

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0703	Issue Date: <b>PERMIT ISSUED</b> JUN 18 2003	CBL: 178 E007001
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Location of Construction: 163 Stevens Ave	Owner Name: Geibel Victoria I	Owner Address: 163 Stevens Ave	Phone: 775-1909
Business Name:	Contractor Name: Larry Rheume	Contractor Address: CITY OF PORTLAND Portland	Phone: 2079296176
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R3

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$86.00	Cost of Work: \$9,000.00	CEO District: 3
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**Proposed Project Description:**  
 Install 16x22 frost wall for existing garage, repair rot at front steps & garage

FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB BOCA 1999 Signature: jmb 6/18/03
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Signature: \_\_\_\_\_ Date: \_\_\_\_\_

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Permit Taken By: jmb	Date Applied For: 06/18/2003	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>Approved w/conditions</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 6/16/03 jmb	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: jmb
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

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<b>Permit No:</b> 03-0703	<b>Date Applied For:</b> 06/18/2003	<b>CBL:</b> 178 E007001
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<b>Location of Construction:</b> 163 Stevens Ave	<b>Owner Name:</b> Geibel Victoria I	<b>Owner Address:</b> 163 Stevens Ave	<b>Phone:</b> ( ) 775-1909
<b>Business Name:</b>	<b>Contractor Name:</b> Larry Rheume	<b>Contractor Address:</b> Portland	<b>Phone:</b> (207) 929-6176
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family	<b>Proposed Project Description:</b> Install 16x22 frost wall for existing garage, repair rot at front steps & garage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 06/18/2003

**Note:** **Ok to Issue:**

- 1) This permit approves the installation of a frost wall under the existing footprint of the garage. This does not approve any other changes in the existing garage
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved      **Reviewer:** Jeanine Bourke      **Approval Date:** 06/18/2003

**Note:** **Ok to Issue:**

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>163 Stevens Avenue</u>		
Total Square Footage of Proposed Structure <u>352 S.F. (of Frost Wall)</u>	Square Footage of Lot <u>15000 S.F.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>178</u> Block# <u>E</u> Lot# <u>7</u>	Owner: <u>Victoria Geisel</u>	Telephone: <u>775-1909</u>
Lessee/Buyer's Name (if Applicable) <u>—</u>	Applicant name, address & telephone: <u>Victoria Geisel</u> <u>775-1909</u>	Cost Of Work: \$ <u>9000</u> Fee: \$ <u>86.00</u>
Current use: <u>Private Residential Home</u>		
If the location is currently vacant, what was prior use: <u>—</u>		
Approximately how long has it been vacant: <u>—</u>		
Proposed use: <u>16x22" Frost Wall for garage +</u>		
Project description: <u>Repair rot at front stairs and in garage</u>		
Contractor's name, address & telephone: <u>Larry Rheume @ ETE Service Co.</u> <u>207-929-6174</u>		
Who should we contact when the permit is ready: <u>—</u>		
Mailing address: <u>—</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. <b>PHONE:</b>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Victoria Geisel</u>	Date: <u>06-18-03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the  
Planning Department on the 4<sup>th</sup> floor of City Hall**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	178 E007001
<b>Location</b>	163 STEVENS AVE
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	GEIBEL VICTORIA I 163 STEVENS AVE PORTLAND ME 04102
<b>Book/Page</b>	17642/237
<b>Legal</b>	178-E-7 STEVENS AVE 159-165  15000 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$35,180	\$81,370	\$116,550

**Property Information**

<b>Year Built</b> 1946	<b>Style</b> Garrison	<b>Story Height</b> 2	<b>Sq. Ft.</b> 1590	<b>Total Acres</b> 0.344	
<b>Bedrooms</b> 4	<b>Full Baths</b> 1	<b>Half Baths</b>	<b>Total Rooms</b> 7	<b>Attic</b> Unfin	<b>Basement</b> Full

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
05/17/2002	LAND + BLDING	\$171,500	17642-237
03/23/1998	LAND + BLDING	\$105,000	13681-105
03/01/1998	LAND + BLDING		13636-308

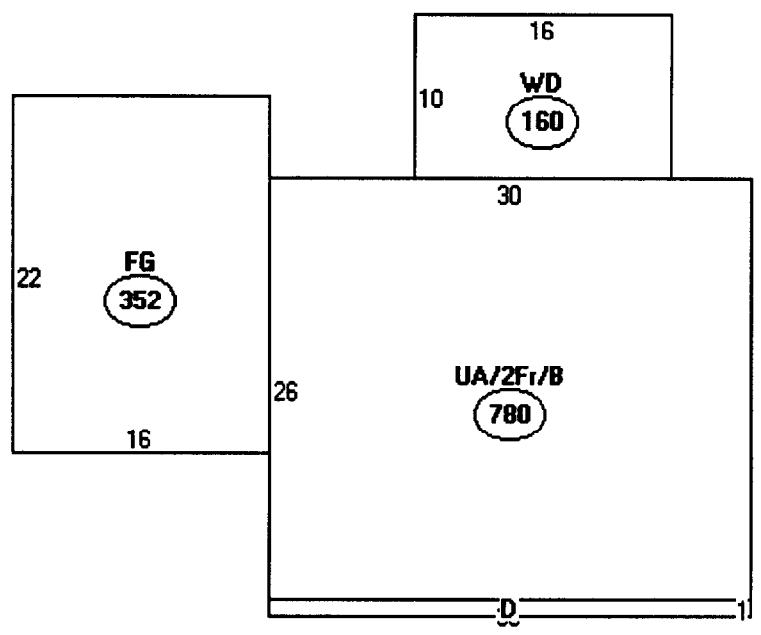
**Picture and Sketch**

[Picture](#)                      [Sketch](#)

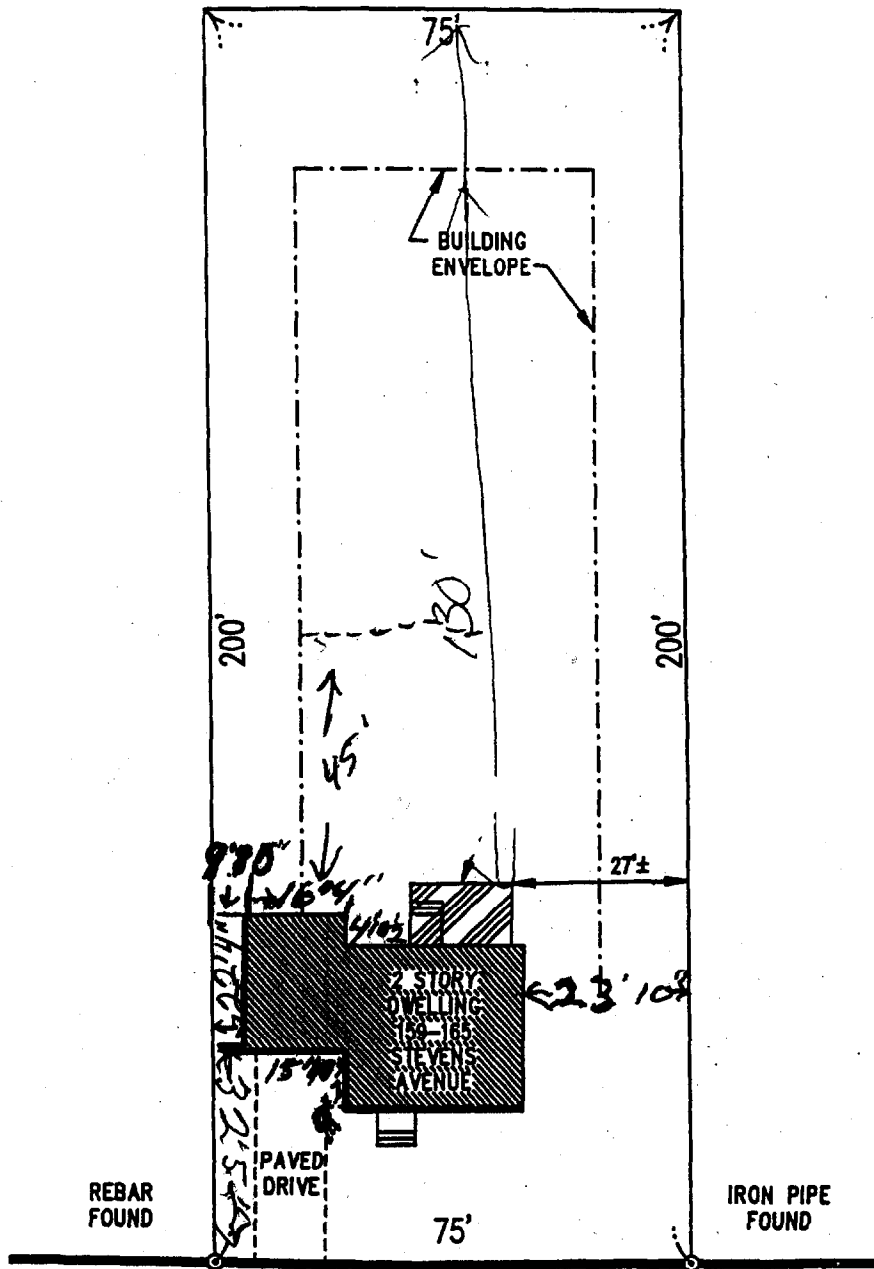
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed.](#)





- Descriptor/Area
- A: UA/2Fr/B  
780 sqft
  - B: FG  
352 sqft
  - C: WD  
160 sqft
  - D: FOH  
30 sqft



163

STEVENS

AVENUE

# Garage Work

LAMINATE 2-2X8'S INTO BEAMS  
INSTALL UNDER TOP OF WALL PLATE  
COME IN 3' AND INSTALL 4X4 POSTS  
UNDERNEATH BEAM TO SUPPORT  
GARAGE. DIG AROUND GARAGE  
TO HOUSE APPROXIMATELY 5'  
DOWN.

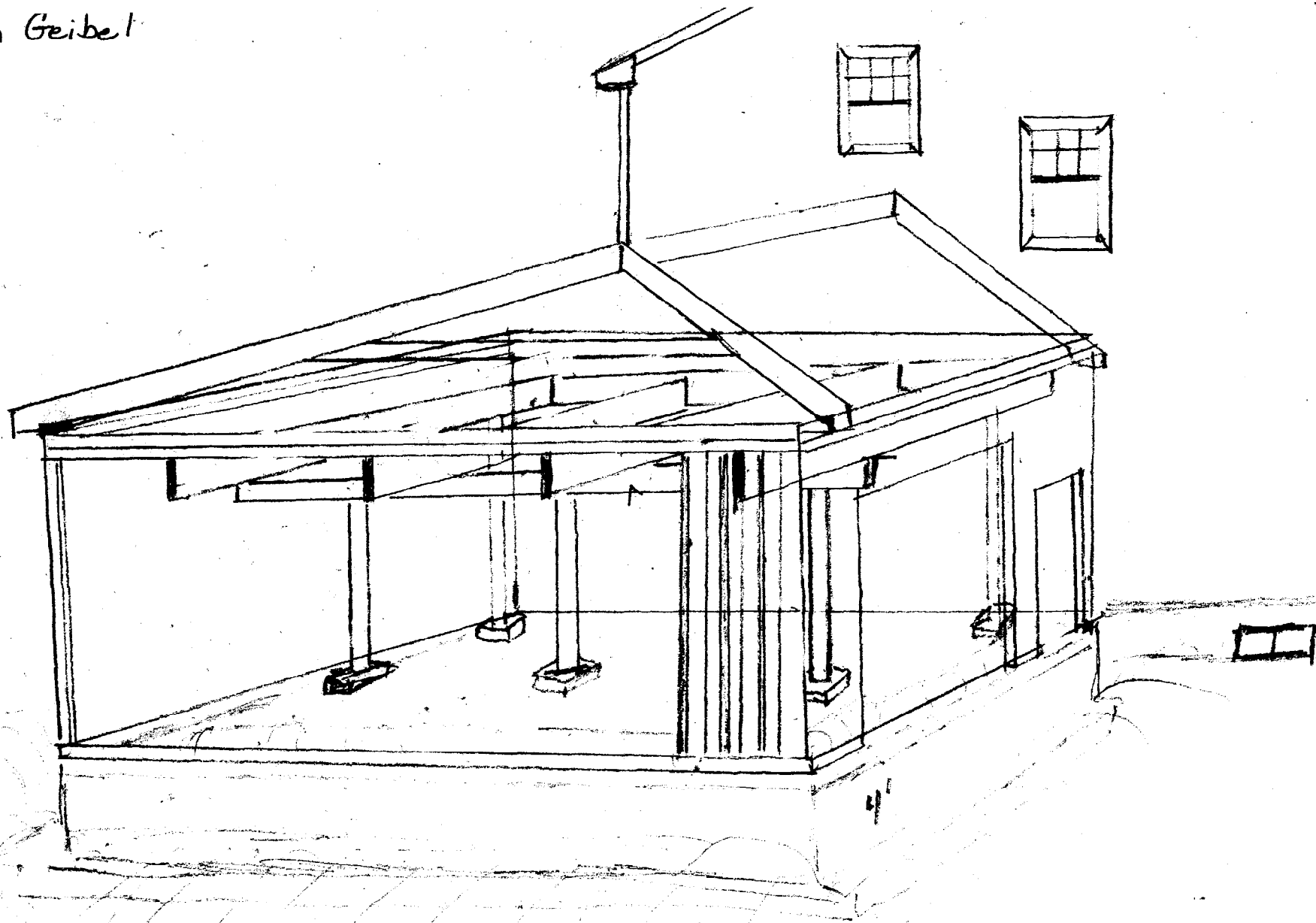
INSTALL FOOTING WITH REBAR.  
INSTALL CONCRETE WALL ON TOP  
OF FOOTING.

REPLACE ROT ON SILLS WHERE  
NECESSARY.

REMOVE SUPPORTS, DIG OUT  
FLOOR, POUR NEW CONCRETE  
FLOOR.

REBUILT ENTRANCE INTO GARAGE,  
USEING 5/8" SHEETROCK AND 2X4'S  
WITH NEW FIRE RATED DOOR.

Victoria Geibel



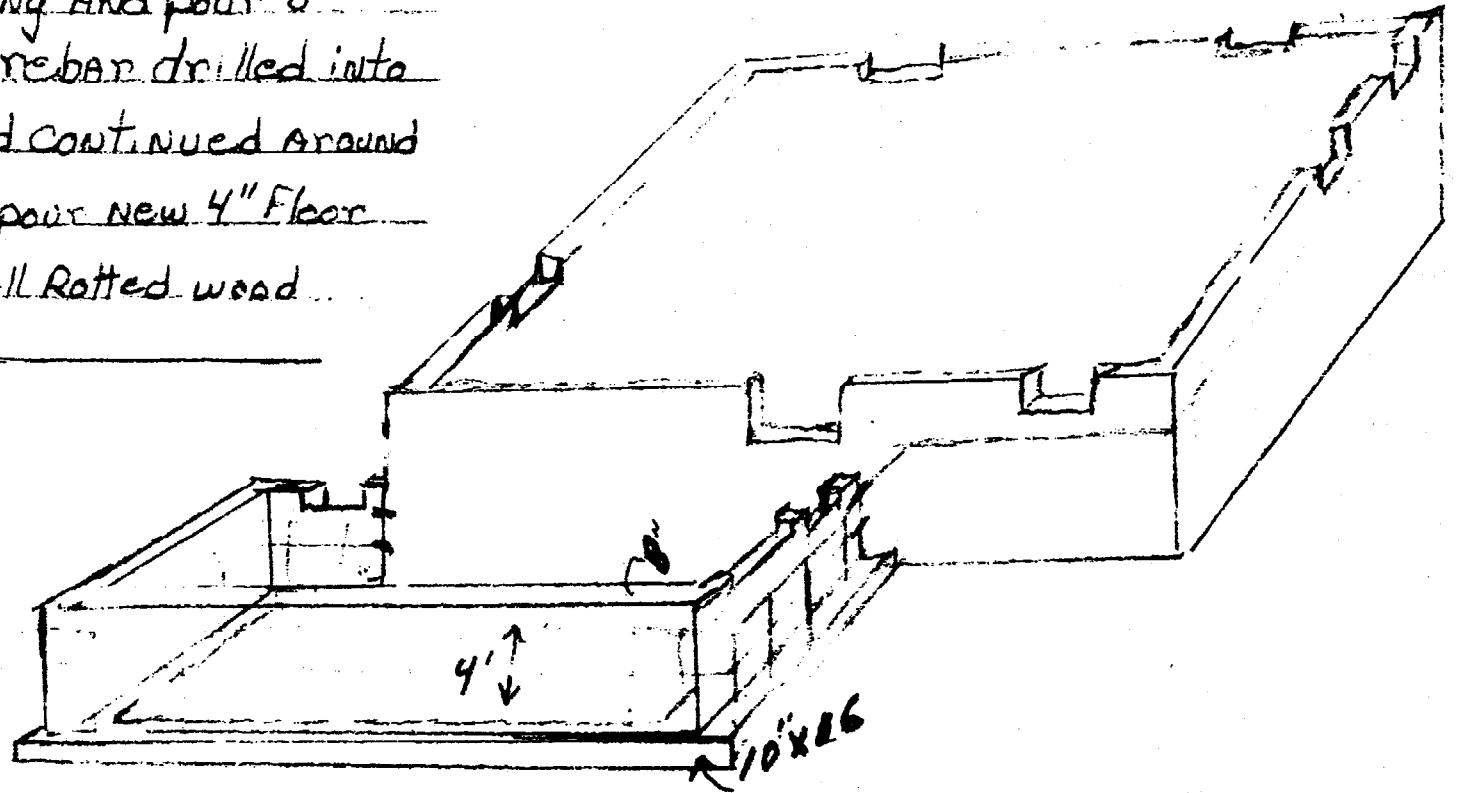


Support Garage, dig out around Garage.  
Install 10" X 16" Footing AND pour 8"  
Concrete Wall with rebar drilled into  
Existing house AND CONTINUED AROUND  
NEW FOUNDATION AND pour new 4" Floor  
FOR GARAGE. Repair all Rotted wood  
where necessary.

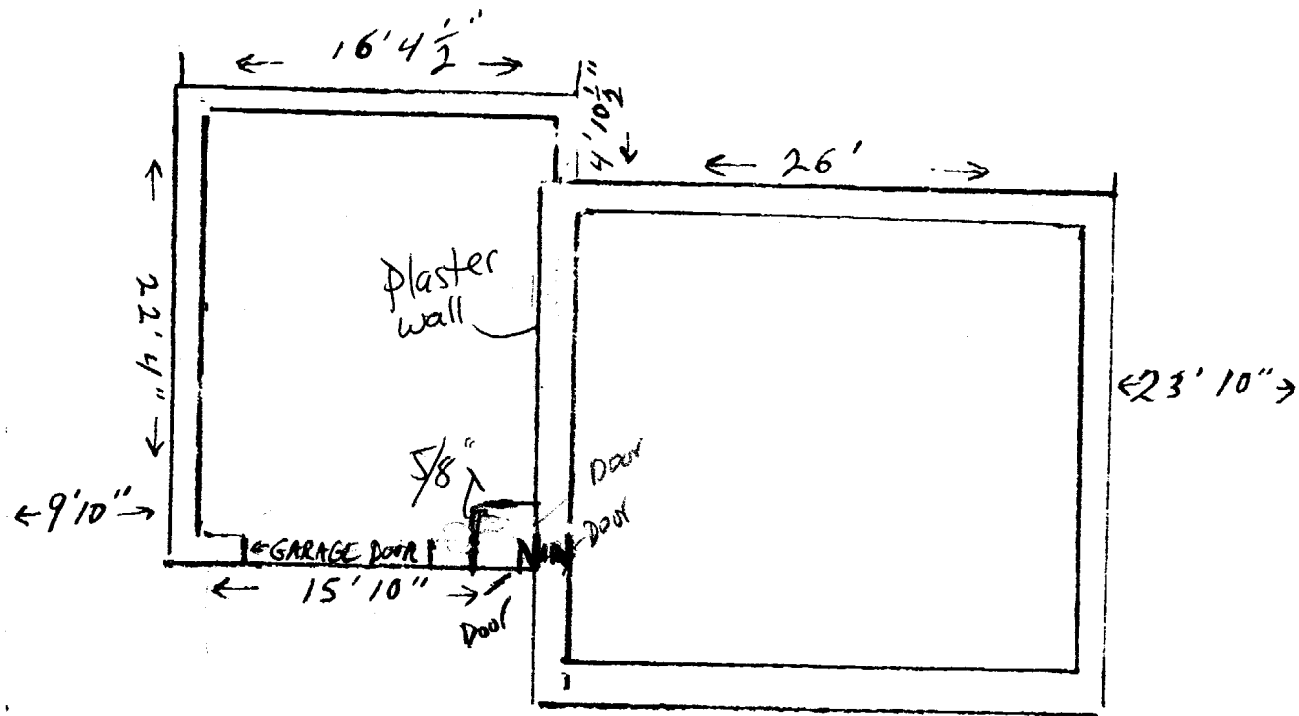
CALL

E & E SERVICE CO.  
55 Carl Rd.  
BUXTON, MAINE 04093  
(207) 929-6176

FQR  
EXPERT  
SERVICE



Victoria Geibel, 163 Stevens Ave.



Stevens Ave

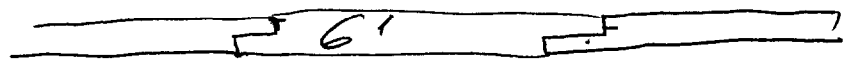
# Front Step Rot Repair

163 Stevens

Remove 6' or 4x6 Rotted sill

Replace w/ 4x6 PT

Lap Joint



flash, sill seal

Laminate ~~2x8~~ 2' x 2x8 Floor Joist

To existing to extend solid wood  
to sill - to Repair 2-3" of Rot

Repair any Rotted Framing

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificats of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

Jeanne Bouke  
Signature of Inspections Official

Date

6/18/03  
Date

CBL: 178-E-7 Building Permit #: 03-0703

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

**PERMIT ISSUED**  
Permit Number: 030703  
JUN 18 2003

## PERMIT

This is to certify that Geibel Victoria I / Larry Rheas  
has permission to Install 16x22 frost wall for existing garage repair at front steps & garage  
AT 163 Stevens Ave 178 E007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and written permission procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Jamie Bourke* 6/18/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**