



918 Brighton Avenue | Portland, Maine 04102

January 3, 2013

Ms. Nell Donaldson
Planning Department
Portland City Hall
389 Congress Street
Portland, Maine 04101

**RE: Response to City Review Comments
Level I Site Plan Development Review Application
Motley Street Extension, Portland, Maine**

Dear Ms. Donaldson:

Thank you for forwarding review comments from the City of Portland regarding the Level I Site Plan application for the Motley Street Extension in Portland. Please find our response to the City's comments below:

Zoning

Based on Ms. Schmuckal's comment, the request for a waiver from the street frontage requirement for zone R-3 per section 14-90(c) is withdrawn, as the proposed development meets the requirements of section 14-403.

Transportation Standards

Please see the additional waiver criteria shown below in **bold text** for the request that the requirement to construct a sidewalk and install curb along all frontages, per section 14-526(a)2.c(i) of the City of Portland Code of Ordinances, be waived. The site meets waiver requirements per section 14-506(b) by the following:

1. Sidewalks

a. 14-506(b)(Sidewalks)3: A safe alternative-walking route is reasonably and safely available, for example, by way of a sidewalk on the other side of the street that is lightly traveled.

- Currently, Motley Street is improved for approximately 456 feet from the intersection of Brighton Avenue. The current construction does not include sidewalk or curbing. As the street is and will likely remain a dead end local street serving only residential properties, the traffic volume is not expected to significantly increase from the existing condition. In addition, the street is not located within a designated school walking route. Therefore, the safety of pedestrians utilizing Motley Street will not be affected by the development.

b. 14-506(b)(Sidewalks)6: Strict adherence to the sidewalk requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.

- **Strict adherence to the sidewalk requirement would result in the loss of significant site features related to landscaping and topography that are deemed to be of greater public value. These site features include the additional vegetation, ledge, and existing lot lawn area that would be required to be removed in order to install the sidewalk to Brighton Avenue.**

2. Curbing

a. 14-506(b)(Curbing)4: Strict adherence to the curb requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.

- **Strict adherence to the curb requirement would result in the loss of significant site features related to landscaping and topography that are deemed to be of greater public value. These site features include the additional vegetation, ledge, and existing lot lawn areas that would be required to be removed in order to install the curb to Brighton Avenue. The increase in elevation at the edge of the road due to curb installation would also require significant regrading of the existing lots to maintain drainage from the lots toward to road.**

b. 14-506(b)(Curbing)6: The cost to construct the curbing, including any applicable street opening fees, is in excess of 5% of the overall project cost.

- Installation of curbing and sidewalk along the new 90' section of roadway would be impractical unless sidewalk and curb were also installed along the currently improved section of Motley Street. The cost of retrofitting of curb and sidewalk along the existing section of Motley Street would exceed 5% of the overall project cost.

Environmental Quality Standards

Catch basin inlet protection provisions have been added to the site plans. A symbol and leader note have been added to sheet C2.1 and the appropriate detail has been added to sheet C3.2 (detail #7).

The project data sheet has been revised to indicate the existing and proposed impervious area associated with the roadway construction area only. The existing impervious area within the roadway construction area is 4,323 square feet, which includes existing gravel, pavement, and exposed ledge. The total paved area is 3,390 square feet. As all of the proposed paved area will be constructed over existing impervious area, there will be no net increase in impervious area as a result of the development.

Public Infrastructure and Community Safety Standards

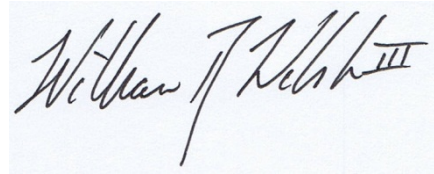
In regards to Captain Pirone's comments, additional information has been obtained from the Portland Water District (see enclosed Ability to Serve letter), which indicates that the existing water line under Motley Street is an 8" ductile iron line with a static pressure of 81 psi. In telephone discussions with Captain Pirone, the larger diameter water line and high pressure in the water line has relieved his concerns for flow requirements for the project. In addition, the sprinkler systems for the houses will be designed by a professional sprinkler designer who will determine if the necessary pressure and flow requirements for the sprinkler systems are met.

Walsh Engineering Associates, Inc. has reviewed section 3.7 of the City's Technical Manual and has added a note to sheets C.2.0, C2.1, and C3.0 that a blasting permit and all associated submittals will be required for a "large blast" operation (removal of greater than 300 c.y. of rock material).

As requested, enclosed you will find one (1) complete paper set of the final plans and the updated Project Data sheet. Also enclosed is a copy of the Portland Water District Ability to Serve Letter for the two residential lots.

I trust you will find this information provided sufficient for the site plan approval. We look forward to working with you as the project progresses.

Respectfully,

A handwritten signature in black ink, appearing to read "William R. Walsh, III", is written over a light blue rectangular background.


William R. Walsh, III, PE
Walsh Engineering Associates, Inc.

Enc. Site Plans and Details – Rev. 2 dated January 3, 2013
Project Data Sheet
Portland Water District Ability to Serve Letter

cc. Mr. Scott Lalumiere, Milk Street Capital, LLC

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for a Site Plan review only, a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

Signature of Applicant: 	Date: 11/8/12
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Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

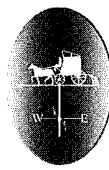
PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area		sq. ft.
Proposed Total Disturbed Area of the Site		sq. ft.
IMPERVIOUS SURFACE AREA		
• Proposed Total Paved Area	3,390	sq. ft.
• Existing Total Impervious Area	4,323	sq. ft.
• Proposed Total Impervious Area	4,323	sq. ft.
• Proposed Impervious Net Change	0	sq. ft.
PARKING SPACES		
• Existing Number of Parking Spaces	0	
• Proposed Number of Parking Spaces	0	
TOTAL Number of Parking Spaces	0	

General Submittal Requirements – Level I Site Alteration

Applicant Checklist	Planner Checklist	Number of Paper Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/> N/A	<input type="checkbox"/>	1	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of proposed project's compliance with applicable zoning requirements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.



Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

December 10, 2012

Walsh Engineering Associates, Inc.
918 Brighton Avenue
Portland, ME 04102

Attn: Silas Canavan, P.E.
Re: Motley Street, Portland
Ability to Serve with PWD Water

Dear Mr. Canavan:

The Portland Water District has received your request for an Ability to Serve determination for the noted site submitted on December 6, 2012. Based on the information provided, we can confirm that the District will be able to serve the proposed project as further described in this letter.

Please note that this letter does not constitute approval of this project from the District. Please review this letter for any special conditions specified by the District and to determine the appropriate next steps to take to move your project through the submittal and approval process.

Existing Site Service

According to District records, the project site does not currently have existing water service.

Water System Characteristics

According to District records, there is an 8-inch diameter ductile iron water main on the west side of Motley Street and a public fire hydrant located 165-feet from the site.

Please see attached map showing all available hydrant flow tests near the project site. The current data from the nearest hydrant with flow test information is as follows:

Hydrant Location: Motley Street 200' south of Brighton Avenue
Hydrant Number: POD-HYD01819
Last Tested: 4/16/2003
Static Pressure: 81 psi
Residual Pressure: Not Measured
Flow: Not Measured

Public Fire Protection

It is anticipated that this project will not include the installation of new public hydrants to be accepted into the District water system. The decision to require new hydrants and to determine their locations is solely that of the local fire department. It is your responsibility to contact the Portland Fire Department to ensure that this project is adequately served by existing and/or proposed hydrants.



Domestic Water Needs

The data noted above indicates there should be adequate pressure and volume of water to serve the domestic water needs of the two proposed single family homes. Based on the high water pressure in this area, we recommend that you consider the installation of pressure reducing devices that comply with state plumbing codes.

Private Fire Protection Water Needs

You have indicated that this project will require water service to provide private fire protection to the site. Please note that the District does not guarantee any quantity of water or pressure through a fire protection service. Please share these results with your sprinkler system designer so that they can design the fire protection system to best fit the noted conditions. If the data is out of date or insufficient for their needs, please contact the MEANS Division to request a hydrant flow test and we will work with you to get more complete data.

Conditions of Service

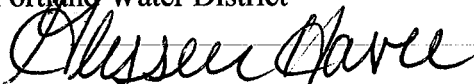
Each lot should have a water service line that connects to the main in Motley Street, the service should enter through each lots' own frontage. Please maintain all minimum separation requirements as follows:

- Property lines – 10-feet
- Gas mains – 6-feet face to face
- Underground electric and telephone – 6-feet face to face
- Sanitary sewer – 5-feet; if sanitary sewer is laid 18-inches below water service, then an 18-inch horizontal separation is allowable

The District can confirm that the main in Motley Street will provide adequate flow and pressure for domestic needs, as noted above the District does not guarantee any quantity of water or pressure through a fire protection service. A single line may be installed to provide both fire and domestic water. The required diameter of a combined service line must be determined by the sprinkler system designer. The split for the sprinkler service must be located after the water meter and must include a non-testable backflow prevention device. The meter must be appropriately sized by the sprinkler system designer to accommodate the necessary flows for fire protection. Prior to activation of the water service, the sprinkler system designer must provide documentation that shows the appropriate meter size.

If the District can be of further assistance in this matter, please let us know.

Sincerely,
Portland Water District



Glissen Havu, E.I.
Design Engineer