





**CITY OF PORTLAND**

September 10, 1999

Mimi Clegg, President  
Redlon Park Association  
Redlon Park Road  
Portland, ME 04102

RE: Redlon Park Revisions

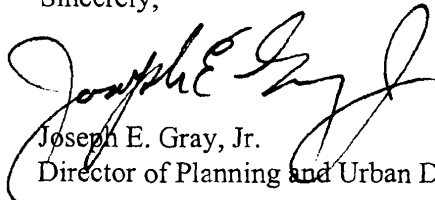
Dear: Ms. Clegg:

This letter is to confirm the revision to the approved Subdivision and Site plan of the Redlon Park project located at the end of Redlon Road. The approved revision includes the substitution of a fenced-in, grassed play area instead of a basketball court, and the omission of the fence between Redlon Park and Nancy Tkacz's property.

The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments.

If you have any questions regarding the revision please contact the planning staff at 874-8720.

Sincerely,



Joseph E. Gray, Jr.  
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner  
Sarah Hopkins, Senior Planner  
P. Samuel Hoffses, Building Inspector  
Jeff Tarling, City Arborist  
William Bray, Director of Public Works  
Tony Lombardo, Project Engineer  
Lt. Gaylen McDougall, Fire Prevention  
Penny Littell, Associate Corporation Counsel  
— Inspection Department  
Development Review Coordinator  
Approval Letter File

## BUILDING PERMIT REPORT

DATE: 16 July 98 ADDRESS: 18 Red Lion Park Rd. (128-C-019)  
REASON FOR PERMIT: To Construct a single family dwelling / garage  
BUILDING OWNER: Mimi Clegg  
CONTRACTOR: Ric Weinschenk  
PERMIT APPLICANT: owner  
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

### CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: \*1, \*2, \*2.5, \*2.6, \*4, \*5, \*6, \*8, \*9, \*10, \*11, \*12, \*16, \*24, \*25, \*26, \*27, \*29

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- \*2.5. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.
- Foundations anchors shall be a minimum of 1 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6'o.c. between bolts. ( Section 2305.17 )
3. Precaution must be taken to protect concrete from freezing.
- \*4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained. Pin shall be set at lot lines.
- \*5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- \*6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). NFPA 211
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- \*8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups +2", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". ( Sections 1021 & 1022.0 )
- \*9. Headroom in habitable space is a minimum of 7'6". ( Section 1204.0 )
- \*10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise. ( Section 1014.0 )
- \*11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
- \* Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height

**CITY OF PORTLAND, ME  
BOCA 1996 Plan Review Record  
One and Two Family Dwelling**

Valuation: \$197,000.00 Plan Review # \_\_\_\_\_  
 Fee: \$1000.00 Date: 16 July 98  
 Building Location: 18 Redden Park Rd. CBL: 178-C-019  
 Building Description: Single Family Dwelling  
 Reviewed by: Sam Hoffses  
 Use or Occupancy: R-3 Type of Construction: 5-B

Correction List		
NO:	Description	Code Section
1.	Site Plan & Building Code Requirements	111.4
2.	Foundation drain	1813.5.2
3.	Foundation anchors	2305.17
4.	Private garages	4107
5.	Chimney	NFPA 211 & Chapter 12 BOCA mod
6.	Guards & Handrails	section 1021-1022
7.	Sleeping room egress	1018.6
8.	Smoke detector	920.3.2
9.	Fastening Table	2305.2
10.	MAX. span 2x12 @ 16" O.C. 17'10" Joists	
11.	MAX span 2x8 @ 16" O.C. 12'3" Joists	
12.	MAX span 2x12 @ 16" O.C. Rafters #2 SF 24'-0"	
13.		

**Foundations (Chapter 18)**

**Wood Foundation (1808)**

N.A. Design  
N.A. Installation

**Footings (1807.0)**

OK Depth below (outside) grade 4' minimum;  
but below frost line except for insulated footings.

N.A. Insulated footing provided

OK Soil bearing value (table 1804.3)

16" Footing width

8"x16" Concrete footing (1810.0) .3.1, 3.2

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Foundation Walls**

OK Design (1812.1)

5" Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)

See Report S.R. Water proofing and damp proofing Section 1813

✓ Sill plate (2305.17)

S.R. Anchorage bolting in concrete (2305.17)

✓ Columns (1912)

N.A. Crawl space (1210.2) Ventilation

N.A. Crawl opening size (1210.2.1)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Floors (Chapter 16-23)**

\_\_\_\_\_  
Joists - Non sleeping area LL40PSF (Table - 1606) *MAX SPAN 2x12@16"OC. 17'10"*

\_\_\_\_\_  
Joists - Sleeping area LL30PSF (Table - 1606) \* *MAX SPAN 2x8@16"OC. 12'3"*

\_\_\_\_\_  
Grade

16" Spacing

\_\_\_\_\_  
Span

0 12 Girder 4" bearing 2305

Floors (contd.)

- OK Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- OK Bridging (2305.16)
- See Ref Boring and notching (2305.5.1)
- See Ref Cutting and notching (2305.3)
- See Ref Fastening table (2305.2)
- NA Floor trusses (AFPANDS Chapter 35)
- OK Draft stopping (721.7)
- OK Framing of openings (2305.11) (2305.12)
- 3/4" Flooring - (2304.4) 1" solid - 1/2" particle board
- X A Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Wall Construction (Chapter 2300)

- \_\_\_\_\_ Design (1609) wind loads
- \_\_\_\_\_ Load requirements
- \_\_\_\_\_ Grade
- See Ref Fastening schedule (Table 2305.2)
- 2x6-2x4 Wall framing (2305.4.1)
- ✓ Double top plate (2305.4.2)
- ✓ Bottom plates: (2305.4.3)
- See Ref Notching and boring: (2305.4.4) studs
- 2x4" 16 Non load bearing walls (2305.5)
- SP Notching and boring (2305.5.1)
- OK Wind bracing (2305.7)
- OK Wall bracing required (2305.8.1)
- 2x4 Stud walls (2305.8.3) 17742
- 1/2" OSB Sheathing installation (2305.8.4)
- X Minimum thickness of wall sheathing (Table 2305.13)
- NA Metal construction
- NA Masonry construction (Chapter 21)
- A ES Exterior wall covering (Chapter 14)
- NA Performance requirements (1403)
- ✓ Materials (1404)
- ✓ Veneers (1405)
- 1/2" gypsum Interior finishes (Chapter 8)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Roof-Ceiling Construction (Chapter 23)**

*16" OC*

*X*

- 2x12 Roof rafters - Design (2305.15) spans *5/8" PL*
- 1/2" OSB Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- N.A. Roof trusses (2313.3.1)

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Roof Coverings (Chapter 15)**

*X*

- \_\_\_\_\_ Approved materials (1404.1)
- \_\_\_\_\_ Performance requirement (1505)
- \_\_\_\_\_ Fire classification (1506)
- \_\_\_\_\_ Material and installation requirements (1507)
- \_\_\_\_\_ Roof structures (1510.0) ✓
- BAH* Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

*See  
A.P.P.*

- NA* Masonry (1206.0)
- ✓* Factory - built (1205.0)
- NA* Masonry fireplaces (1404)
- X ✓* Factory - built fireplace (1403)

**Mechanical  
1993 BOCA Mechanical Code**

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

State Plumbing Code  
 Chapter 13  
 Can not be used  
 Fixtures in basement

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Load Design Criteria**

Floor live load sleeping	<u>30 PSF</u>	<u>OK</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>OK</u>
Roof live load	<u>42 PSF</u>	<u>OK</u>
Roof snow load	<u>46 PSF</u>	<u>OK</u>
Seismic Zone	<u>2</u>	<u>✓</u>
Weathering area	<u>S</u>	<u>5</u>
Frost line depth	<u>4' MIN</u>	<u>✓</u>

**Glazing (Chapter 24)**

- \_\_\_\_\_ Labeling (2402.1)
- See permit* \_\_\_\_\_ Louvered window or jalousies (2402.5)
- See permit* \_\_\_\_\_ Human impact loads (2405.0)
- \_\_\_\_\_ Specific hazardous locations (2405.2)
- \_\_\_\_\_ Sloped glazing and skylights (2404)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Private Garages (Chapter 4)**

- See permit* \_\_\_\_\_ General (407)
- See permit* \_\_\_\_\_ Beneath rooms (407.3)
- See permit* \_\_\_\_\_ Attached to rooms (407.4)
- See permit* \_\_\_\_\_ Door sills (407.5)
- \_\_\_\_\_ Means of egress (407.8)
- \_\_\_\_\_ Floor surface (407.9)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_





**CITY OF PORTLAND**  
**Planning and Urban Development Department**

**MEMORANDUM**

**TO:** Code Enforcement

**FROM:** Jim Wendel, Development Review Coordinator

**DATE:** March 9, 1999

**SUBJECT:** Certificate of Occupancy  
18 Redlon Park Road (Lot 7) (178-C-19)

On March 8, 1999 the site was reviewed for compliance with the conditions of approval dated 7-2-98. My comments are:

1. The landscape work could not be completed due to the time of year. The owner of the house had a landscape architect prepare a landscaping plan for the property. Coordination with the new owner indicates that the completion of this work will be by a contractor other than the builder and will take most of this growing season to complete; consequently this landscape work must be completed by September 15, 1999. The contractor for this landscape work shall be responsible for all erosion control standards of the site plan approval for this site for the duration of the work.
2. The street number needs to be placed on the house.

It is my opinion that when item 2 above is completed, a temporary Certificate of Occupancy could be issued assuming Code Enforcement has no outstanding issues.

Inspection Services  
P. Samuel Hoffses  
Chief

ment  
Jray Jr.  
Director

September 21, 1998

Ric Weinschenk Builders  
91 Summer Place  
Portland, Me. 04013

Ref.: 18 Redlon Park (

Dear Sir,

On my weekly inspection  
situation that will require a stru  
the exterior wall and roof system rear

The roof and exterior wall is bearing partly on the first  
window system. The bottom plate is a 2" x 6" that is holding the  
2"x 6" is already showing stress.

Please submit this report as soon as possible for approval and before any further work is done in  
this area. Also, as you near the end of your first two permits # 980078 & 980087, please  
remember that before a certificate of occupancy can or will be issued all site plan requirements  
must be completed. This will include markers on all property lines of each lot.

If you should have any questions on these matters please call me .

Sincerely

  
P. Samuel Hoffses  
Inspector of Buildings

See my notes  
To Attached MA... Weinschenk  
letter dated SEP. 30, 1998

**SENDER:**  
 • Complete items 1 and/or 2 for additional services.  
 • Print your name and address on the reverse of this form so that we can return this card to you.  
 • Attach items 3, 4a & b.  
 • Write "Return Receipt Requested" on the reverse of this form so that we can return this card to you.  
 • Article number.  
 • Article number.  
 • Article number.

**Fold at line over top of envelope to the right of the return address**

Signature (Agent)  
 Signature (Addressee)  
 Ric Weinschenk Builders  
 91 Summer Place  
 Portland ME 04103

3811, October 1990  
 \* U.S. G.P.O. 1990-273-981

**DOMESTIC RETURN RECEIPT**

4a. Article Number  
 373 388753

4b. Service Type  
 Registered  
 Certified  
 Express Mail

7. Date of Delivery  
 COD  
 Insured  
 Return Receipt for Merchandise

8. Addressee's Address (Only if requested and fee is paid)  
 9-22-98

1.  Addresser's Address  
 2.  Restricted Delivery  
 3.  Consult Postmaster for fee.

also wish to receive the following services (for an extra fee):

18-C-019 CBL ), a  
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tilvered sections. The