NEW 75 SQFT 1-STORY WOOD FRAMED ADDITION

20' SETBACK LINE

10'-4"

12'

23'-9"

43'-9"

20' SETBACK LINE

100'

WOOD STOCKADE FENCE

ADJACENT PROPERTY

EXISTING GARAGE NO CHANGE

EXISTING GRAVEL DRIVEWAY NO CHANGE

7'-11"

EXISTING 2-STORY W.F. HOUSE NO CHANGE

EXISTING OPEN PORCH NO CHANGE

25' SETBACK LINE

MADLINE STREET

HAMBLET STREET

Frontseth N/A

← N

1	PLOT PLAN
	PLAN 1/16" = 1'-0"

Denis Lachman & Kiya Smith
55 Hamblet Ave
Portland, ME 04103
June 13, 2011
lachsmith@maine.rr.com

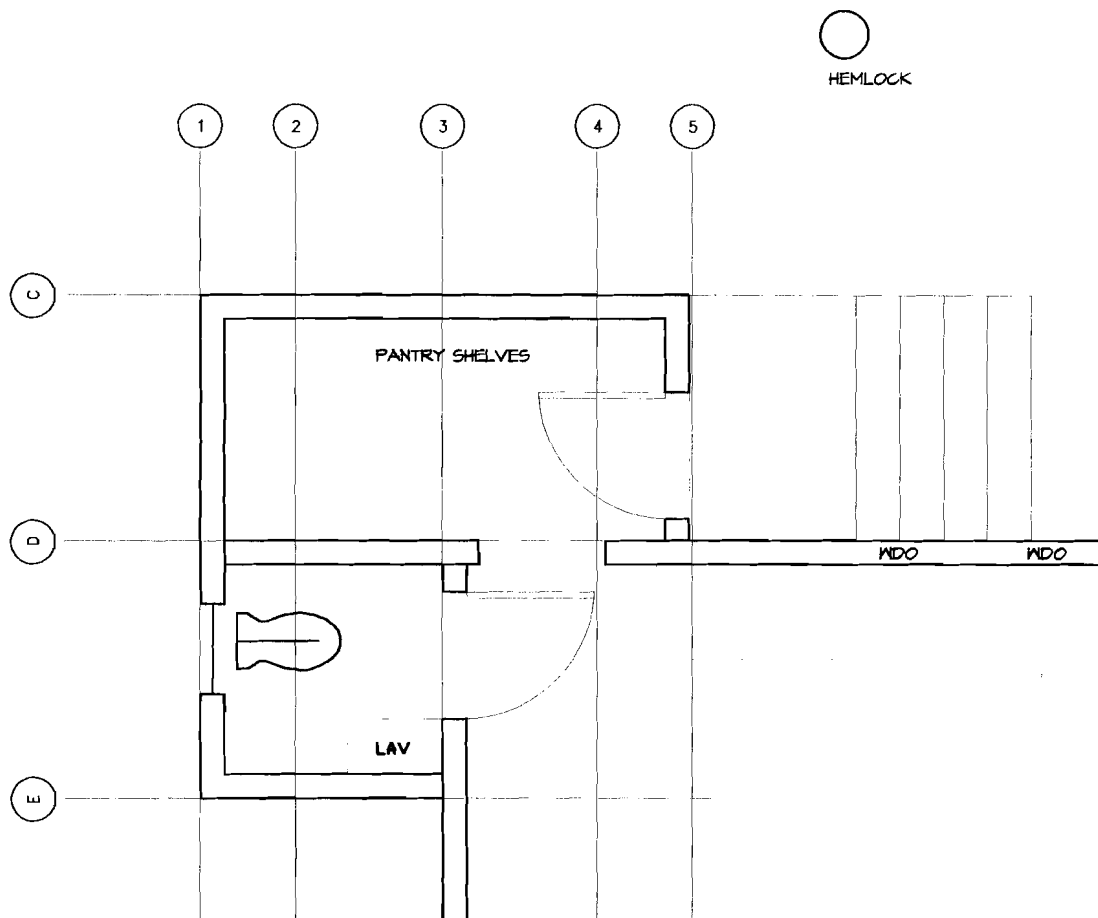
Greetings,

We are planning to construct a small addition this summer. The first step involves removing the outer wall of the storage room attached to the back of our house, and then constructing a small 75sqft addition, extending that storage room into a small sunroom! The following building permit application and drawings describe the project.

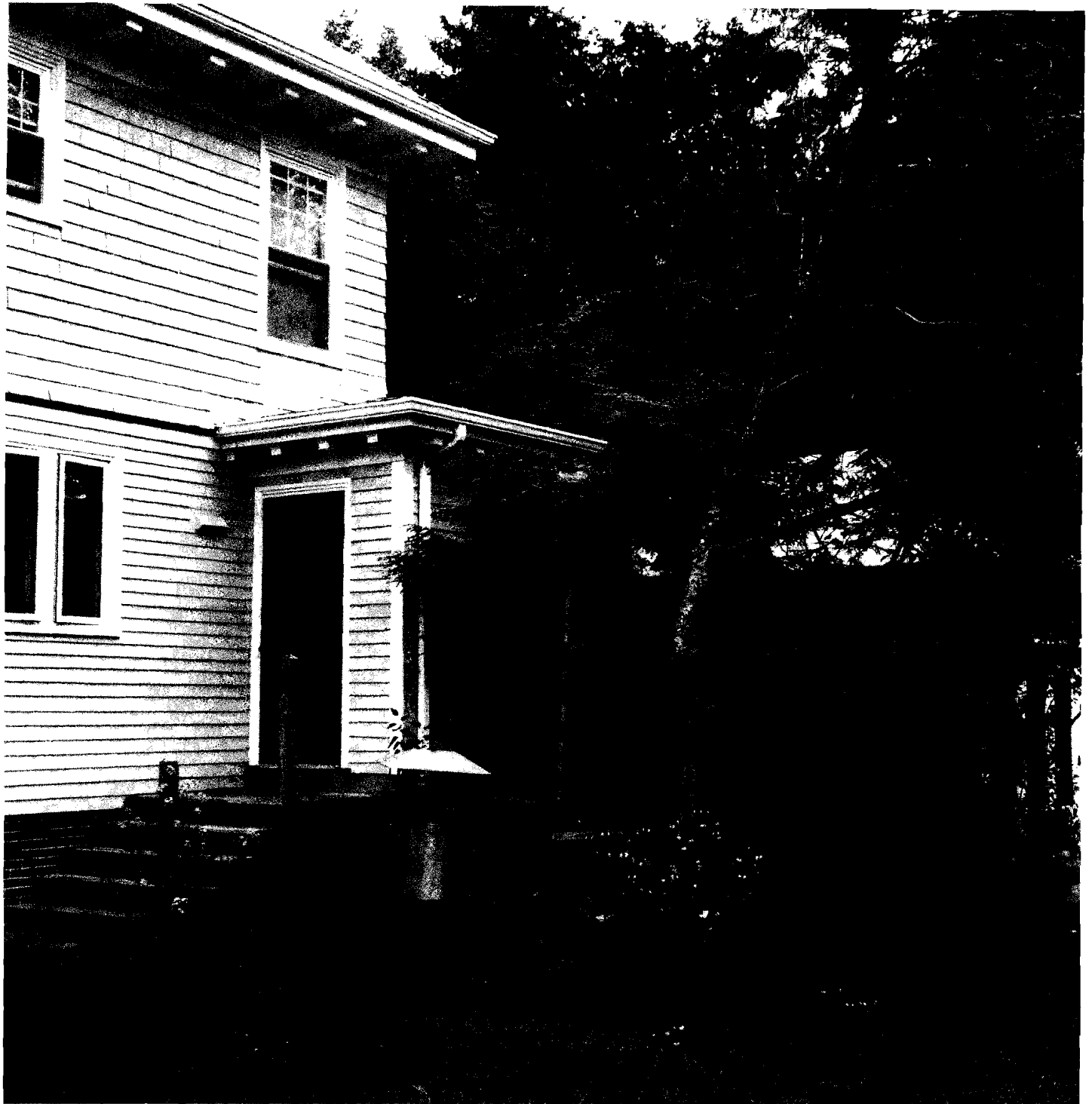
Please let us know if you have any questions.

Cheers, Denis & Kiya

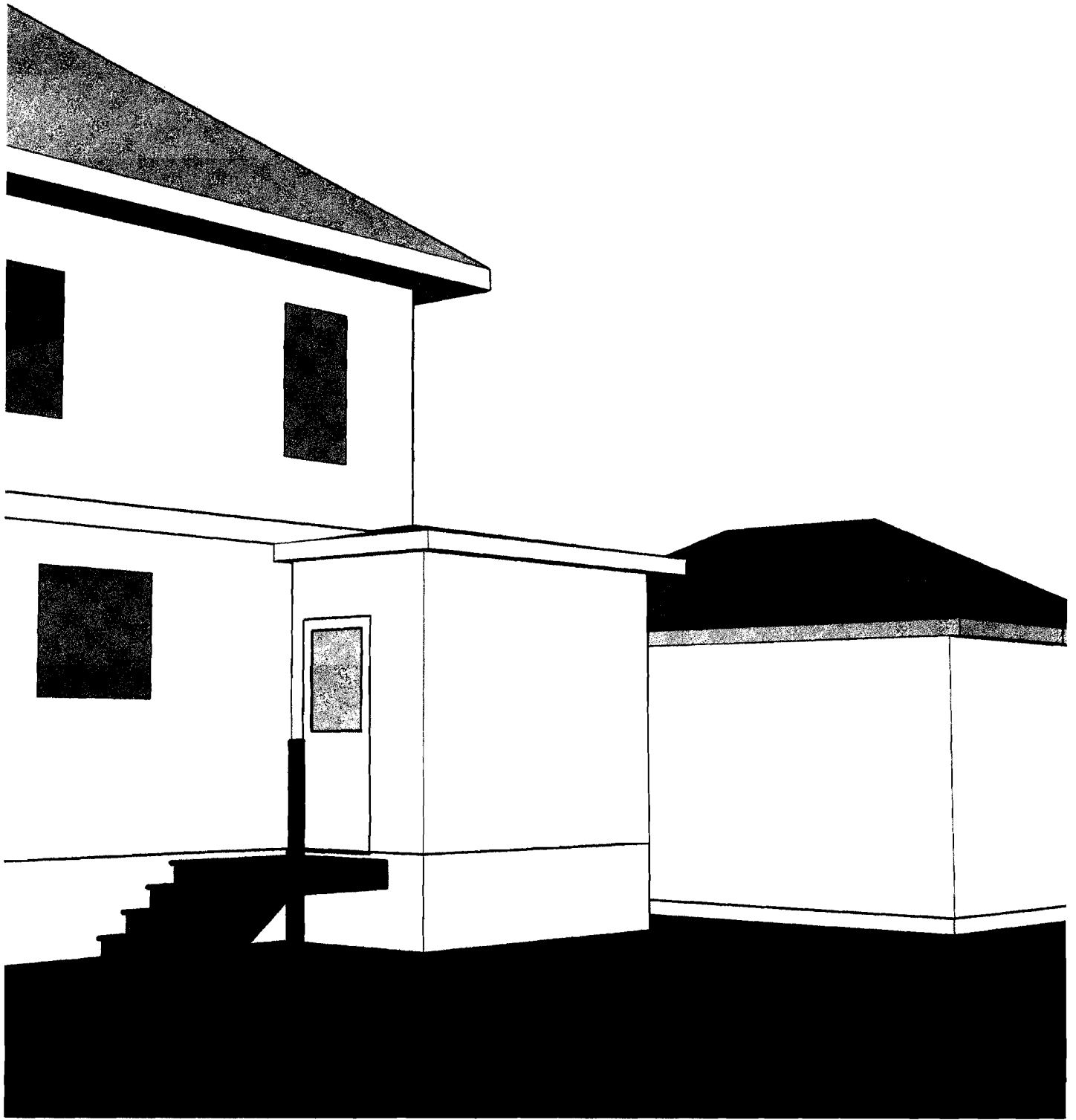




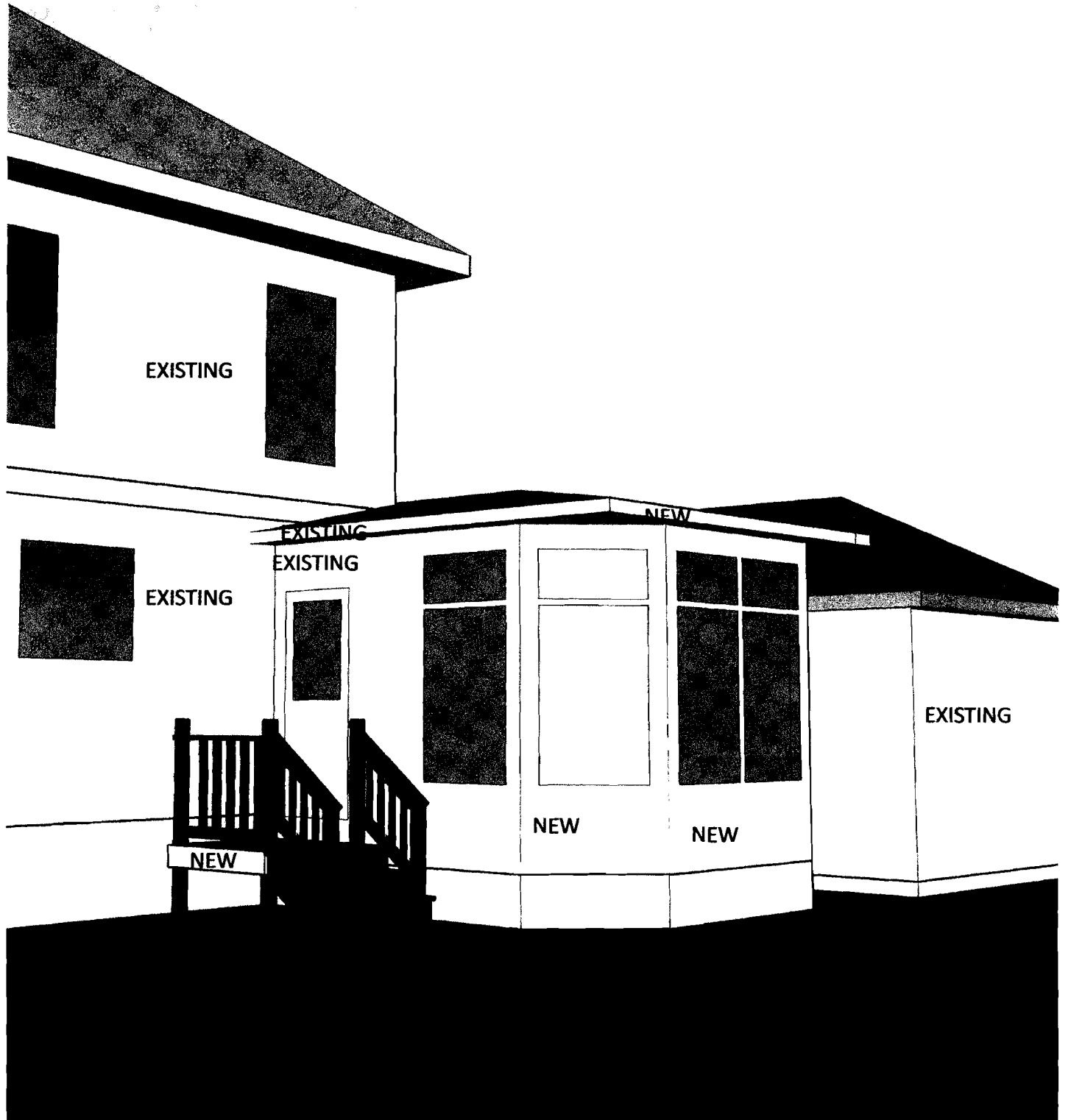
1	EXISTING FLOOR PLAN
	PLAN 1/4"=1'-0"



1	EXISTING PHOTO ELEVATION
	ELEVATION NO SCALE



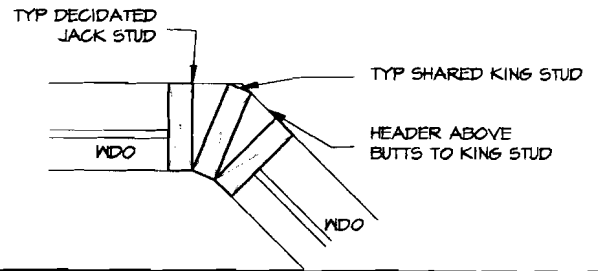
1	EXISTING ELEVATION
	ELEVATION NO SCALE



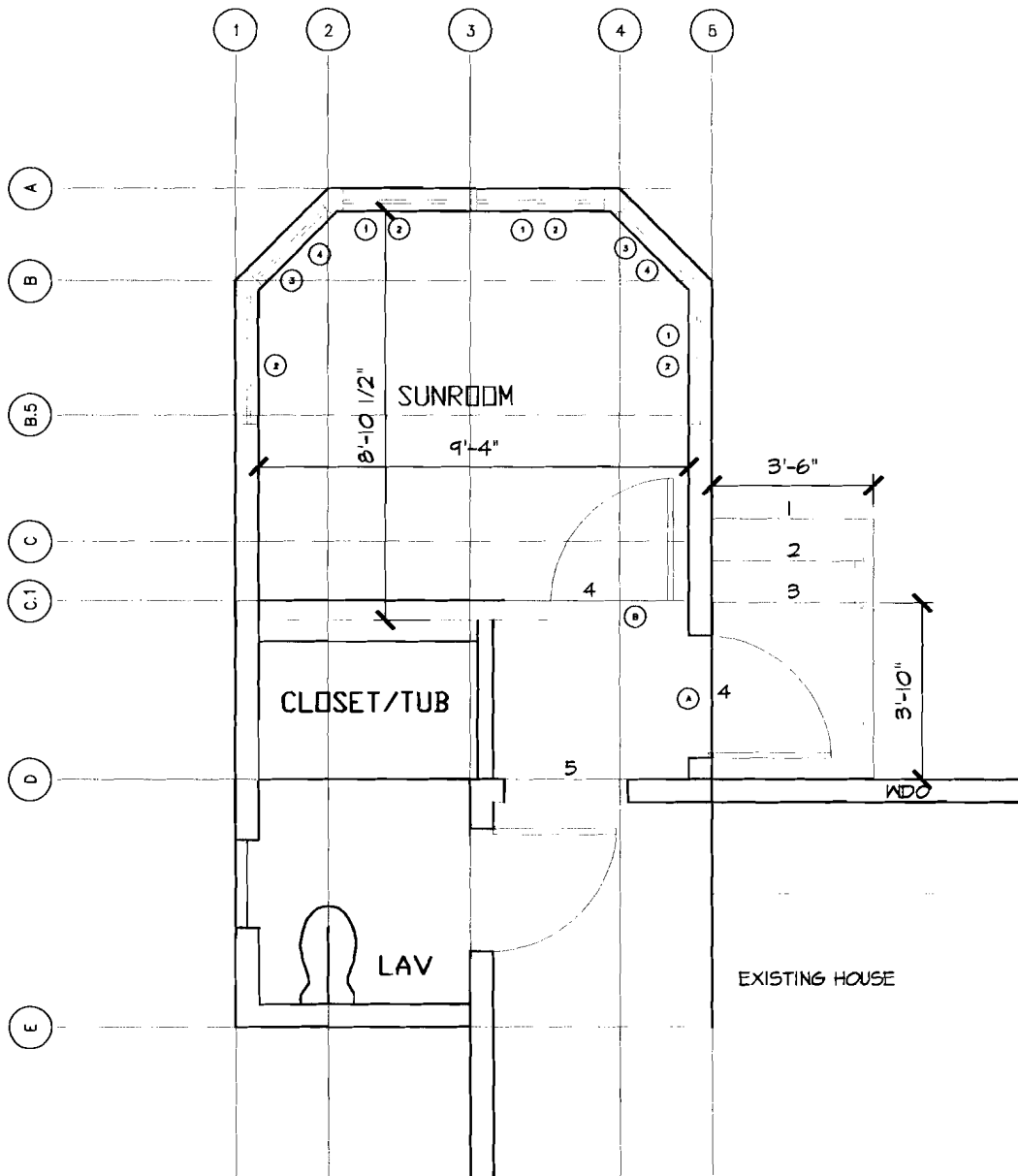
1	PROPOSED ELEVATION
	ELEVATION NO SCALE

Door Schedule			Window Schedule		
A	2'8" x 6'8" 1/2 lite insulated fiberglass thermatru ext. door	1	1	Marvin DBH 3256	3
B	2'8" x 6'8" 6-panel wood int. 1 3/8"	1	2	Marvin AWN 3216	4
			3	Marvin DBH 2856	2
			4	Marvin AWN 2816	2

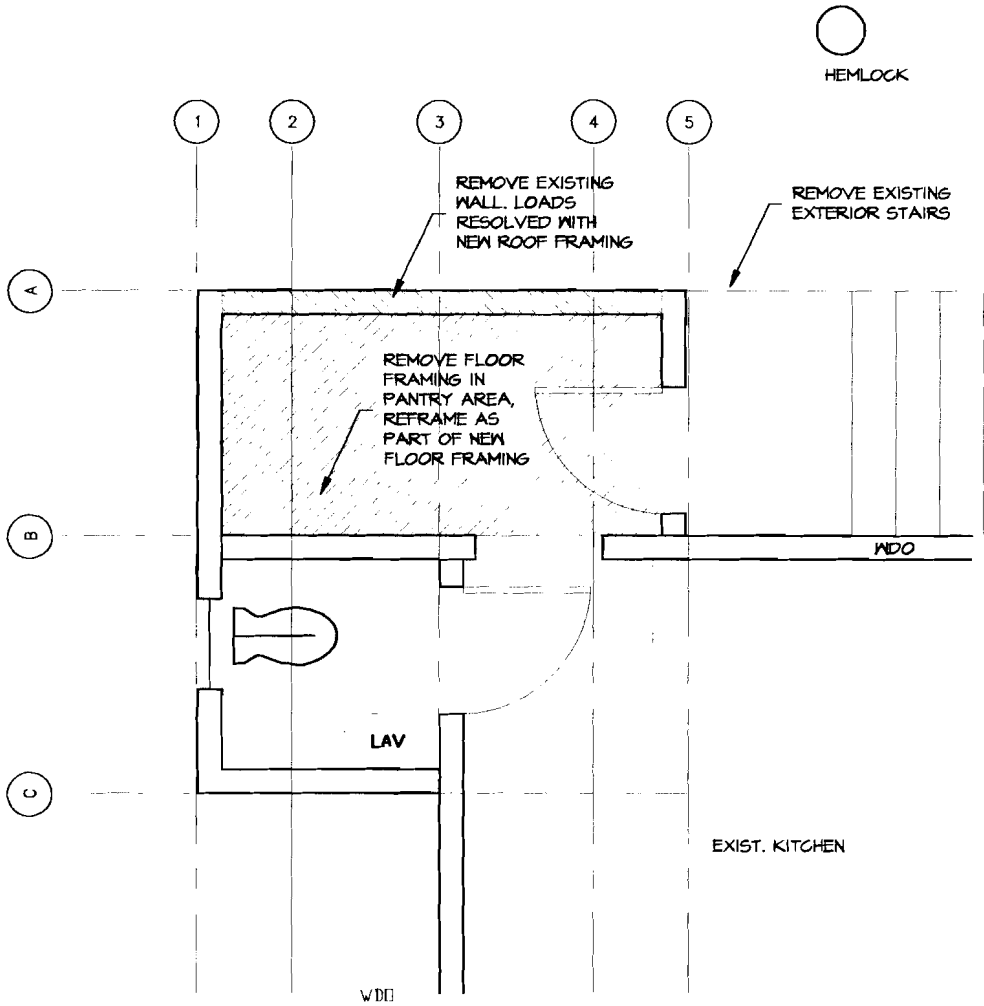
All windows max U value - 0.3



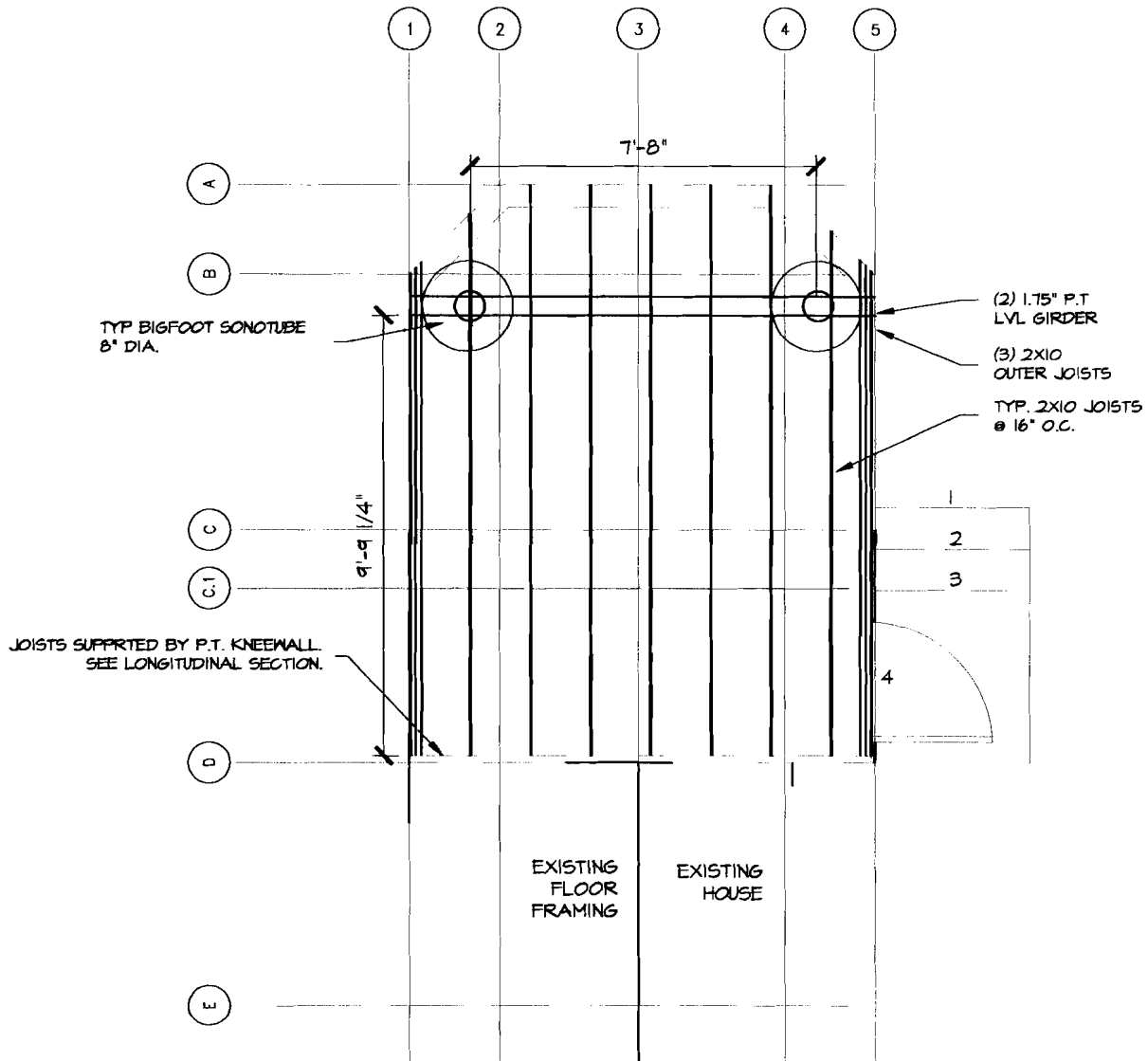
1	CORNER FRAMING DETAIL
	PLAN DETAIL 1"=1'-0"



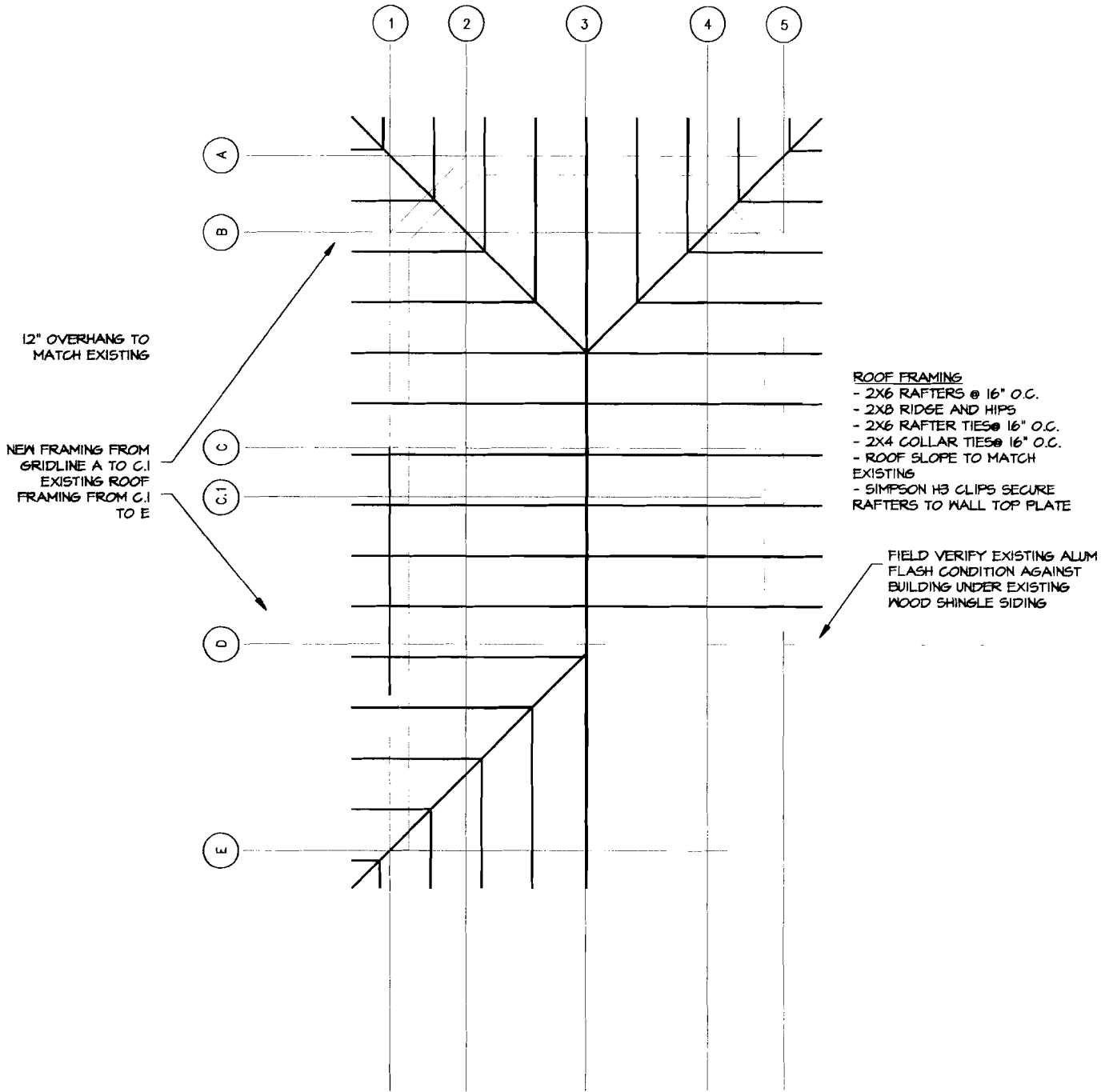
2	PROPOSED FLOOR PLAN
	PLAN 1/4"=1'-0"



1	DEMO PLAN
	PLAN 1/4"=1'-0"



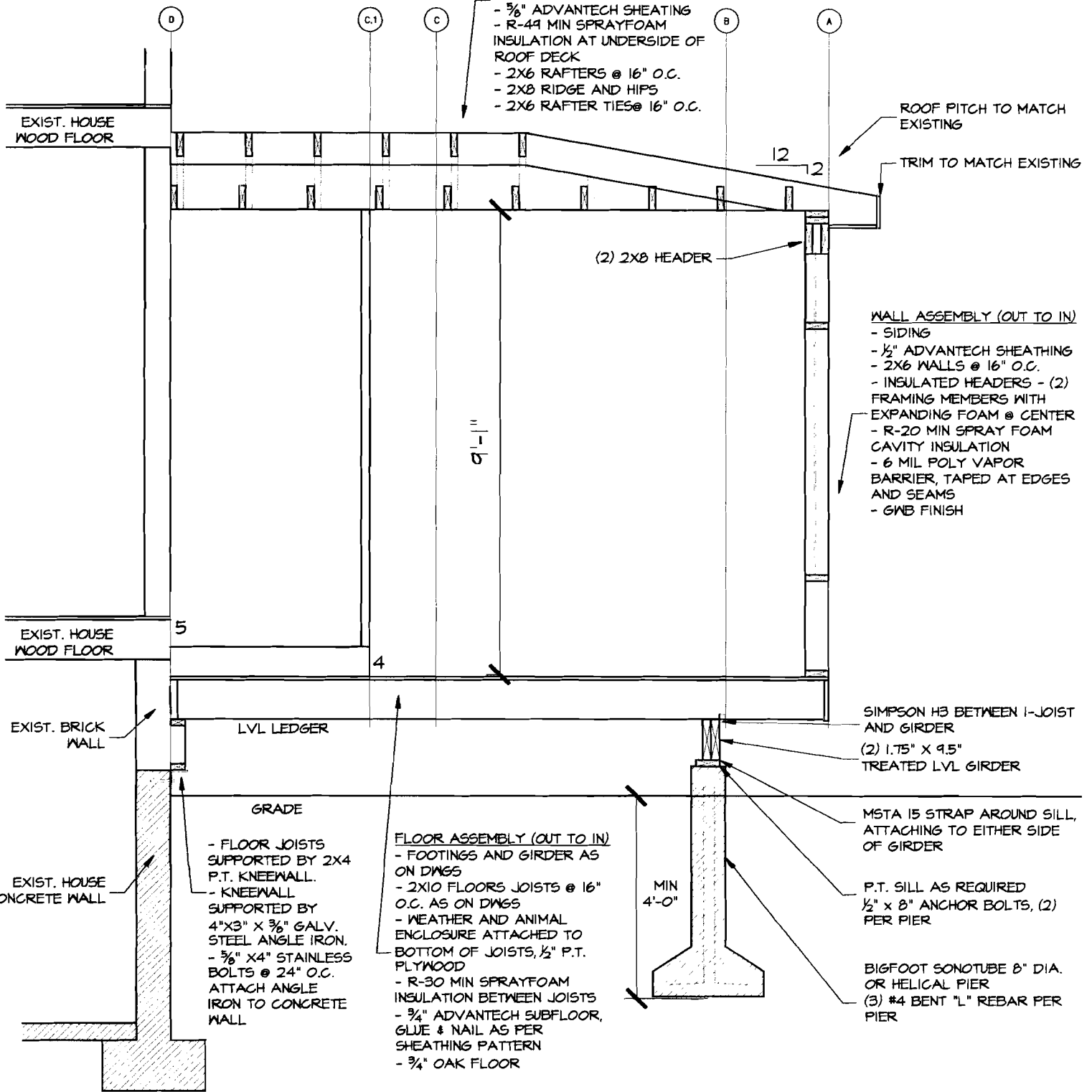
1	FLOOR FRAMING
	PLAN 1/4" = 1'-0"



1	ROOF FRAMING PLAN
	PLAN 1/4" = 1'-0"

ROOF ASSEMBLY (OUT TO IN)

- COMPOSITION SHINGLES
- 3' 1#W SHIELD @ EAVES
- ALUM. FLASHING TO HOUSE WOOD SHINGLE SIDING
- ALUM. DRIP ADGE
- ALUM. GUTTER
- 5/8" ADVANTECH SHEATHING
- R-49 MIN SPRAYFOAM INSULATION AT UNDERSIDE OF ROOF DECK
- 2X6 RAFTERS @ 16" O.C.
- 2X8 RIDGE AND HIPS
- 2X6 RAFTER TIES @ 16" O.C.



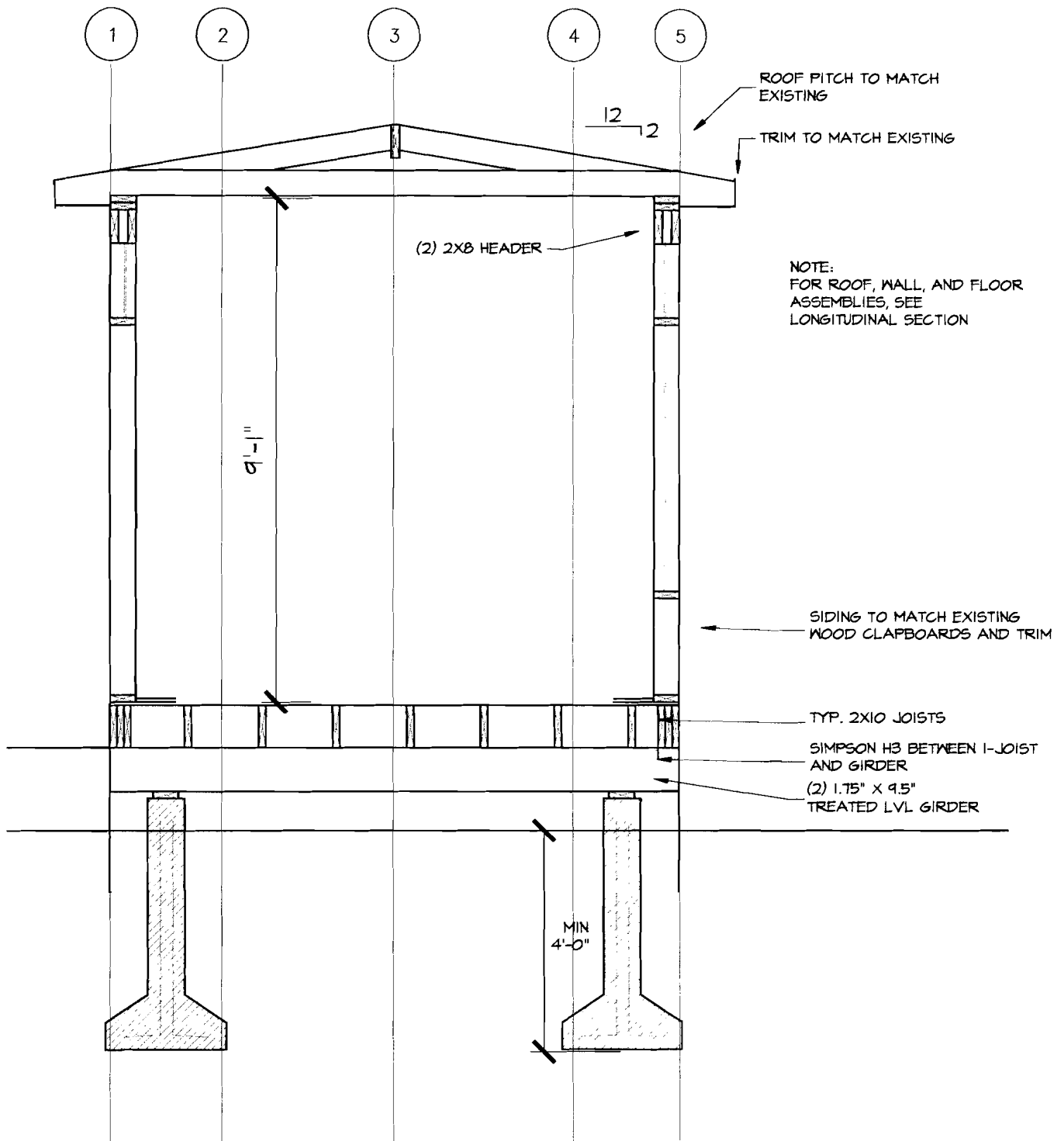
WALL ASSEMBLY (OUT TO IN)

- SIDING
- 1/2" ADVANTECH SHEATHING
- 2X6 WALLS @ 16" O.C.
- INSULATED HEADERS - (2) FRAMING MEMBERS WITH EXPANDING FOAM @ CENTER
- R-20 MIN SPRAY FOAM CAVITY INSULATION
- 6 MIL POLY VAPOR BARRIER, TAPED AT EDGES AND SEAMS
- GWB FINISH

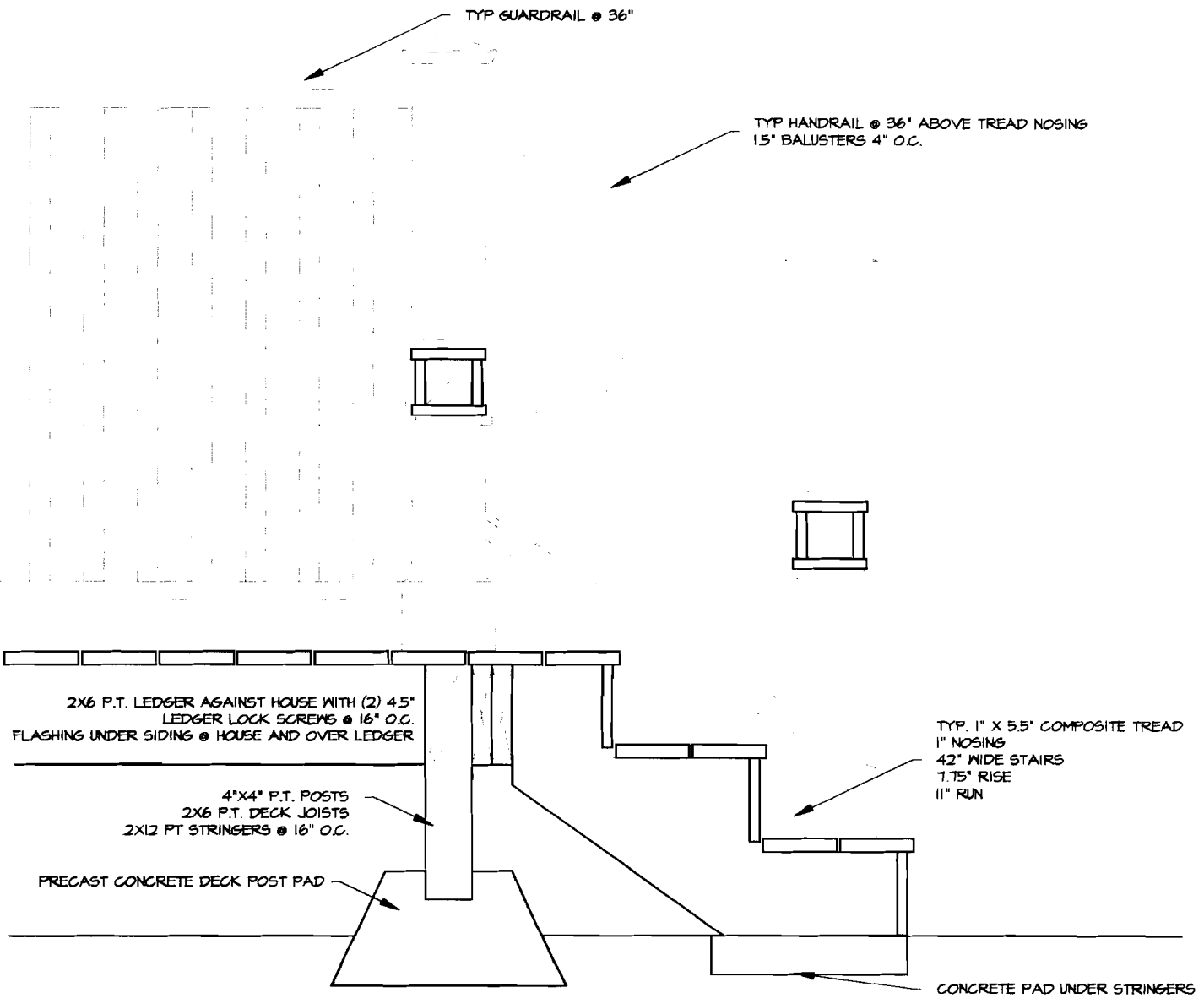
FLOOR ASSEMBLY (OUT TO IN)

- FOOTINGS AND GIRDER AS ON DWGS
- 2X10 FLOOR JOISTS @ 16" O.C. AS ON DWGS
- WEATHER AND ANIMAL ENCLOSURE ATTACHED TO BOTTOM OF JOISTS, 1/2" P.T. PLYWOOD
- R-30 MIN SPRAYFOAM INSULATION BETWEEN JOISTS
- 3/4" ADVANTECH SUBFLOOR, GLUE & NAIL AS PER SHEATHING PATTERN
- 3/4" OAK FLOOR

1	LONGITUDINAL SECTION ALONG GRIDLINE 3
SECTION	3/8" = 1'-0"



1	CROSS SECTION ALONG GRIDLINE B.5
SECTION	3/8" = 1'-0"



1	STAIRS	
	DETAILS	1"=1'-0"

Typical Air Sealing Building Envelope

- Seal any rim joists to plywood decking. Use construction adhesive or caulking between multiple top plates.
- Seal bottom plates of exterior frame walls to the sub-floor with construction adhesive or caulking.
- Window frames and door jambs must be sealed to their rough openings using low expansion foam, backer rod or caulk but NOT fiberglass.
- All penetrations& air paths through the building envelope to the exterior must be carefully sealed.
- Air sealing at Rough Framing at Floors, Walls and Ceilings
 1. Plumbing, Electrical and Heating systems penetrations
 2. Joints around masonry
 3. Building areas such as floor transitions, dropped soffits, split-level transitions and cantilevers must be sealed with a continuous air barrier. Where joist spans or stud bays run between a heated and unheated area all bays must be blocked and sealed at the transition.
- Air sealing after Drywall:
 1. Switch boxes and Outlet boxes sealed to drywall
 2. Through-wall vent penetrations sealed
 3. Light box penetrations sealed to drywall

Electrical boxes on exterior walls and ceilings should either be airsealed or placed in airtight enclosures.