

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0566	Date Applied For: 05/27/2003	CBL: 178 E007001
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Location of Construction: 163 Stevens Ave	Owner Name: Geibel Victoria I	Owner Address: 163 Stevens Ave	Phone: () 775-1909
Business Name:	Contractor Name: Larry Rheume	Contractor Address: 55 Call Road Buxton	Phone: (207) 929-6176
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family	Proposed Project Description: Remove existing brick steps and construct 3'-8"x7' platform w/stairs
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/27/2003

Note: Ok to Issue:

- 1) Sec. 14-425 allows a 1 story un-enclosed entrance porch to project into the front setback a max. 50 sq. Ft. And 5' into the required setback. Note that the house is 26'-5" from the front setback so the structure can project more than 5' from the house.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 05/27/2003

Note: Ok to Issue:

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>163 Stevens Avenue, Portland, ME 04102</u>		
Total Square Footage of Proposed Structure <u>31.1 sq. feet</u>	Square Footage of Lot <u>15000</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>178</u> Block# <u>E</u> Lot# <u>7</u>	Owner: <u>Victoria Geibel</u>	Telephone: <u>207-775-1969</u>
Lessee/Buyer's Name (if Applicable) <u>—</u>	Applicant name, address & telephone: <u>Victoria Geibel 163 Stevens Avenue</u>	Cost Of Work: \$ <u>2500.00</u> Fee: \$ <u>44.00</u>
Current use: <u>Single-Family</u> <u>Portland, ME 04102</u> If the location is currently vacant, what was prior use: <u>—</u> Approximately how long has it been vacant: <u>—</u> Proposed use: <u>Single-Family</u> Project description: <u>Replacing Bricksteps with wooden</u>		
Contractor's name, address & telephone: <u>Larry Rheume @ E+E JENCO Co. 55 Coll Rd. Buxton, MA 04093 207-929-6176</u> Who should we contact when the permit is ready: _____ Mailing address: _____		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Victoria Geibel</u>	Date: <u>5/27/03</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

3PM

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	178 E007001
Location	163 STEVENS AVE
Land Use	SINGLE FAMILY
Owner Address	GEIBEL VICTORIA I 163 STEVENS AVE PORTLAND ME 04102
Book/Page	17642/237
Legal	178-E-7 STEVENS AVE 159-165 15000 SF

Valuation Information

Land	Building	Total
\$35,180	\$81,370	\$116,550

Property Information

Year Built 1946	Style Garrison	Story Height 2	Sq. Ft. 1590	Total Acres 0.344		
Bedrooms 4	Full Baths 1	Half Baths	Total Rooms 7	Attic Unfin	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
05/17/2002	LAND + BLDING	\$171,500	17642-237
03/23/1998	LAND + BLDING	\$105,000	13681-105
03/01/1998	LAND + BLDING		13636-308

Picture and Sketch

Picture

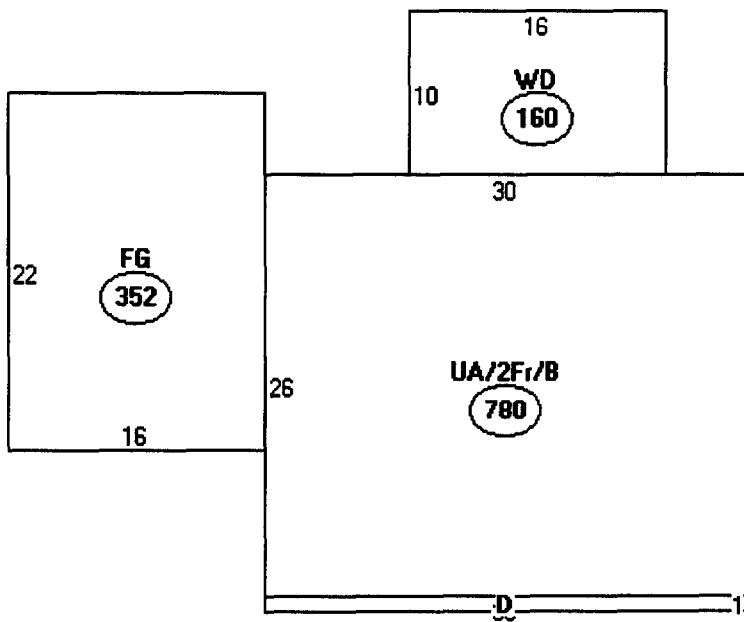
Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.







Descriptor/Area
A: UA/2Fr/B
780 sqft
B: FG
352 sqft
C: WD
160 sqft
D: FDH
30 sqft

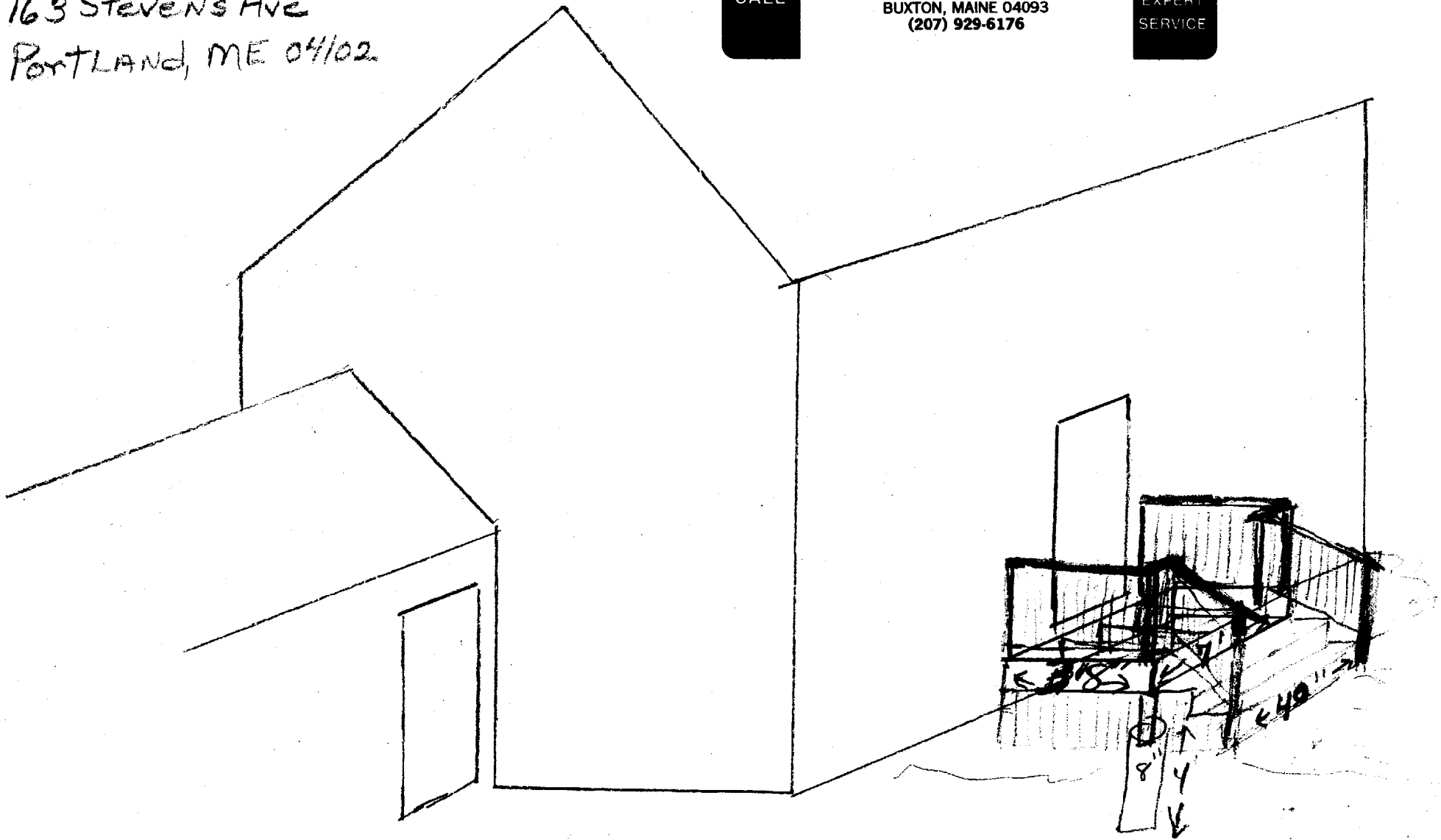
Victoria Geibel
163 Stevens Ave
Portland, ME 04102

CALL

E & E SERVICE CO.

55 Carl Rd.
BUXTON, MAINE 04093
(207) 929-6176

FOR
EXPERT
SERVICE



Removing Existing Brick Platform and Steps
Replacing Porch and Front Steps

1 5'4" 1
Total Projection

Framing Material - 2x6 P.L. 16 ON CENTER

Decking Material - Cedar-5/4

Stairs - - - 2x12 P.T. Max 7 3/4" Riser

Ballast Railings - P.T. 36" in HT w/graspable Handrail
not a 2x4

SKIRTING - - - P.T.

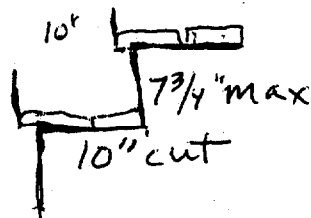
2- 8" SAUNA Tubes - 4' in the ground

Dimensions, of Porch - $3' \times 7' = 25.6 \text{ m}^2$

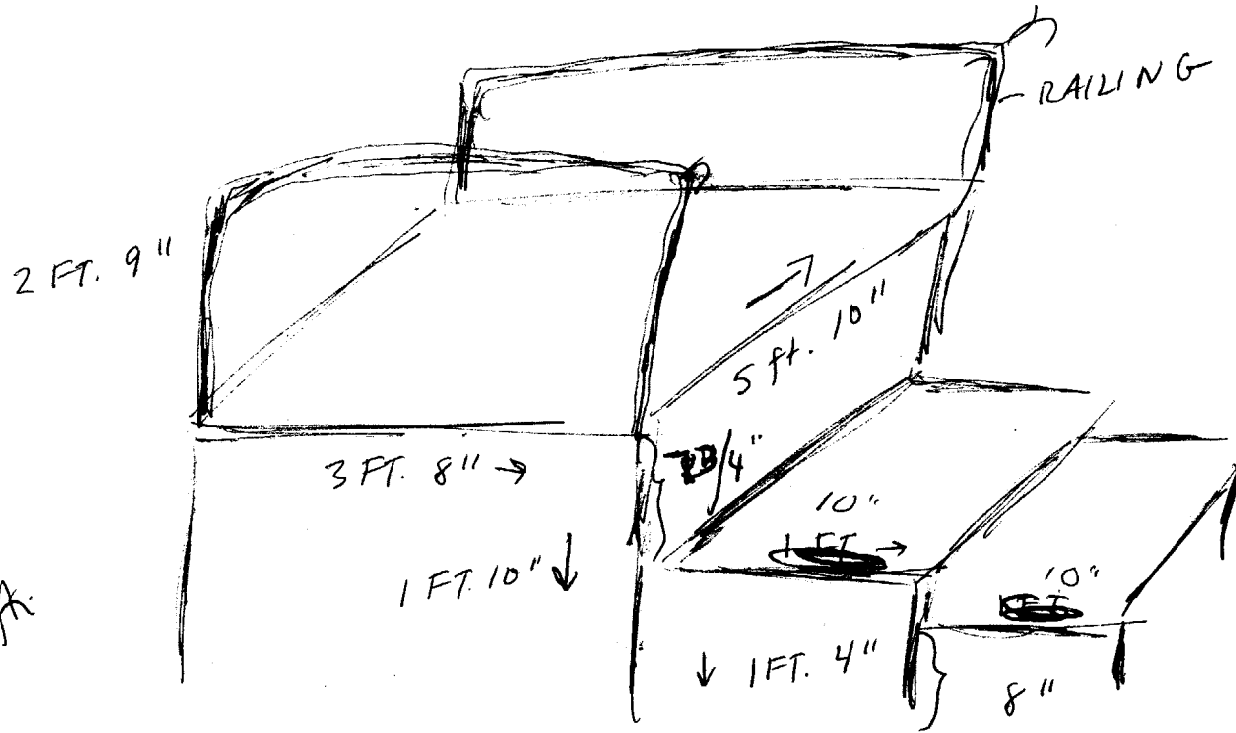
Dimensions, of Stairs - 40" wide 5.5 m

Steps To be 7 3/4" in Height

Stair Treads 11 1/2" wide 10" Net nosing to Nosing



DIMENSIONS OF
 EXISTING BRICK STEPS AT 163 STEVENS AVENUE
 PORTLAND, ME -
 (NOT DRAWN TO SCALE)



$$\begin{array}{r} 20 \times 40 = 800 \text{ sq. ft.} \\ \hline 144 \end{array}$$

$$3 \times 8 \times 7 = 21$$

 25.666 sq. ft. of
 plaster

\rightarrow
 5 FT. Irregular

R-3 zone

25' Req Front 21' 1" shown

Sec. 14-425 Allows The front yard to have a 1 story un-enclosed Entrance not to exceed 50 ft and not project more than 5' into the setback

This projection is 5' 4" from the Structure - Note 26' 5" setback

Side 8' Req over both sides

Information

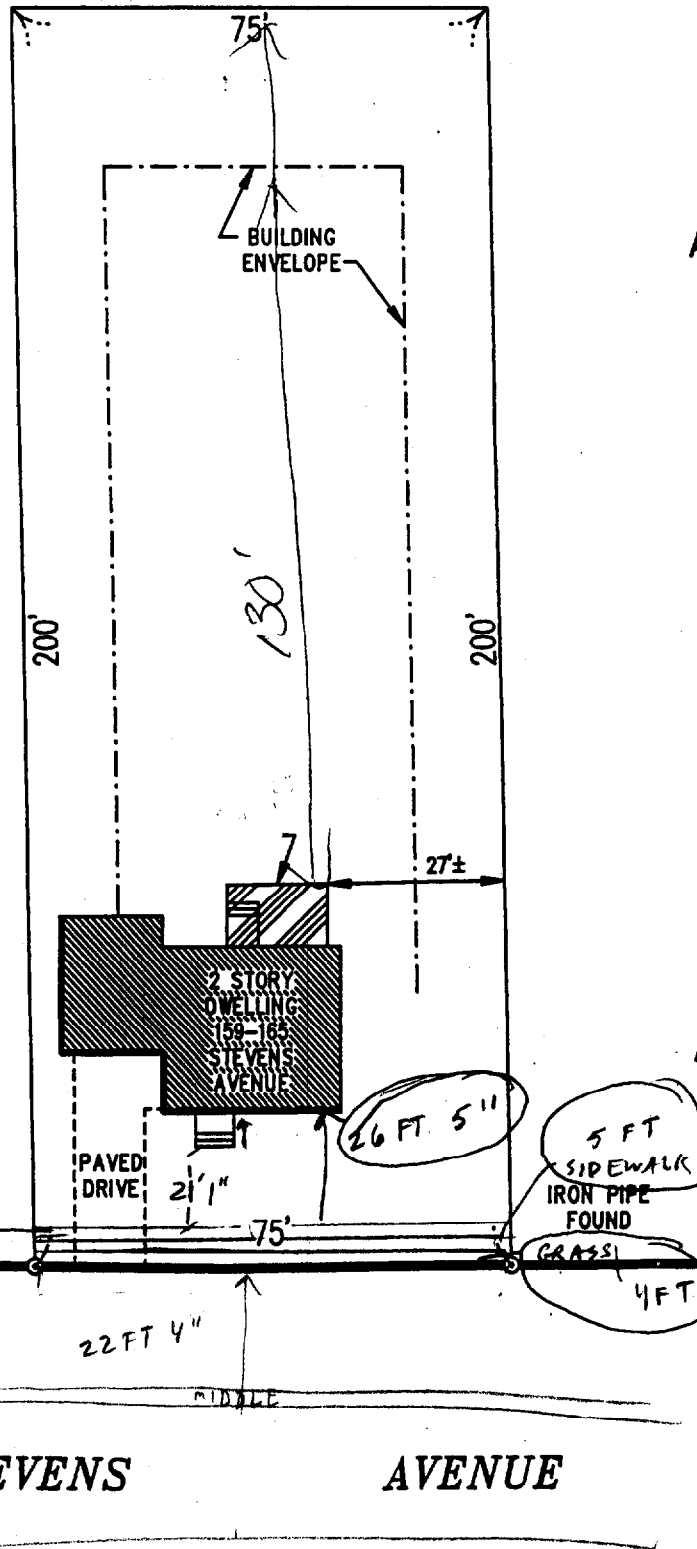
Relevant to Changing

Front Steps - Putting in
New Wooden Steps (Removing
Brick Steps)

2 FT. 8" BELONGS TO CITY

STEVENS AVE. RIGHT OF WAY IS 66 FT.

163



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT ISSUED

Permit Number: 030566

MAY 27 2003

PERMIT

This is to certify that Geibel Victoria I/Larry Rhe

has permission to Remove existing brick steps construction 8"x7" platform works

AT 163 Stevens Ave 178 E007001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit must be completed before this building or part thereof is leased or occupied. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

James Bonke 5/27/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
depth
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- NA Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a ~~\$75.00~~ fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Victor I Seid 05-27-03
 Signature of applicant/designee Date
Samuel Burke 5/27/03
 Signature of Inspections Official Date

CBL: 178-E-7 Building Permit #: 03-0566

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT ISSUED
Permit Number: 030566

MAY 27 2003

PERMIT

This is to certify that Geibel Victoria I / Larry Rhes
has permission to Remove existing brick steps & construct 4'-8"x7' platform walkways
AT 163 Stevens Ave 178 E007001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is closed or enclosed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

James Bonke 5/27/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD