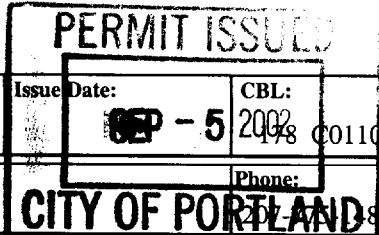


City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0992
 Issue Date: SEP - 5 2002
 CBL: 0011001



Location of Construction: 144 Stevens Ave	Owner Name: Fornaro Michele &	Owner Address: 144 Stevens Ave	Phone: 207-874-1189
Business Name:	Contractor Name: Jim White	Contractor Address: 2 Farwell Court Westbrook	Phone: 2078783361
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-3

Past Use: Single family	Proposed Use: Single family w/attached garage	Permit Fee: \$443.00	Cost of Work: \$60,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B BOCA 1999	

Proposed Project Description:
 Demolish existing 23X24 garage and build a 24X24 attached garage with 8' mud room. Repair existing 10X14 deck and build 3 season sunroom

Signature: _____ Signature: *JMB 9/5/02*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 09/05/2002	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 9/5/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
--	---	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>144 SPEERLY Ave</u>		
Total Square Footage of Proposed Structure <u>650</u>	Square Footage of Lot <u>10,000</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>178</u> Block# <u>C</u> Lot# <u>11/12</u>	Owner: <u>Fornaro</u>	Telephone: <u>775-1489</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Jim White 2 Farewell Court Wetmore Ave</u>	Cost Of Work: \$ <u>60,000</u> Fee: \$ <u>443.00</u>
Current use: <u>Single car garage Single Family home</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>24x24 2 car garage with 8' Demo 24x24 1 car</u>		
Project description: <u>14x16 Three season Room w/8x16 Deck Garage</u>		
Contractor's name, address & telephone: <u>Jim White 2 Farewell Court Wetmore Ave 04092</u>		
Who should we contact when the permit is ready: <u>SAME</u> <u>878-3361</u>		
Mailing address: <u>same</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>878-3361</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Jim White</u>	Date: <u>9/3/2002</u>
--	-----------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Application ID Number: 2-0992

Department: Zoning

Status: Approved with Conditions

Reviewer: Jeanine Bourke

Comments: [Redacted]

Date: 09/05/2002

Date: 09/05/2002



Comments:

Jeanine Bourke

09/05/2002

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

09/05/2002

gg

09/05/2002

gg

THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

I HEREBY CERTIFY TO Old Port Title Co.,

144 Stevens Avenue
Portland Maine

Job Number: 282-73
Inspection Date: 9-30-96
Scale: 1" = 30'

Peoples Heritage Savings Bank and its Title Insurers

The monumentation is in harmony with current deed description.

The building setbacks are in conformity with town zoning requirements.

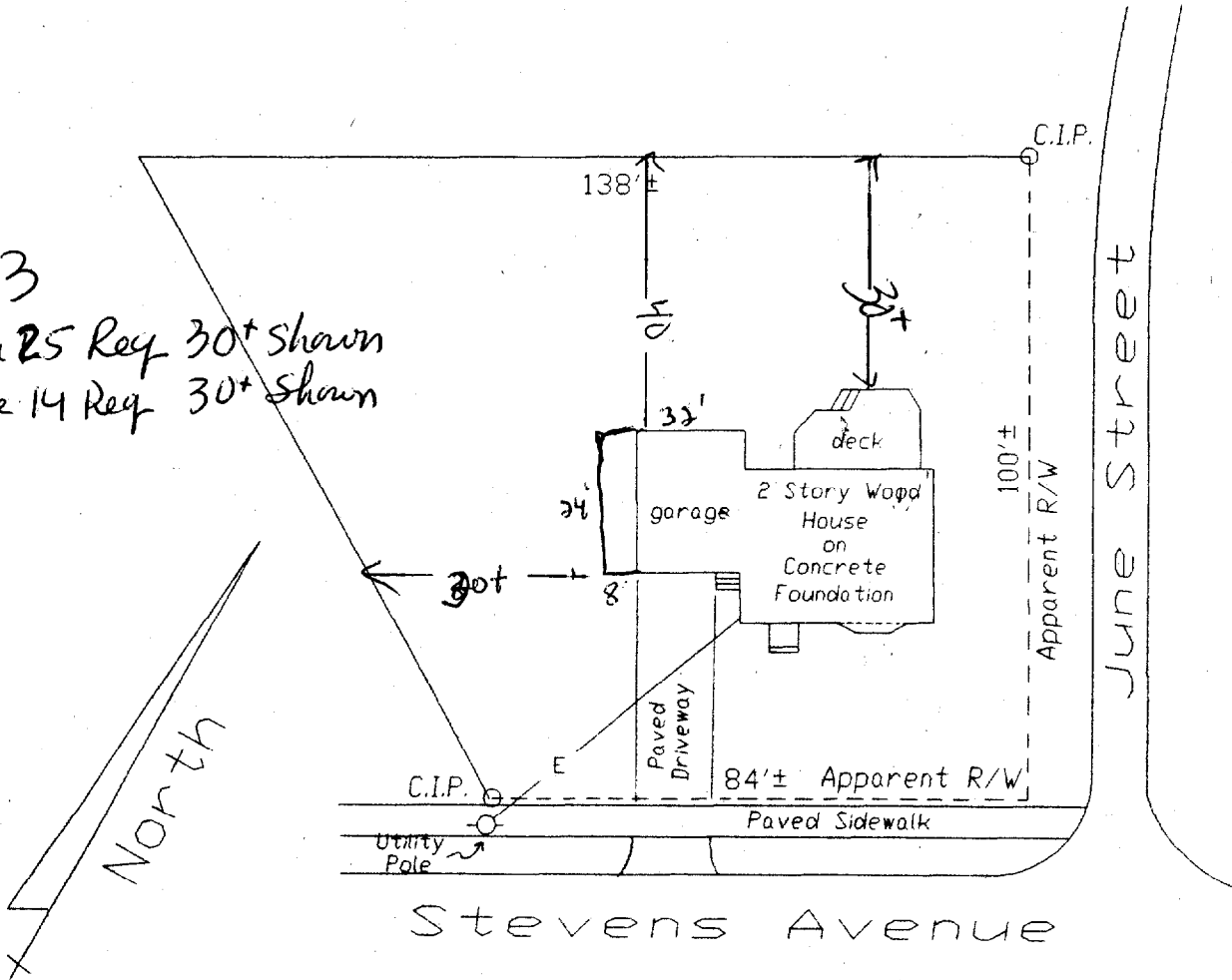
The dwelling does not fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not fall within the special flood hazard zone as indicated on community-panel # 230051 000763.

Buyer: Michele & Anna G. Fornaro

Seller: Raymond J. & Jeraldine B. Wynne

R-3
Rear 25 Req 30+ Shown
Side 14 Req 30+ Shown



Lot coverage
2782.5 allowed
2028 OK
25%

THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ADJUTING DEEDS.

[Handwritten signature]

BRUCE R. BOWMAN, INC.
P.O. Box 12 A
Cumberland, Maine 04021
Phone: (207) 829-3959
Fax: (207) 829-3522



PLAN BOOK 11 PAGE 109 LOT 16+17
DEED BOOK PAGE COUNTY Cumberland

THIS PLAN IS NOT FOR RECORDING Drawn by: *[Signature]*

To be Demolished



Chick HOME CENTER

Chick Home Center
219 Mountain Valley Mall Boulevard
North Conway, NH 03860

Toll free: 800-552-4752
Local: 603-356-6371
Fax: 603-356-6587

TO: Jeanie Burke **Pages:** 2

FROM: TRAPPES **Date:** 9-6-02

Re: _____

- Urgent For Review Please Comment Please Reply Please Recycle

Info you requested from Jim White, for addition job, on steel beam is attached.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- SW **Demolition**
SW **Footing/Building Location Inspection:** Prior to pouring concrete
NA **Re-Bar Schedule Inspection:** Prior to pouring concrete
NA **Foundation Inspection:** Prior to placing ANY backfill
SW **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
SW **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a ~~\$75.00 fee per~~ inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

SW If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Jim White
Signature of applicant/designee
9/5/02
Date
Jeanne Bourke
Signature of Inspections Official
9/5/02
Date

CBL: 178-C-11412 Building Permit #: 02-0992

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 020992

Please Read Application And Notes, If Any, Attached

This is to certify that Fornaro Michele &/Jim White
has permission to Demolish existing 23X24 garage and build a 24X24 detached garage with
ground floor. Demolish existing 23X24 detached garage with
AT 144 Stevens Ave 178 C011001

PERMIT ISSUED
SEP 5 2002
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. **HEAVY NOTICE IS REQUIRED.**

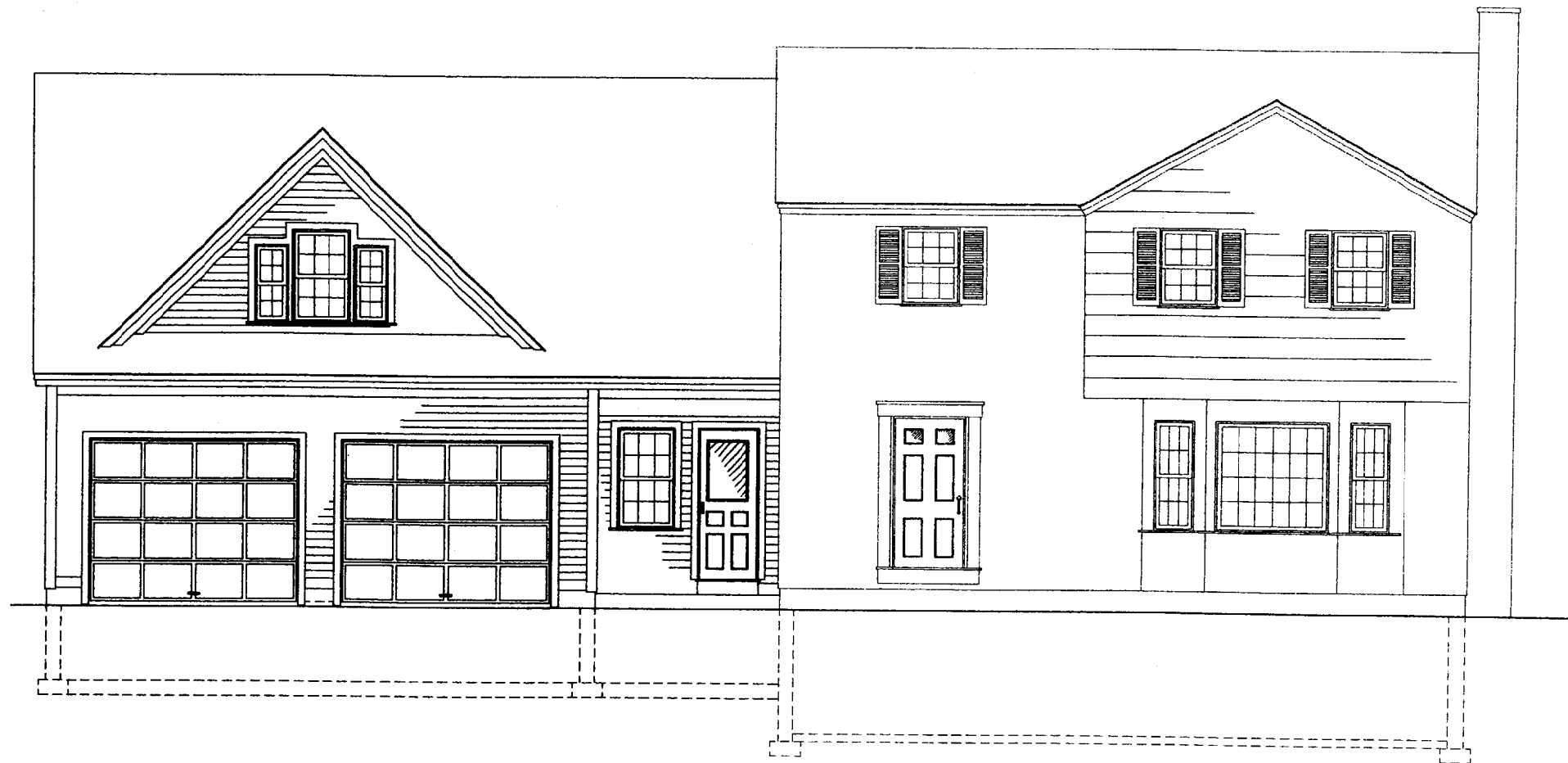
A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

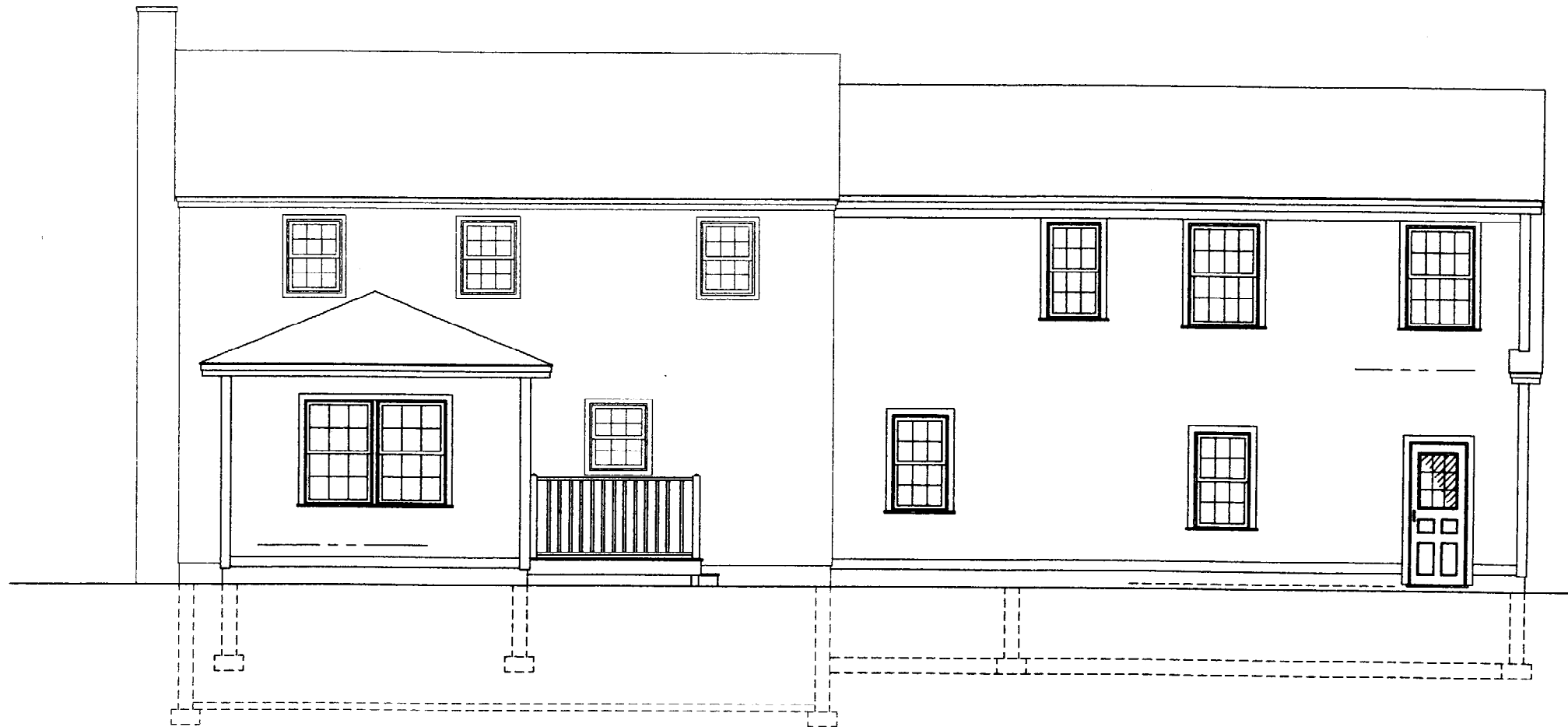
Jamie Bank 9/5/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



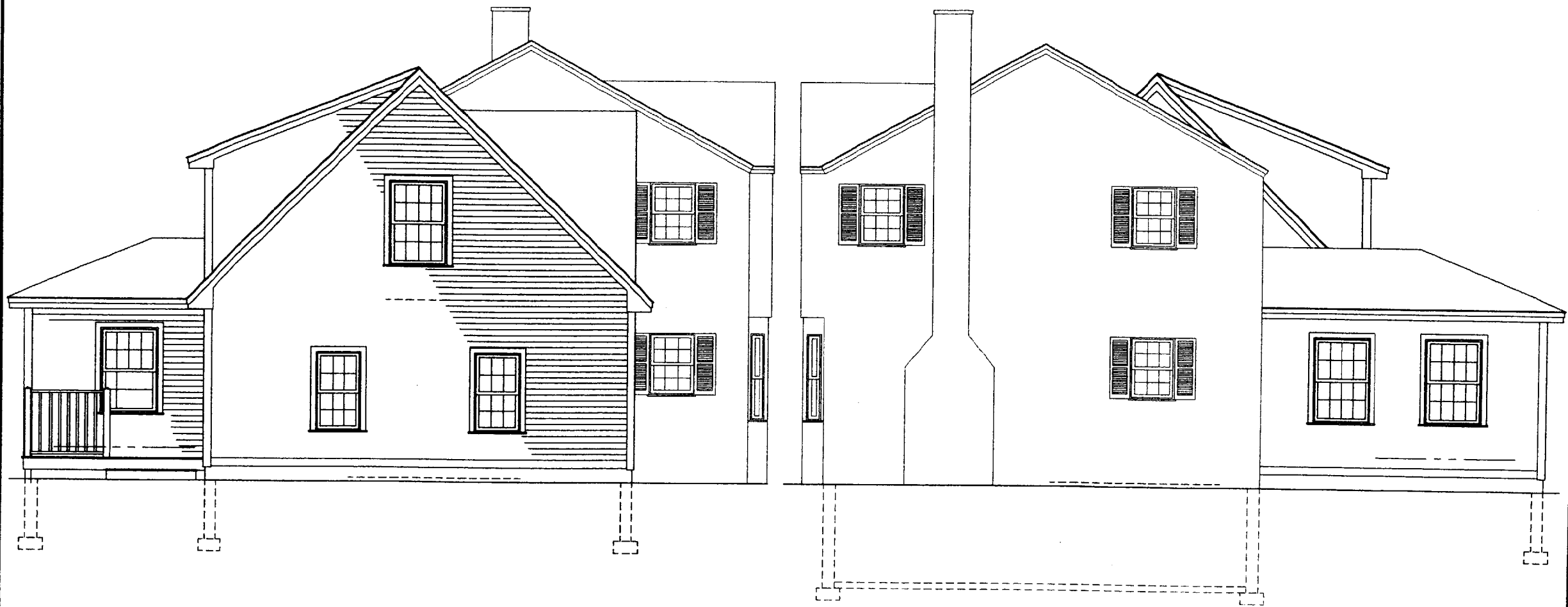
FRONT ELEVATION

White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 895-2662	
FORNARO RESIDENCE ADDITION	
ELEVATION	
DRAWN: J. MORIN	A
SCALE: 1/4"=1'-0"	
DATE: 08-28-02	



REAR ELEVATION

White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 895-2462	
FORNARO RESIDENCE ADDITION	
ELEVATION	
DRAWN: J. MORIN	A2
SCALE: 1/4"=1'-0"	
DATE: 08-28-02	

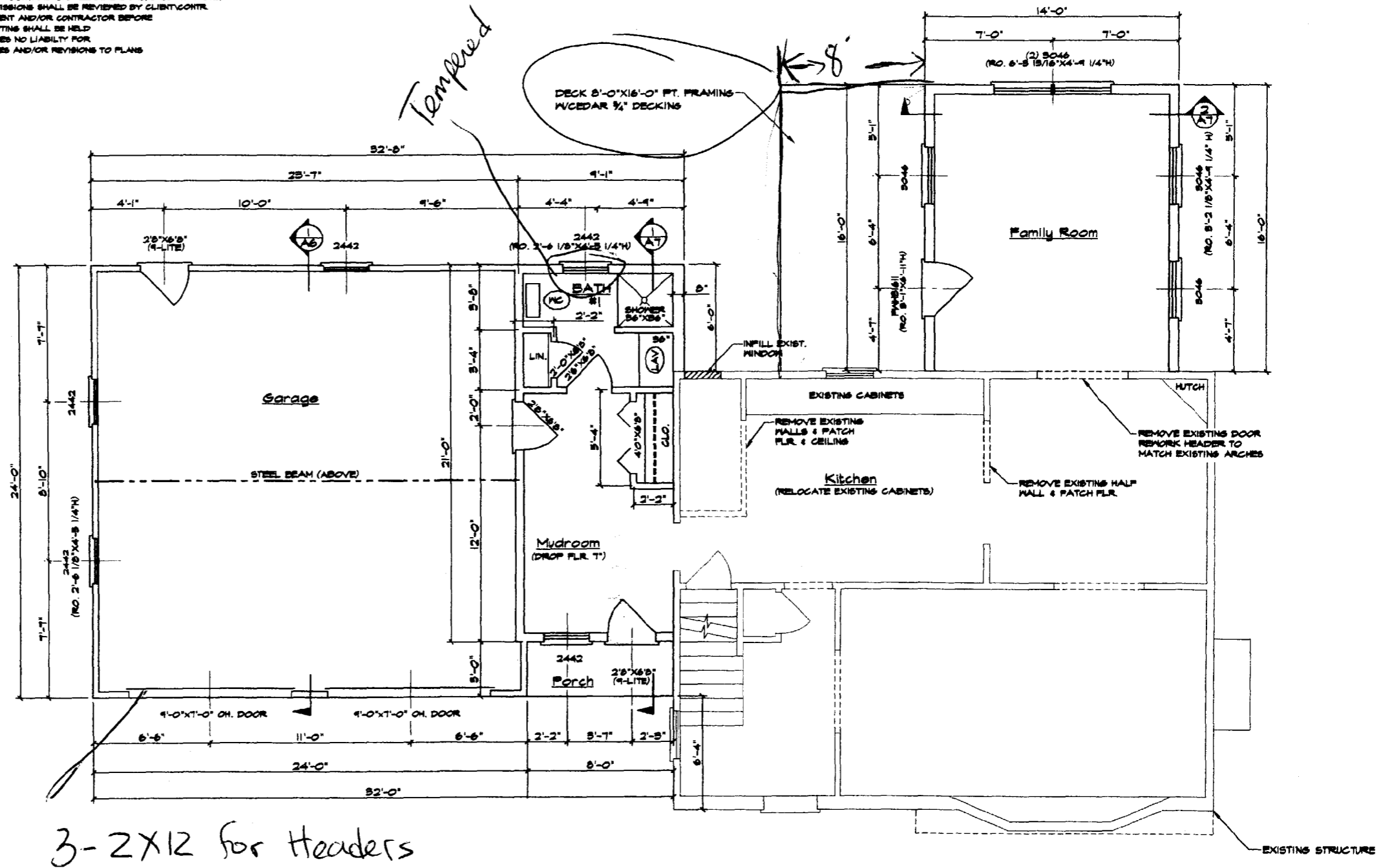


LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 895-2482	
FORNARO RESIDENCE ADDITION	
ELEVATION	
DRAWN: J. MORIN	A3
SCALE: 1/4"=1'-0"	
DATE: 08-28-02	

ALL DRAWINGS, PLANS, SKETCHES ETC. ARE PROVIDED TO OUR CLIENTS BASED UPON INFORMATION PROVIDED BY THE CLIENT AND DRAWN IN ACCORDANCE WITH COMMON BUILDING PRACTICES. NONE OF THE EMPLOYEES OF MORIN DRAFTING ARE REGISTERED ARCHITECTS, STRUCTURAL ENGINEERS OR LAND SURVEYORS. ALL LOAD BEARING REQUIREMENTS AND CODES SHALL BE APPROVED BY APPROPRIATE REGISTERED PROFESSIONALS. IF NOT, SHALL BE RESPONSIBILITY OF CONTRACTOR. ALL DIMENSIONS, SPECIFICATIONS, CONSTRUCTION TECHNIQUES AND OMISSIONS SHALL BE REVIEWED BY CLIENT/CONTR. IF THESE ARE NOT VERIFIED BY CLIENT AND/OR CONTRACTOR BEFORE CONSTRUCTION BEGINS MORIN DRAFTING SHALL BE HELD HARMLESS. MORIN DRAFTING ASSUMES NO LIABILITY FOR CONSTRUCTION DEFECTS OR CHANGES AND/OR REVISIONS TO PLANS BY CLIENT AND/OR CONTRACTOR.



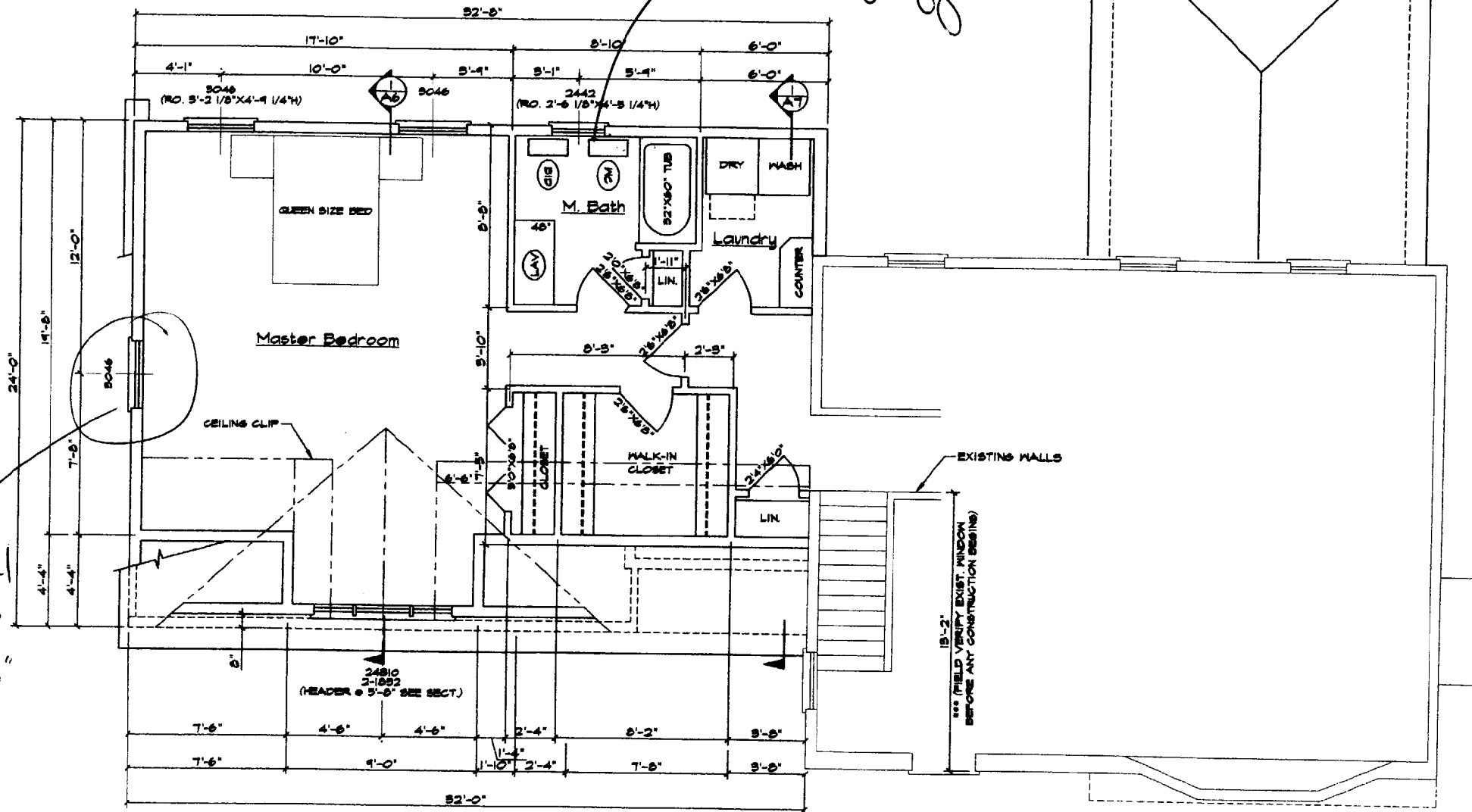
FLOOR PLAN-FIRST FLOOR

White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 895-2462	
FORNARO RESIDENCE ADDITION	
FLOOR PLAN-1ST FLR.	
DRAWN: J. MORIN	A4
SCALE: 1/4"=1'-0"	
DATE: 8-20-02	

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will ~~have~~ have to Tempered, within 3' of tub

Superseal Egress 30'-4"6"

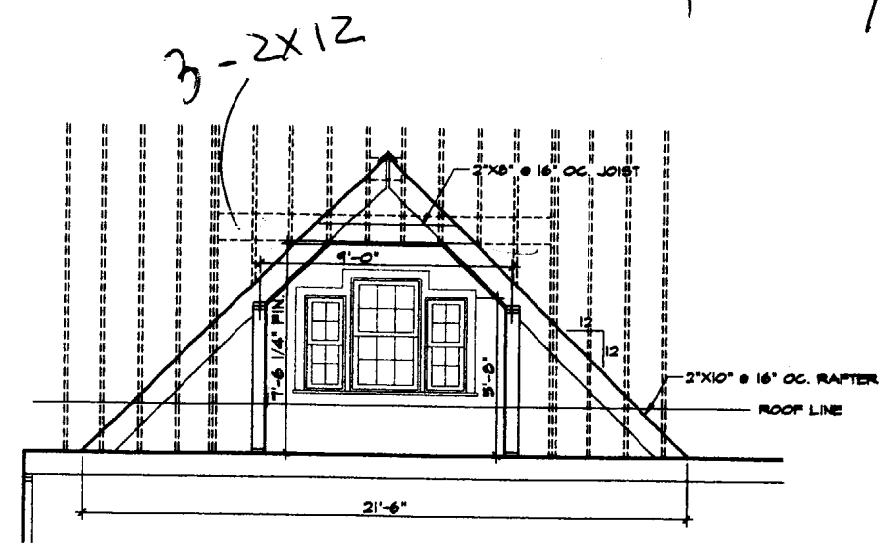


FLOOR PLAN-SECOND FLOOR

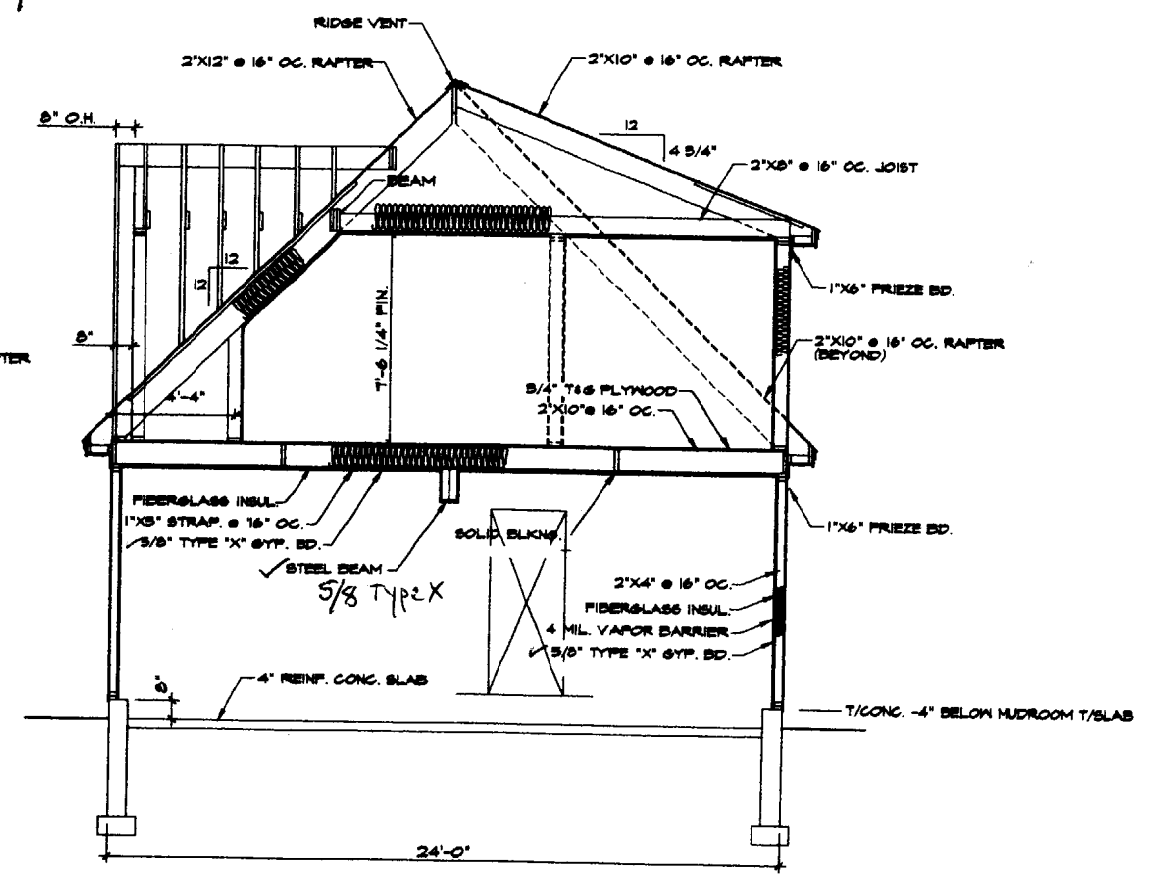
White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 893-2462	
FORNARO RESIDENCE ADDITION	
FLOOR PLAN-2ND FLR.	
DRAWN: J. MORIN	A5
SCALE: 1/4"=1'-0"	
DATE: 8-20-02	

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Valley LVL 1-11⁷/₈ x 1³/₄



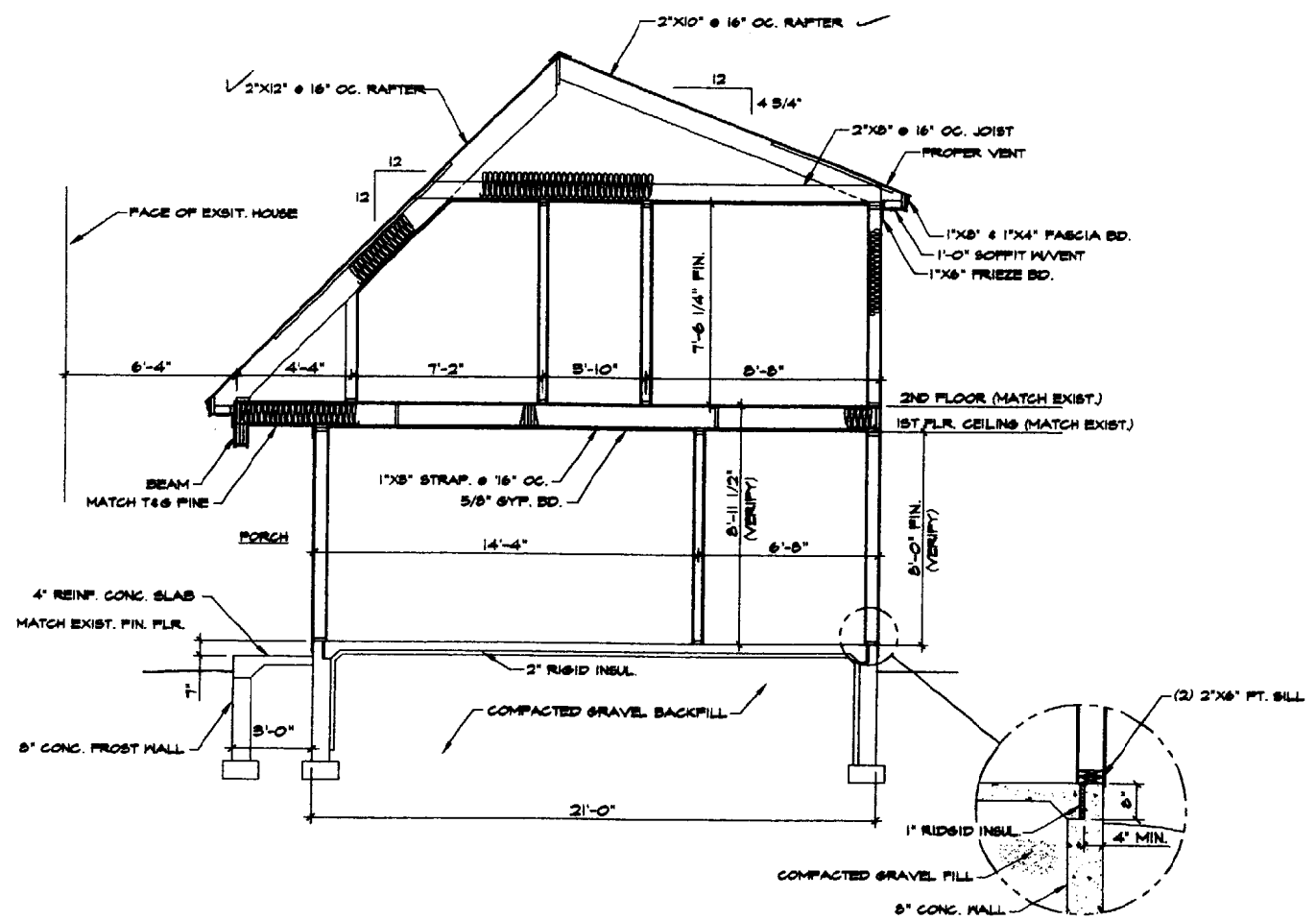
SECTION THRU DORMER



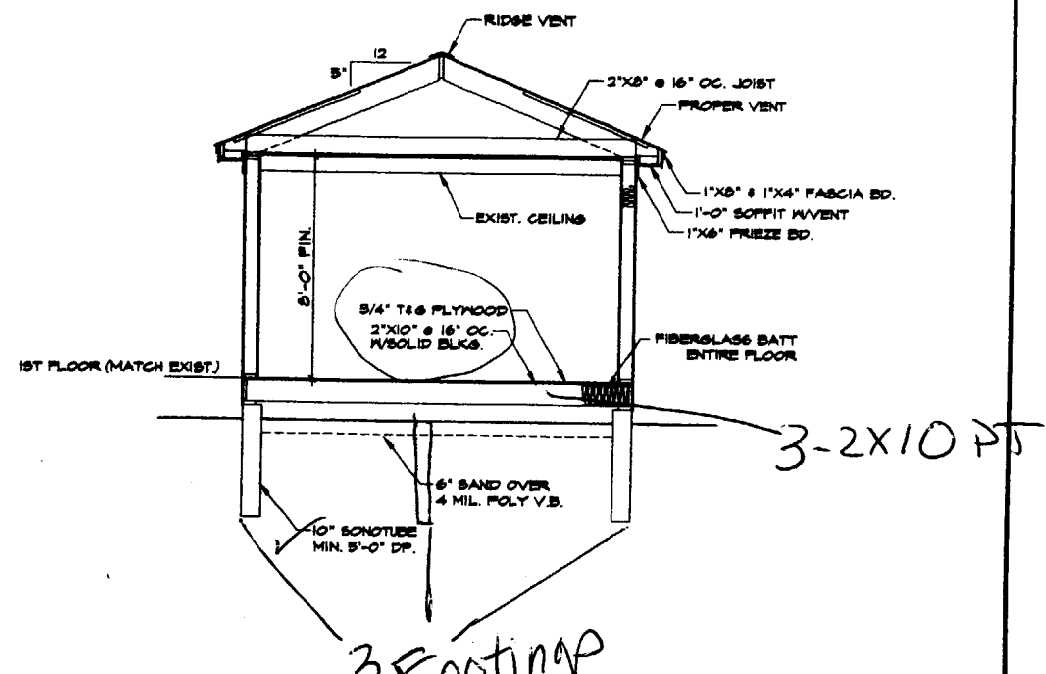
SECTION THRU GARAGE

White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 895-2462	
FORNARO RESIDENCE ADDITION	
SECTION	
DRAWN: J. MORIN	A6
SCALE: 1/4"=1'-0"	
DATE: 8/20/02	

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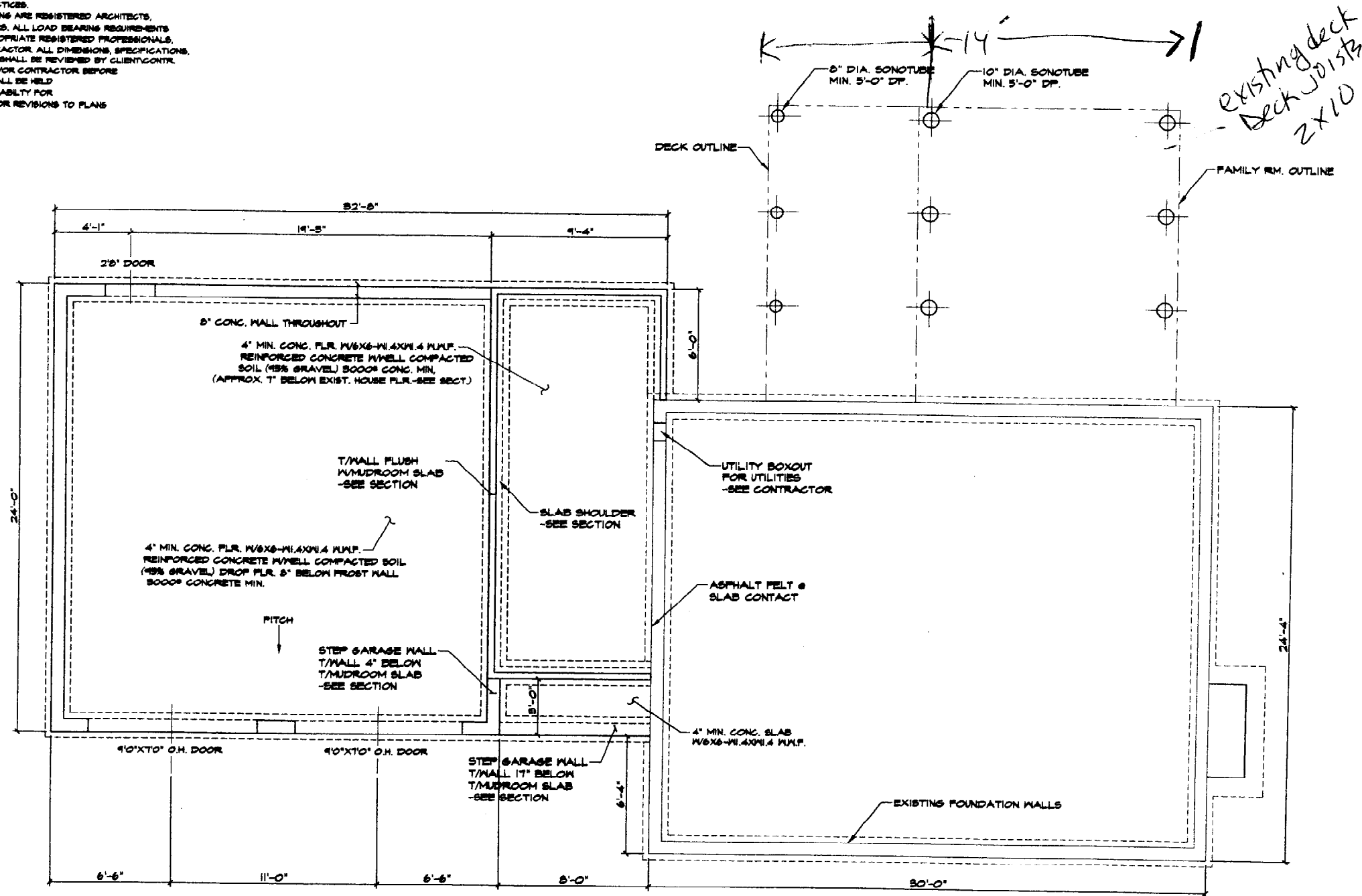
SECTION THRU MUDROOM



3 Footing
SECTION THRU FAMILY RM.

White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 895-2462	
FORNARO RESIDENCE ADDITION	
SECTION	
DRAWN: J. MORIN	A7
SCALE: 1/4"=1'-0"	
DATE: 08-20-02	

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FOUNDATION NOTES:

1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & AND ROUGH OPENINGS SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2" X 1'-0" HOOKED OR EQUIVALENT. 4'-0" MAX. OC. & 1'-0" MIN. FROM ALL CORNERS.
4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (IE. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL FRAMING FOR LOAD BEARING & FOUNDATION BEFORE FORMS ARE SET.
8. CONTRACTOR SHALL ADJUST WALL AND FOOTING SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
9. (DO NOT) BACKFILL MORE THAN 8'-0" BEFORE 1ST FLR FRAMING-JOIST & SUBFLOOR IS COMPLETE.
10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WAPPED IN FILTER FABRIC.
11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.

FOUNDATION PLAN

White Homes Inc. Portland, Maine	
MORIN DRAFTING GORHAM, ME. 895-2462	
FORNARO RESIDENCE ADDITION	
FOUNDATION PLAN	
DRAWN: J. MORIN	S
SCALE: 1/4"=1'-0"	
DATE: 08-20-02	